



District of Columbia Courts

BUILDING ASSESSMENT REPORT

Contract No. DCSC-20-RFP-008 CPFMD No. 0001-00-100;101;200;350

Task Order No. 10-SG



2021/05/26

PRELIMINARY REPORT (BUILDING B ONLY)

Remaining Buildings to be Provided in a Future Submission

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2.1 EXECUTIVE SUMMARY

The District of Columbia Courts engaged SmithGroup to conduct a Facility Conditions Assessment Report (FCA) of locations occupied by the District of Columbia Courts in Washington, DC. The site for the FCA consists of a large urban campus in Washington, DC containing six major buildings totaling approximately 1.5 million square feet of space.

This FCA is intended to provide a comprehensive analysis for the six major buildings of general conditions and deficiencies in the building infrastructure, components, and systems: and present recommendations and costs for correcting these deficiencies. The FCA prioritizes recommended corrections based on life safety and replacement schedules and further identifies improvements that should or may be necessary to be completed within the next 2 years and beyond, up to 10 years.

The FCA included a visual inspection and data study of the subject building(s) exterior and interior, grounds abutting the buildings, infrastructure components, existing building operational support systems and hardscape of the site. The study also included identifying the approximate age of system components, useful life of components, and associated costs for replacement if recommended within the 10 year window.

The facility assessment found that the subject buildings have been well maintained and updates and system replacements required appear to have been done on a regular basis. The assessment did find several deficiencies that should be addressed and identified equipment replacements that will be required soon because of equipment or system age. The buildings are of varying ages and the replacement of major equipment and infrastructure systems were the items of greatest potential costs, and the majority of those costs would be incurred over the next 10 to 20 years.

All deficiencies found during the assessment process were grouped by priority and then estimated for cost. The priorities were:

- Priority 1. Currently Critical or Immediate Concerns Action as soon as possible.
- Priority 2. Potentially Critical or Short-Term Concerns, **(within 1 - 2 years)**
- Priority 3. Not yet Critical or Long-Term Concerns **(within 3 - 5 years)**
- Priority 4. Items that will likely be Critical, or Long-Term Concerns **(within 6 - 10 years)**
- Priority 5. Items that will probably be Long Term Concerns **(not time critical)**
- Priority 6. Items that do not comply with Codes and Regulations. This is for grandfathered

existing conditions. No immediate actions are required, although the items will need to be addressed if any significant work is performed on the building.

The following charts summarize the cost breakdown by priority for each of the five buildings studied. (To be provided in future submission)(See Pages xx to xx)

A Cost Estimate Summary by discipline for the five buildings begins on page xx.

SECTION 3

3.1 GENERAL DESCRIPTION

The District of Columbia Courts campus occupies a large multiple city block area in a busy urban business neighborhood of Washington DC called Judiciary Square as well as buildings adjacent to Judiciary Square. The campus is comprised of five major buildings and one underground parking garage. The five major buildings, totaling approximately 1.45 million gross square feet of space, are the subject of this Facility Condition Assessment (FCA). The five major buildings are known as Building A, B, C, D and the H. Carl Moultrie Courthouse. Buildings C, D and the underground parking garage are connected by below ground corridors and passageways. Excluded from the scope of the Facility Conditions Assessment (FCA), but located within Judiciary Square, are the United States Court of Appeals for the Armed Forces Building, the National Law Enforcement Museum Building(s) and the National Law Enforcement Officers Memorial site. At the time the H Carl Moultrie Building was surveyed the 2nd phase of the C Street addition was not completed to include within the FCA.

As the third branch of government, the District of Columbia Courts mission is to protect rights and liberties, uphold and interpret the law, and resolve disputes peacefully, fairly and effectively in the District of Columbia. It is this mission statement that supports the balance of both function and aesthetics throughout the facilities.

Although all the buildings on the DC Courts campus are secured and maintained at what is believed to be a Federal Security Level (FSL) Level 4, the public nature of the DC Courts and activities require public access to several areas of the campus. All employees and contractors are badged for entry and/or escorted throughout the buildings. Most employee entrances are turnstiles with card readers. All public entrances are accessible to visitors after passing through the mentioned checkpoints, as required for FSL 4 (ID checks, bag x-ray, magnetometers for people, and physical searches as needed). Closed Circuit Television (CCTV) security cameras are located throughout the buildings and site, with 24-hour monitoring in the security center. Exit only doors are monitored. Electronic card readers are used within the facility per DC Courts requirements for access limitations. Exterior doors and potential access points are alarmed for intrusion detection.

Because several of the buildings are historical and the campus is located on an urban site, they do not currently meet all of the latest Federal Security Level (FSL) Level 4 requirements for building setbacks, window protection, vehicular access, progressive collapse, or other physical site security measures that would be expected for a new building. A complete site security analysis is recommended in the event of a major building renovation or if deemed necessary at a later date.

The buildings were built from 2003 to 2005, and the GSA entered a lease agreement for the buildings on June 1, 2000. The District of Columbia courts is the only occupant of the buildings except for the US Marshals.

The District of Columbia Courts provided what was available in drawings of the buildings, select interior build outs and supporting documentation and data on equipment inventory, ages of equipment and systems, recent upgrades and renovations, current and planned capital improvement projects, and maintenance replacement programs. All the buildings have undergone routine maintenance and repairs, and numerous renovations.

DC COURTS BUILDING SUMMARIES				
BUILDING	ADDRESS*	YEAR BUILT	LOT SIZE (ACRES)	GSF
Building A	515 5 th Street, NW	1937	3.2	123,900
Building B	510 4 th Street, NW	1939	3.2	122,500
Building C	410 E Street, NW	1939	1.2	54,000
Building D	430 E Street, NW	1820	2.7	146,550
Parking Garage	449 5 th Street, NW	2009	1.2	101,200
Moultrie Building	500 Indiana Ave, NW	1976	5.1	909,400
SUMMARY				
			16.6	1,457,550

NOTES:

* All address are in Washington, DC 20001

SECTION 4

4.1 INTRODUCTION

SmithGroup and its consultants were provided drawings and documents by the District of Columbia Courts prior to and during the conducting of visual inspections. (A list of referenced documents can be found in the Appendix). Visual inspections of the buildings and site were conducted by the SmithGroup assessment teams from April 1, 2021 to May 26, 2021. The inspections were a visual non-destructive assessment of the interior, exterior and engineering components of the property and site, including the following major components and systems.

- Architecture Interior Systems: including all interior finishes.
- Exterior Enclosure Elements: including exterior walls, glazing, entrances, waterproofing systems, and roofs.
- Structure
- Historical Preservation Elements
- Fire Alarm and Fire Suppression
- Mechanical / HVAC Systems
- Plumbing Systems
- Electrical Systems
- Vertical Transportation Systems
- Audio Visual
- Telecommunications
- Security
- Civil
- Landscaping

Because of building occupancy restrictions put in place by state and local governments during the COVID 19 Pandemic, the building inspection work was structured around small individual SmithGroup teams representing different disciplines surveying the existing conditions. During the inspection work SmithGroup was escorted and assisted by building engineers and security escorts. The inspections were conducted in relatively vacant building conditions because of the occupancy restrictions and limited

to normal working hours, Monday through Friday. For holding areas and the US Marshals' spaces in the Moultrie Building, off hours surveys were conducted. Very few areas across all of the buildings were found to be inaccessible to the inspection teams, only because they had been secured by a non-building master key. These typically were within the holding cell areas. Reviews and assessments in and around the buildings surveyed were thorough and exhaustive by each discipline. The team first conducted an asset inventory in each building that was later followed by the facility condition assessment and application of the asset ID barcoded tags where applicable.

4.3 BUILDING B

4.31 SUMMARY

ARCHITECTURAL INTERIORS

The SmithGroup architectural interiors team visited Building B in April 2021 to survey the interior spaces. All rooms and areas on every level of the building were surveyed to assess current conditions of all interior components.

Each room or area visited by the architectural interiors team was surveyed for the condition of all building interior finishes including flooring, wall finishes, ceiling finishes, interior doors, interior windows, windowsills, casework, permanent furnishings, stair systems, as well as toilet partitions and accessories. Not included in the survey were all non-permanent furniture, moveable shelving, and demountable partitions.

EXTERIOR ENCLOSURE

The SmithGroup Architecture building enclosure team surveyed Building B to assess the current condition of the major building materials such as limestone walls, granite wall base, windows and door systems, exterior stairs, roofing, and other components of the exterior enclosure. In general, it was observed that Building B exhibited only minor deficiencies and appears to be well constructed. The main recommendation for all elevations and roofing is routine cleaning maintenance.

STRUCTURE

Silman has performed a document review of the available documents for Building B and visited the site on 4/8/2021 to perform the Facility Conditions Assessment. Most spaces were open and accessible during site visit including the attic, basement and most offices. Some offices were not available but are not considered consequential to structural conditions assessment. Building B is a steel frame and concrete slab structure supported on shallow foundations typically. The structure is generally in good condition and has been well maintained over the years. The original superstructure general type is known because of a background from a prior renovation project and site observations, but the original design documents were not available to the team, though they seem to exist.

During the site visit minor repair issues were the primary comments with concrete patching and steel corrosion cleaning / painting noted in the attic space. The 2nd, 3rd and attic floor framing were generally not accessible to be viewed from below because of finishes, but openings in mechanical spaces allowed local confirmation of construction type. It should be noted that the original plaster drop ceiling is still in place above the current ceiling so mechanical modifications will need to consider support and access through the original

ceiling.

The reinforced concrete basement / areaway wall at the SE corner of the building at the loading dock equipment is corroding & spalling and will need repair or possibly replacement if the equipment is replaced. The equipment looks to be old and may need to be replaced depending on recommendations from the mechanical and architectural disciplines. If the equipment needs to be replaced, then it may be more efficient to remove and rebuild a portion of the existing wall as compared to repairing it. The existing concrete is spalling, and corroded reinforcing is exposed. Repairing the concrete is very possible and would require removing loose or degraded material, cleaning of rebar, applying corrosion inhibitor and patch concrete back to its original section.

The east site paving and structures including sidewalks, parking lot paving and small site retaining walls all are showing signs of movement and deterioration. The sidewalk and paving are both cracking and settling locally, which do not necessarily prevent the use of these elements but to address these issues they will need to be replaced. The site retaining walls are relatively small and can be repaired by simply resetting the existing stones.

HISTORIC PRESERVATION

(To be included in future submission)

FIRE ALARM AND FIRE SUPPRESSION

SmithGroup Fire Protection and Life Safety team surveyed the subject fire suppression and fire alarm systems elements to the fullest extent possible via visual observation at floor level. The team entered most, though not necessarily all, rooms to obtain an accurate representation of the conditions of the building. Particular attention was paid to spaces housing infrastructure such as the fire pump and main fire alarm control panel. Rooms without access were not surveyed, and areas that were unsafe to investigate, such as portions of the penthouse with no floor, thus creating a fall hazard through the ceiling of the story below, were not entered.

MECHANICAL SYSTEMS

The existing conditions information was gathered from an on-site survey the week of April 5, 2021, as well as from existing drawings and other documents provided by the District of Columbia Courts. The existing conditions described are for Building B. The year of substantial completion for the construction of Building B is 1939. A majority of mechanical systems were replaced in a 2003 renovation. However, some mechanical systems were either overhauled in the decades before or remain original to the 1939 substantial completion. In addition, based on the survey, it appears some additional equipment replacement and minor renovations have occurred more recently than 2003.

PLUMBING SYSTEMS

The existing conditions information was gathered from an on-site survey the week of April 5th, 2021, existing drawings and other documents provided by the District of Columbia Courts. The existing conditions described are for the Building B. The documents provided show a major renovation in 2003. The original construction date of the building is unknown. Plumbing systems that are original to the building appear to be at least 30 to 40 years old.

ELECTRICAL SYSTEMS

The electrical analysis documents the existing electrical conditions for the DC Courts campus in Washington, DC. This analysis scope is limited to Building B. The existing conditions documented within this section are based on the 2003 design building documents provided to SmithGroup and surveys conducted on April 1st, 2021 and March 12th, 2021. The scope of these surveys was for all floors: Basement, Level 1, Level 2, Level 3, and Attic.

ELEVATORS

The existing conditions information was gathered from an on-site survey the week of April 5th, 2021, existing drawings and other documents provided by the District of Columbia Courts. The six (6) passenger elevators are of good quality. They were initially manufactured and installed by Atlantic Elevator Company in 1940, and were modernized by Schindler Elevator Company in 2006. The one (1) sidewalk elevator was manufactured by Gillespie Elevator Company in 2002. It is not currently operating and is locked and tagged out.

AUDIO VISUAL

NV5 Engineering & Technology surveyed the existing conditions for Building B during on-site surveys April 1-8, 2021, as well as from existing drawings and other documents provided by the District of Columbia Courts. All spaces were observed in order to inventory individual audiovisual (AV) assets including display devices (projectors, projection screens, and flat panel displays), touch panel controllers and annotators (Crestron panels and Telestrators), AV equipment racks, rack-based AV components (control processors, annotators, switchers, digital signal processors, and amplifiers). In addition, NV5 surveyed components as part of a complete system including Video Conferencing systems (codecs and cameras), and Court Recording Systems (microphones, format converters, and servers).

TELECOMMUNICATIONS

NV5 Engineering & Technology surveyed the existing conditions for Building B during on-site surveys April 1-8, 2021, as well as from existing drawings and other documents provided by the District of Columbia Courts. All telecommunications rooms and building wide telecommunications systems and infrastructure were surveyed and evaluated during this survey including abandoned telecommunications rooms no longer in use. In addition to the horizontal and backbone structured cabling systems (copper, optical fiber, and coaxial distribution), NV5 also assessed all telecommunications racks, network switches, voice equipment, wireless access point

systems, cellular distributed antenna systems (DAS), and any data center servers and appliances and voice equipment.

SECURITY

M2H Protection, Consulting and Design surveyed the existing conditions for Building B during on-site surveys April 1-8, 2021, as well as from existing drawings and other documents provided by the District of Columbia Courts. All security systems and infrastructure were surveyed and evaluated during this survey including access control, intrusion detection, closed circuit television, intercommunication systems, contraband screening and detection systems, and vehicle control systems.

CIVIL

The existing exterior site conditions assessment has been primarily shared between two disciplines: Landscape Architecture and Civil Engineering. The scope of the Civil Engineering assessment included ground surface elements, such as pedestrian and vehicular pavement, curbs and gutters, driveway entrances and garage ramps, as well as observable utility services such as storm drainage, sanitary sewers, and water supply sources. Vertical site elements, site furnishings, and landscaping, such as retaining walls, benches, trash receptacles, and planted areas for example, have been covered under the Landscape Architecture portion of this assessment.

In addition, please note there are additional assets that have some degree of discipline overlap. For example, site lighting, such as light poles, tree accent lights, and other ornamental lighting fixtures share some degree of input from multiple disciplines. In this case, Landscape Architecture for the visual condition of the light fixtures, Electrical for the condition of the bulbs, ballasts, and general functionality, as well as Civil for the documentation of the onsite infrastructure to support this system.

The AE Assessment Team has made every effort to minimize discipline overlap and maintain simplicity with the asset inventory. Nonetheless, there are elements which require the expertise of multiple disciplines to provide a comprehensive assessment.

The information gathered was collected from an on-site visual inspection conducted the week of March 29, 2021, as well as from existing drawings and other documents provided by the District of Columbia Courts, and survey records from the Wiles Mensch Corporation, dated 2009. The existing conditions described are for the Building B.

LANDSCAPE

The RHI Landscape team working with SmithGroup visited the grounds of Building B in April 2021 to inventory all Landscape related assets and perform an assessment of the condition of those assets including site walls, exterior furnishings, plantings and planters, signage not attached to buildings, and fences and gates not attached to the building.

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4.3.2 ARCHITECTURAL INTERIORS

ARCHITECTURAL INTERIORS SURVEY

Building B is a four-story courthouse and office building located at 510 4th Street, Washington DC and was originally constructed in 1939. The building is approximately 113,000 square feet, with custom stained architecture woodwork in the courtrooms and converted office areas, full and partial height marble slabs in the main corridors and elevator lobbies, terrazzo flooring in corridors and restrooms, broadloom carpet in courtrooms and office areas, painted gypsum board walls and ceilings, and ACT ceiling systems throughout.



Historic Marble Slabs at Ground Floor Lobby



Historic Marble Slabs at Main Corridor

In general, Building B was found to be in fair condition and well maintained. Many of the items contained in the assessment analysis and deficiencies lists are related to what we would classify as normal wear and tear brought on by time, but some deficiencies are due to water damage and harsh environmental factors.

When a room or area was surveyed and found to be in good condition without any visible deficiencies, it was given a 5 Asset Priority Code assuming the lifespan of most interior finishes will require replacement in approximately 10 years. Because these types of items are included in the current lease agreement, cost estimates have not been provided for them in this building assessment report. They have been included in this report to provide a list that can be tracked for later action.

INTERIOR PARTITIONS AND WINDOWS

Original and renovated spaces on all floors are painted gypsum board on metal studs. Executive offices and courtrooms partitions are gypsum board on both side of metal studs with wood paneling. The partitions in elevator lobbies and main corridors on levels 1 through 3 are gypsum board on both sides of metal studs with full and partial height historic marble slabs. There are CMU block partitions primarily in stairways, mechanical and electrical rooms and in the basement.

Interior windows include a two-way mirror, transaction windows with historic metal signage and clerestory windows at an interior conference space.

INTERIOR DOORS AND HARDWARE

Many interior doors have been repaired and replaced throughout the building over time. Wood doors hung on metal frames with lever handles are used in public and office areas. Wood doors on historic wood frames and non-historic wood frames are in some office areas as well. Wood doors on historic metal frames are in the main corridor typically at the janitor's closet, IT closet, and the north and south stairs and elevators. Typical hollow metal doors on metal frames are located at back of house spaces, including mechanical rooms and storage spaces mostly on the basement level. Renovations over the years have resulted in a variety of door types throughout the building that are not consist to room types.

It was observed that code compliant hardware, openers, actuators, and level walking surfaces with smooth transitions are provided at interior doors. Mechanical pressure testing to determine the forces required to operate doors was not conducted during the surveys. However, it was observed that doors operated smoothly and appeared to meet code requirements with regards to operation, automatic operators where required, and force needed to open doors. Some restroom doors and some private office area doors, with access to courtrooms, have electronic door openers.



Glazed Metal Frame Doors



Historic Wood Frame

INTERIOR FITTINGS

Floor anchored stainless steel toilet compartments are in public restrooms as well as stainless steel grab bars, soap dispensers, paper towel dispensers, toilet paper dispensers, wall-mounted baby changing stations and welded frame mirrors. Private single user restrooms, adjacent to executive offices, contain historic marble toilet and shower compartments, soap dispensers, paper towel dispensers, toilet paper holders and mirrors. Typical single use restrooms in office areas contain grab bars, mirror and wall recessed paper towel and toilet paper dispensers.

Room signage is located throughout the upper levels in every space in a variety of sizes and is IN

good condition. Lockers are in the restrooms on the basement level, adjacent to fitness rooms.

There is a variety of casework throughout the building. The ground floor reception contains a custom guard desk with stone base, wood paneling, glass insets, and plastic laminate and solid surface work surfaces. Pantries have plastic laminate cabinets and countertops. There are plastic laminate countertops at teller stations, service counters, and restroom sinks. Many offices have built-in wood bookcases with adjustable shelving. There are also fixed wood benches at locker rooms and courtrooms. Most closets contain an adjustable shelf and hanging rod.

STAIR SYSTEMS

The interior stairs at the north, south and west sides of the building are steel construction with marble stair treads and picket railings. The stairs are in very good structural condition. Treads are worn down in high traffic areas but are generally in good condition.

WALL, FLOOR AND CEILING FINISHES

The interior finishes are well maintained but some historic finishes require restoration.

Flooring finishes include terrazzo and tile in public areas, and carpet and tile in private or back of house areas. Wall finishes include historic marble slabs and architectural woodwork in public areas, and painted gypsum board and architecture woodwork in private spaces. Restrooms contain wall tile and painted gyp throughout. Historic stone windowsills have been removed or repaired throughout the building, with many still in good condition.

The wall base types are not consistent per room or flooring type. It was not unusual to find multiple wall base types in one space. Terrazzo, carpet, stone, tile, and vinyl base are found throughout the building.

DEFICIENCIES

When a room or area was surveyed and found to be in primarily good condition but with deficiencies that need immediate attention it was given a 1 Asset Priority Code. Items not to code or deficiencies such as broken closers, missing flooring, cracked tile, and finishes with significant visible water damage need action as soon as possible.

The basement level is on average in fair condition, or a 3 Asset Condition Code, with significantly more deficiencies than the upper levels. Major components need to be repaired or replaced in the main corridor, office spaces, and detainee area. Water damage to ceiling and wall finishes require repair or replacement. Casework in training rooms and restrooms are near the end of their life cycle. Many interior doors are near the end of their life cycle as well. Most rooms on the basement level are missing identifying devices that are required by code. ADA grab bars are not code compliant at toilet compartments or roll-in showers. The terrazzo and tile floors are well maintained as well as the mechanical rooms in general.

Areas with historic finishes, such as courtrooms, lobbies and main corridors require repair due to normal wear and tear and time. Major sections of marble slabs need to be repaired or replaced due to discolored or cracked slabs and failing mortar joints. Wood panels that are faded or cracked need to be refinished or replaced.



Wood Paneling and Seating at Courtroom



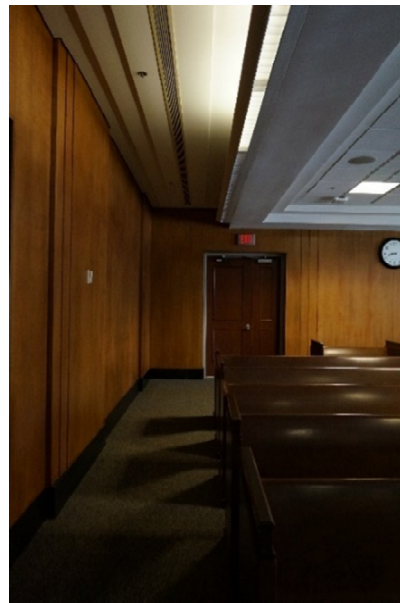
Central Stair from Ground to Third Floor

On the upper floors code deficiencies were typically observed in the public restrooms, main entrance, and public stairs. Deficiencies consist of missing or non-compliant grab bars, doors that do not swing in the direction of egress or otherwise constrained by hardware configurations, damaged fire rated doors, and missing or non-compliant railings.

More specifically, all (3) public stairs require guardrails on both sides that are a minimum 42" high. The existing handrails do not extend 12" from the bottom tread, as required by code, but are within the 30-42-inch height. And the historic glazed metal frame doors at the ground level main entrances do not adhere to the minimum width required for egress.



Terrazzo Flooring and Painted Ceilings



Architectural Woodwork and Carpet

CONCLUSION

In general, the SmithGroup architectural interior team observed deficiencies that are typical for the age and wear of certain finishes. Routine maintenance of historic finishes, such as marble and architectural woodwork, is needed.

Beyond aesthetic deficiencies observed relative to the interior of the building, there were areas that do not meet current ADA or general code requirements. Code related deficiencies were typically observed in restrooms, main lobby, and stair systems.

Refer to the assessment and deficiencies tables for a detailed list of items observed, locations, and associated priority codes.

4.3.3 EXTERIOR ENCLOSURE

EXTERIOR ENCLOSURE SURVEY

The building enclosure construction for the District of Columbia Courts Building B, located at 510 4th Street, Washington, DC, is a combination of Indiana Limestone panels attached to an 8” CMU backup wall and a granite base at grade. The limestone paneling and granite base were observed to be in good structural condition, except all façades will require power-wash cleaning in the next three to five years.



Building B East Elevation



Building B Southwest view



Building B North Elevation

The main entrance for Building B is located at the East Elevation and consists of three pairs of solid wood exterior doors located in the center of the façade. The North, South, and West elevations have a set of double solid wood doors per elevation that are used mainly to exit the building. All Doors include historical custom wood frames and associated hardware. All exterior doors are fully operational and in good standing. The main deficiency is aesthetically where the wood doors and frames need to be cleaned, re-stained, and refinished. There are some areas around the door frame where the joint sealant needs to be replaced due to weathering.



Exterior Door at South Elevation

Building B has a ramp for accessibility located at the north elevation. The ramp railing needs to be upgraded due to the missing of the edge protection rail. At this time the ramp is not code compliant and the granite flooring slabs have to be re-leveled. In addition, each access to the building is flanked with a pair of historical cast iron light posts mounted on a granite base. These historical light posts are structurally in good condition. However, there are signs of rust on the cast iron. The corrective recommendation is to scrape and refinish all light posts.



North Elevation Accessible Ramp



Historic Light Post on Granite Base

At the west elevation, the building includes two exterior balconies located on the second level of the NW and SW bays. The balconies incorporate two limestone columns and cast-iron historical railings. The exterior doors at these balconies are historical double-glazed doors with wood frames.

The main deficiencies on the balconies are the historical cast-iron railings that have to be upgraded to a 42" minimum height and the space between the columns and the railing should not exceed a 4" sphere diameter to meet code. Otherwise, the balconies are in good condition and only require to be power washed in the next three to five years.



West Elevation Balconies

All building elevations include historical custom wood framed double-hung windows with insulated glass and an extra layer of glazing in the interior which was installed in recent years for extra thermal performance. All windows throughout the building are fixed. The main deficiency noticed at the windows is the condition of the wood frames, especially the window wood sills. The window wood frames seem to have deteriorated and are in critical condition due to weathering. The Architecture building enclosure team recommends repair and refinish all window framing and replace as needed, beginning at the south elevation which is in the most critical condition. All window exterior glazing must be cleaned due to the presence of dust and debris.



Typical Wood Framed Double-Hung Window



Wood Trim and Sill Condition at South Elevation

Section 4

The building has four underground exterior stairs for basement access, two at the East and two at the West grounds. These entrances are secured with black painted cast iron gates at the ground level around the stairs. Each entrance includes painted hollow metal doors to enter the building at the basement level. The general deficiency for these areas is the presence of waste and debris from the surroundings and environment. Repainting the walls and doors seems to be past overdue. The main recommendation for these areas is to clean and repaint.



Basement Service Entrance at West Grounds

The building roof consists of a sloped copper standing seam roof system, adjacent to the central core of the roof. The low slope roof covering is made of a single-ply PVC roofing with heat-welded, fully adhered membrane with rigid roof insulation supported by the structural roof deck below. There are three roof hatches which access the roof. The roof system appears to be in very good condition overall. It was observed that in some flat areas there is evidence of water damage and stains, it appears to be due to inefficient drainage due to a clogged drain. Corrective action recommendations consist of cleaning and unclogging roof drains.



Slow Slope Roof Covering - Single-Ply PVC



Copper Standing Seam Roof System



Standing Water by drain location

CONCLUSION

In general, SmithGroup building enclosure team observed only minor isolated deficiencies in the exterior envelope, windows, doors, and roof systems which is, in our opinion, contributed to a good design and quality construction. Many of the items contained in the assessment analysis and deficiencies lists are related to what we would classify as normal wear and tear due to time and weathering.

Beyond the relatively minor deficiencies observed relative to the exterior of the building, there were a few areas that do not meet current ADA or code requirements. ADA deficiencies were typically observed in the railings at the balcony and accessible ramp at the north entrance.

Refer to the assessment and deficiencies tables for a detailed list of items observed, locations, and associated priority codes.

4.3.4 STRUCTURE

STRUCTURAL SURVEY

Building B is a 3-story structure with one below grade basement level and an attic. It was originally constructed in 1939 and appears to have undergone one major renovation and various minor renovations since it was constructed. The original structural drawings have not been available to the team, however a prior renovation project *Interior Improvements to DC Superior Courts Building 'B'* used the original drawings as backgrounds. The following structural description is based on the review of these partial structural drawings, site visit observations and the other reference documents provided which are listed below.

Interior Renovations (2002) All drawings, no structural scope

Interior Improvements to DC Superior Courts Building 'B' (2003) All drawings, incl.

Structure

Interior Improvement Judges Suite (2012) All drawings, no structural scope

Civil Division Renovation (2017) All drawings, no structural scope

Judiciary Square Master Plan (2005)

Facilities Condition Assessment (2013)

Facilities Master Plan (2019)

SUBSTRUCTURE

The building is assumed to be supported on shallow concrete spread foundation below columns and continuous concrete wall foundations below the exterior wall. The exact foundations are unknown because the structural foundations drawing is not available, and the foundations were not directly observed during the field investigation. The foundation type is assumed based on construction type (reinforced concrete slabs) and era of construction. There were no visible signs of distress related to building foundation issues such settlement. As such there is no reason to think there are any issues with the foundations. The primary reason to investigate the foundations further is if there is a proposed change of loading and there is need for reserve capacity.

There was one unusual foundation item that was observed and is still being investigated, which are several large grade beams occupying the space between the basement level and the first floor in the SW corner (see Figure S- 1 and Figure S- 2). They are oriented at an angle to the building in the SW direction and appear to transfer column loads to foundation avoiding a bearing condition, but the specific reason for their being there is not known. It is unclear if they are original to the building or if they were installed at some subsequent renovation, but they do appear to be an existing condition in the *Interior Improvements to DC Superior Courts Building 'B'* renovation project. They also appear to extend outside the building because there is a corresponding saw-cut joint in the slab on grade on the exterior sidewalk (see Figure S- 3). There is no sign that grade beam support configuration is causing damage or is deteriorating. Reasons to investigate them further would be to (a) understand them better to make sure any adjacent construction doesn't affect them as they extend beyond the footprint of the building and (b) determine if there is reserve capacity in the system.

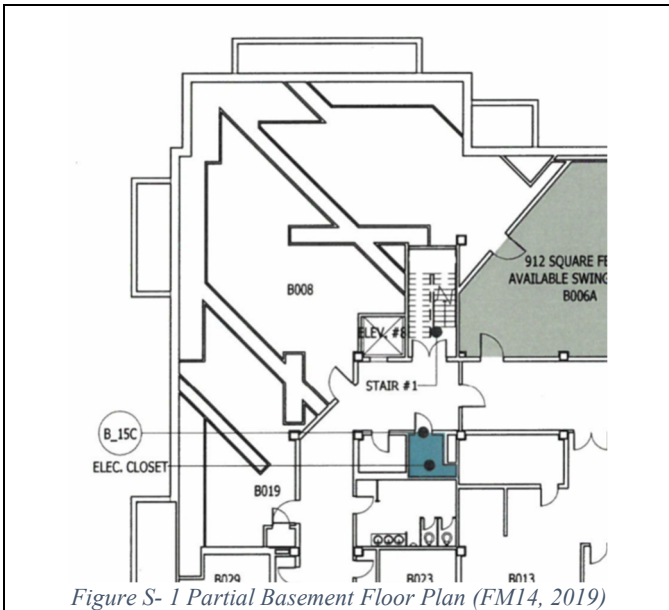


Figure S- 1 Partial Basement Floor Plan (FM14, 2019)



Figure S- 2 Grade Beams



Figure S- 3 Sidewalk Joints Above Basement Grade Beams

FRAME

The building frame is a steel column and steel girder frame with concrete joist-slabs. The steel girders are encased in concrete as part of the cast-in-place concrete joist-slabs (see Figure S-4). The columns appear to be wrapped in a combination of brick or terracotta block (see Figure S-5). The beam and column steel in the attic space is not encased or wrapped (see Figure S-6), and the attic cast-in-place slab floor does not fully cover the level below. The roof steel generally appears to be in good condition. In a couple locations some minor corrosion was observed which will require maintenance to address the steel (see Figure S-7). There was some water staining observed on the underside of the sloped portions of the roof suggesting that at least at one point there was water in the attic (see Figure S-8). Though it could be an old leak that has since been fixed or condensation and not an active leak. The steel in the rest of the building was not observable because either finishes or encasing blocked direct observations.

Section 4

No specific distress associated with steel frame issues such as corrosion staining or cracking of finishes was observed.



Figure S-4 View of Underside of slab from Basement



Figure S-5 View of Steel Column Wrap and Beam Encasement



Figure S-6 Exposed Steel Framing and Ceiling in Attic



Figure S-7 Steel Framing in Attic with Minor Corrosion



Figure S-8 Underside of Roof Precast Plank

SLABS

The roof slab is a combination of precast concrete plank system spanning over exposed steel purlins with tie-rods as weak axis support in the sloped sections, and a cast in place concrete flat slab at the upper flat portion (see Figure S-7). The thickness and reinforcing of the precast planks are unknown but no specific damage or distress was observed in the planks other than staining mentioned above with the steel framing. The flat slab thickness and reinforcing are also unknown. The attic had a concrete slab covering part of the area acting as a mechanical space. A recent renovation installed a topping slab with curbs around new mechanical units and there is some cracking in the curb of this topping slab (see Figure S-9). It is a non-structural issue but for durability should eventually be repaired to avoid corrosion of the reinforcing and deterioration of the concrete.

The typical slab construction is a one-way concrete joist-slab, where small concrete beams span one-way between steel girders on column lines and the slab spans between these beams (see Figure S-4). The beams frequency allows the slab to be thin which is beneficial for weight of the slab but does leave the slab area between beams vulnerable to heavy to point loading, so careful consideration of point loading is recommended. No specific distress to the slab was observed from the underside of the 1st floor slab from the basement area, which was primarily where the slab type was observable. Small sections of slab on the upper levels in the maintenance closet were observed and confirmed the similar slab type.

The basement is assumed to be a slab on grade with local depressions and trenches in the mechanical spaces (see Figure S-10). The basement slab on grade was observed to be in good condition typically and structurally sound in the mechanical areas with turndowns and vaults.



Figure S-9 Crack in Topping Slab Curb



Figure S-10 View of Equipment Pit in Basement SOG

WALLS

The exterior wall assembly is a Limestone façade likely with a brick backup wall built integral with / grouted to it. The backside of the brick in the façade assembly was observed in the attic space (see Figure S-11) and looks similar to this type of wall construction but was not directly observed. Silman observed no major deficiencies in the exterior wall assembly, and it did seem that repairs and cleaning were done relatively recently. The only noted issues were one minor spall (see Figure S-12), one stone stained by the copper roofing (see Figure S-13) & the exterior enclosure walls at the NW corner have relatively more biological growth (see Figure S-14) than the rest of the building which looks in good condition.

Section 4

The basement wall is a reinforced concrete wall typically with a few areaways around the building. The areaway that is the loading dock lift/elevator going from grade down to the basement level was showing signs of deterioration (see Figure S-15). The concrete is spalling and some of the lintel beam reinforcing is exposed and corroding (see Figure S-16). The loading dock lift mechanism and embedded steel connections to the concrete walls are corroding. If a new lift is installed it should be assumed that there will be a significant portion of the concrete areaway wall that is rebuilt.

Interior partition walls were observed to typically be hollow / unreinforced terracotta blocks (see Figure S-17). In some places where renovations have been done the terracotta was replaced with CMU. There was no specific issues observed with the terracotta blocks. Based on experience it should be noted that these partition walls have limited capacity to hang heavy objects and span over wall openings. Future modifications should consider how these walls will need to be changed as it may require replacement of the wall.



Figure S-11 View of Brick Backup Side of Exterior Wall



Figure S-12 Small Spall in Limestone at Base of Wall



Figure S-13 Staining of Cornice Stone



Figure S-14 Staining of Exterior Site Walls



Figure S-15 Loading Dock Lift Equipment



Figure S-16 Exposed Rebar in Beam at Loading Dock

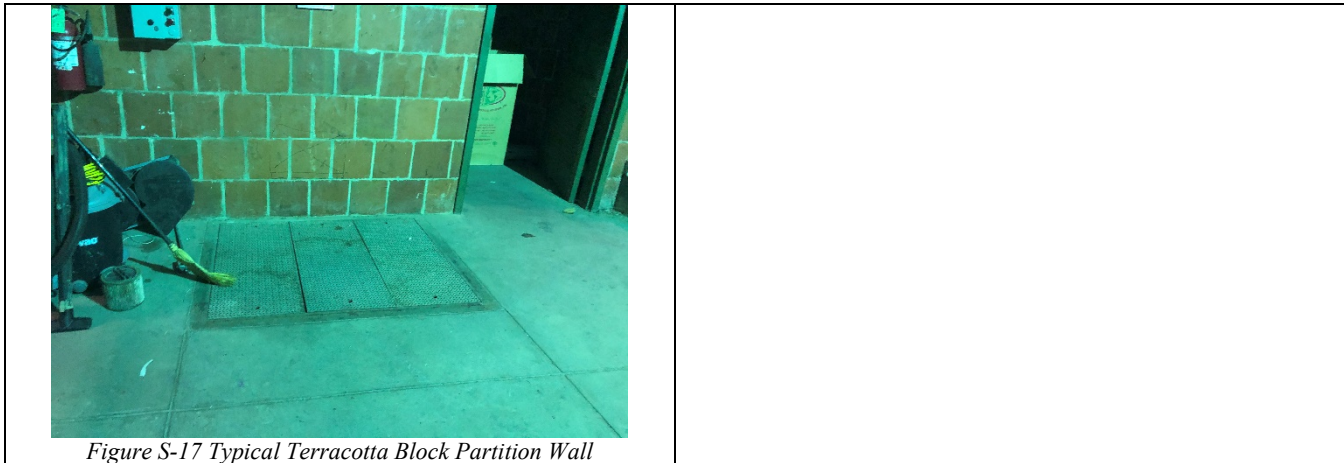


Figure S-17 Typical Terracotta Block Partition Wall

SITE STRUCTURES

The exterior paving and site walls on the west side of the building facing the park were all in good condition and appeared to have been replaced recently. The exterior paving on the east side of the building is the parking lot and sidewalks that serve it including the center walkway from the main entrance that has granite blocks inset into the sidewalk paving (see Figure S-18). The sidewalks are typically concrete slab on grade with an exposed aggregate finish and the parking area is asphalt paving. Both the sidewalk areas and the parking lot areas are all showing signs of local pockets of settlement as evidenced by the varying elevation and cracking typical throughout (see Figure S-19). Both elements are still functional and will likely be for several more years but in the long term they will need to be replaced to fully resolve the settlement issues. A new installation of paving will need to investigate and appropriately provide suitable bearing to prevent settlement. The small site retaining walls on the east side facing the parking lot are functional but have significant grout loss between stones and some stones are displaced (see Figure S-20). To repair this wall the existing stones can simply be reset.

The site in general is located adjacent to some known below grade structures on the south with the National Law Enforcement Museum and Metro Redline running east-west below the building. Note that the south west corner of the building is also where the large grade beams transferring column loads were observed in the basement. Any modifications to both the building structure and the site at the south west corner will require significant foundation investigation and potentially redesign. The area to the east that is the parking lot is open at grade but has the Metro Redline below so any new structure will have to be coordinated with WAMATA and will require more extensive foundation work than what would be typical otherwise.



Figure S- 18 Sidewalk Paving On East Side



Figure S-19 Typical Settlement Cracking



Figure S- 20 Site Retaining Wall

BUILDING B OBSERVED DEFICIENCIES AND RECOMMENDATIONS

Silman had no issues classified as Priority 1, as defined as currently critical or immediate concerns requiring actions as soon as possible. The following recommendation is classified as Priority 2, as defined as potentially critical or short-term concerns requiring action within 1-2 years.

(BSWL-B00BSE-001) At the loading dock lift / elevator in the southeast corner of the basement the deterioration of the concrete and exposed rebar should be treated patched for continued use of the lift / elevator. Additionally, when the lift equipment is replaced, it should be assumed that a portion of the concrete retaining wall will need to be demolished and rebuilt.

The following recommendations are classified as Priority 3, as defined as not yet critical or long-term concerns requiring action within 3-5 years.

Section 4

(FDSL-B04000-001) Cracking at the topping slab areas and curbs of the attic slab should be patched. Cracking was limited to areas of the curb that were aligned over beams.

(CGCG-B01SNE-001, CGCG-B01SSE-001, CUGU-B01000-001) The granite curbs at the perimeter of the sidewalks and at the parking lots on the east side of the building become misaligned at places and raised above the adjacent sidewalk. The curbs should be repaired or replaced as required, with all curbs being reset to proper alignment.

(PASU-B01000-001, PASU-B01SNE-001, PASU-B01SSE-001) The sidewalks and parking lot paving on the east side of the building were observed to be cracked and settling. These elements will need to be replaced to address the deficiencies.

(RETW-B01SNE-001) The small site retaining wall along the northeast façade of the building has a significant amount of grout missing between stones and some stones have shifted out of alignment. While the wall is structurally sound, the wall should be realigned/reset and the joints should be regouted.

The following recommendations are classified as Priority 4, as defined as items that will probably be critical or long-term concerns, requiring action within 6-10 years.

(RFRO-BR1000-001) In the roof framing, one beam was observed with localized corrosion to the top flange, likely the result of water. The corroded area should be cleaned and painted.



Figure S-16 Exposed Rebar in Beam at Loading Dock (BSWL-B00BSE-001)



Figure S- 9 Crack in Topping Slab Curb (FDSL-B04000-001)



*Figure S- 20 Site Retaining Wall (RETW-B01SNE-001)
(CGCG-B01SNE-001, CGCG-B01SSE-001, CUGU-B01000-001)*



*Figure S-19 Typical Settlement Cracking (PASU-B01000-001,
PASU-B01SNE-001, PASU-B01SSE-001) (CGCG-B01SNE-001,
CGCG-B01SSE-001, CUGU-B01000-001)*



*Figure S-7 Steel Framing in Attic with Minor Corrosion (RFR0-
BR1000-001)*

4.3.5 HISTORIC PRESERVATION

HISTORIC PRESERVATION SURVEY

(To be included in future submission)

4.3.6 FIRE ALARM AND FIRE SUPPRESSION

AUTOMATIC FIRE SUPPRESSION

Building B appears to be sprinklered throughout and has a standpipe riser located in each of its three exit stairs. Standpipe system hose valves are located on main floor landings, and sprinkler zone control assemblies are located on main floor landings in one of the stairs. A dry-pipe sprinkler system is provided for protection of the penthouse/attic level; all other floors are protected by wet-pipe sprinklers.

The building sprinkler and standpipes are supplied by an electric, vertical in-line pump located in the the basement (Level B1) mechanical room. The Aurora pump is rated for 80 psi of boost at 500 gpm of flow and is driven by a 40 hp motor. An MTH Pumps jockey pump maintains system pressure under normal operating conditions. Joslyn Clark fire pump and jockey pump controllers are provided to control the respective pumps.

A 6-inch Ames double-check backflow preventer is located on the incoming service main. Two fire department connections are installed on the face of the building.

Sprinklers generally appeared to be installed for light-hazard spacing in offices, courtrooms, and corridors, with ordinary-hazard spacing in mechanical rooms.

PORTABLE FIRE EXTINGUISHERS

Manual fire extinguishers were provided throughout Building B. Extinguishers were typically dry chemical, Class ABC extinguishers, although several pressurized water extinguishers (Class A, only) were observed. Extinguishers in finished, occupied spaces were typically installed in recessed or semi-recessed cabinets, while extinguishers in mechanical rooms, elevator machine rooms, and similar back-of-house spaces were often mounted on wall brackets or left sitting on the floor.

FIRE DETECTION AND ALARM

The building is protected throughout by a Siemens XLS addressable fire detection and alarm system. The voice evacuation/fire alarm system provides notification via speakers and strobes. The system supervises the building sprinkler system water flow alarm switches and provides automatic smoke and heat detection in limited areas.

A Keltron Net922 IP-based dialer is located adjacent to the fire alarm control panel provides central station communications. An annunciator is located in the lobby and an additional annunciator is located in the main building security closet. An EVAX mass notification panel was also located in the main building security closet.

Smoke detectors provided in the elevator lobbies and machine rooms are presumed to initiate elevator recall. Heat detectors in the elevator machine room are presumed to provide elevator power shunt trip prior to sprinkler activation. Smoke detectors were also provided in the vicinity of the fire alarm control panel and notification appliance circuit (NAC) power supply panels.

BUILDING B OBSERVED DEFICIENCIES AND RECOMMENDATIONS

Refer to the corrective actions list for a complete list of recommendations. Critical and

common findings are summarized below.

- The building fire pump appeared to be in particularly poor condition and at or beyond the end of its expected useful lifecycle (Figure X-X-1). The fire pump – along with the associated fire pump controller, jockey pump, and jockey pump controller – should be replaced immediately if its performance is beginning to degrade, or in the next 1-2 years if recent flow tests indicate currently acceptable performance. Since the pump was not located in a rated fire pump room, and was exposed to elevated humidity and temperature from adjacent steam equipment, it is recommended that the pump be relocated to a new, code-compliant fire pump room at the time it is replaced. This will also permit less down-time during the change-over to the new pump.
- It was not clear from accessible visual observation whether or not the penthouse/attic level dry sprinkler system contained portions of trapped water. This system should be evaluated and additional auxiliary drains provided if necessary.

In addition, several of the current auxiliary drains were located over an area with no floor, creating a significant fall hazard (Figure X-X-2). Since these drains are required to be accessed regularly and currently require fall protection equipment to do so, it is recommended that the system piping be modified to create more accessible drains, or that catwalks be provided to access the auxiliary drains without requiring fall protection equipment.

Finally, at least two of the existing auxiliary and main drains were connected to a plumbing vent pipe in a non-code-compliant manner. These drains will need to be modified and re-routed to comply with NFPA 13 and the DC Plumbing Code.

- Multiple fire extinguishers were found sitting on the floor. The associated wall bracket was found on the floor next to the extinguisher in several cases. All fire extinguishers should be mounted on wall brackets or located in cabinets.



X-X-1



X-X-2

4.3.7 MECHANICAL SYSTEMS

CHILLED WATER PLANT

The Building B cooling system consists of two basement chillers circulating chilled water to cooling coils in air handling units located in the basement and penthouse. Two cooling towers located in the penthouse circulate condenser water to the basement chillers through condenser water pumps.

Chillers CHWO-BB1000-001 & 002 are water-cooled screw chillers using refrigerant R-134a. They are manufactured by Carrier, model 30HXC. Chillers do not operate on VFD. Sound blankets are installed at the compressor section of each chiller. At the time of survey, one chiller was operating and was observed to have excessive noise despite the sound insulation blanket. Chillers are in end-of-life condition.

Cooling towers CT00-BPH000-001 & 002 are forced-draft closed-circuit counterflow type towers located indoors in the penthouse. They are manufactured by Evapco, model LSTA. Towers were operational at the time of survey and are in working condition. Both towers operate on VFD.

Chilled water pumps are in primary-secondary arrangement with a set of two chilled water pumps, CHWP-BB1000-001 & 002, circulating through the chillers and a set of two secondary chilled water pumps, CHWP-BB1000-003 & 004, distributing chilled water to air handler cooling coils with 2-way valves. The secondary chilled water pumps operate on VFD. Both sets of pumps include N+1 redundancy, where one pump operates as primary and one as stand-by.

All four pumps include an insulation box around the pump body. Primary pumps are at end of life but appear to have had motor replacement in the past five years. The pump body is original and shows heavy corrosion. Secondary pumps were installed in 2003 and are in good working condition.

Two condenser water pumps, CWPO-BB1000-001 & 002, circulate condenser water between the cooling towers and the chillers at constant volume. One pump operates as primary and one as stand-by. Pump motors appear to be original to the pumps. Both condenser water pumps show visible deterioration and are at end of life.

No component of the chilled water system is on emergency generator power. Building staff reports that there are no capacity deficiencies in the Building B chilled water system.

The chilled water system operates on BAS control with equipment automatically staged according to a sequence of operations through the Carrier-provided outdated chiller controller. There is no economizer equipment or mode associated with the chilled water system.

Asset ID	Equipment Type	Size
CHWO-BB1000-001	Chiller	
CHWO-BB1000-001	Chiller	
CT00-BPH000-001	Cooling Tower	
CT00-BPH000-002	Cooling Tower	
CHWP-BB1000-001	Chilled Water Pump - Primary	5 HP
CHWP-BB1000-002	Chilled Water Pump - Primary	5 HP
CHWP-BB1000-003	Chilled Water Pump - Secondary	20 HP
CHWP-BB1000-004	Chilled Water Pump - Secondary	20 HP

CWPO-BB1000-001	Condenser Water Pump	10 HP
CWPO-BB1000-002	Condenser Water Pump	10 HP



CHWO-BB1000-001



CWPO-BB1000-001



CHWO-BB1000-001

HEATING HOT WATER PLANT

Building B heating hot water is provided by a steam to hot water shell and tube heat exchanger (HX00-BB1000-001). Refer to the steam section below for more information regarding HX00-BB1000-001. The heating hot water system is also served by two Patterson-Kelly natural gas-fired hot water boilers (BHW0-BB1000-001,002). From discussions with the building engineer, the shell and tube steam to hot water heat exchanger provides heating hot water to the building year-round, while the gas-fired hot water boilers are used only as backup and redundancy purposes in the event of a steam system failure. It is unclear how often the gas-fired hot water boilers are operational, but the boilers appear to be in good working condition. The boilers each have a direct outdoor air and flue exhaust duct connection to the outdoors. At the time of the survey, the natural gas isolation valves were in the closed position and both boilers were not operational. It should also be noted, that Patterson-Kelly hot water boilers are typically used in domestic hot water applications and it is in this engineers' opinion that the boilers performance and design parameters should be

confirmed with the design Engineer of Record.

The heating hot water distribution system is in a primary-secondary pump arrangement. The primary hot water pumps (HWPO-BB1000-001,002) are constant flow and distribute hot water to the air handling units heating coils located on the basement and penthouse levels. The air handling units are provided with 3-way modulating control valves to modulate flow to maintain the AHU heating air discharge temperature setpoint. The secondary hot water pumps (HWPO-BB1000-003,004) is a variable flow system and distributes hot water to the fan power boxes (FPBs) and fin tube radiators (FTRs) throughout the building. The secondary pumps are provided with variable frequency drives (VFDs). The secondary hot water pump speed is controlled to maintain a differential pressure sensor setpoint located out in the heating hot water piping system. Both the primary and secondary set of hot water pumps are arranged in an N+1 pump arrangement, where one pump operates as primary and one as standby.

All heating hot water pumps are Armstrong, model 4030, end suction base-mounted type installed on vibration isolation pads. It is unknown when the pumps were installed, but it appears the pumps are in good working condition and regular pump maintenance should be performed.



BHWO-BB1000-001



HHWP-BB1000-001

STEAM

Building B receives high pressure steam from the U.S. General Services Administration (GSA) district energy steam system. A two-stage pressure reducing valve station (PRV) reduces high pressure steam (HPS) from the GSA steam system to medium pressure steam (MPS) and finally to low pressure steam (LPS) to be used for heating hot water. LPS steam is also delivered to a handful of fin tube radiators and a single AHU steam heating coil in the basement. The steam PRV and steam piping appear to be original to the building prior to the 2003 renovation.

A single Bell and Gossett shell and tube low pressure steam to hot water heat exchanger (HX00-BB1000-001) is providing hot water to recirculate throughout the building. Refer to the heating hot water plant section above for more information regarding the hot water system. The heat exchanger steam piping is arranged in a 1/3rd 2/3rd piping configuration. HX00-BB1000-001, steam control valves, LPS piping, and LPS steam insulation all appear to have been installed in 2003 renovation based on existing building documentation and building

surveys.

The steam condensate is collected and brought to a duplex steam condensate pump package located in a pit near the steam equipment (STCP-BB1000-001). From discussions with the building engineer, the steam condensate is pumped and drained to another location in the building and dumped down the drain. It is unclear if the steam condensate is cooled below 140°F prior to dumping down the drain to comply with current building codes. The duplex steam condensate pump package appears to be badly damaged and has visible corrosion and leaks.

Asset ID	Equipment Type	Size
HX00-BB1000-001	Shell and Tube Heat Exchanger	4,100 MBH
BHW0-BB1000-001	Hot Water Boiler	1638 MBH
BHW0-BB1000-002	Hot Water Boiler	1638 MBH
HWPO-BB1000-001	Primary Hot Water Pump	15 HP
HWPO-BB1000-002	Primary Hot Water Pump	15 HP
HWPO-BB1000-003	Secondary Hot Water Pump	7.5 HP
HWPO-BB1000-004	Secondary Hot Water Pump	7.5 HP



HX00-BB1000-001



STCP-BB1000-001

AIR HANDLING UNITS

The air handling units are located on the basement and penthouse levels of Building B. The penthouse houses two identical 31,000 CFM Carrier variable air volume air handling units (AHU0-BPH000-001 & 002). Each AHU delivers conditioned air to series fan powered boxes on the north and south half of the 2nd and 3rd levels of the building. AHU0-BPH000-002 serves the north and AHU0-BPH000-001 serves the south side of the building. The AHU components include the following: filters, pre-heat hot water coil with freeze pump, chilled water coil, electric steam humidifier, supply fan, and economizer section. The AHU return fans and relief air damper are adjacent to the AHU in the penthouse. Smoke detectors are installed in both the return inlet and supply outlet ductwork. Both the AHU’s were operational at the time of

the survey. AHU0-BPH000-001 & 002 each contain a heat recovery unit (HRU0-BPH00-001 & 002) located adjacent to the AHU to precondition the outdoor air using the buildings toilet exhaust. The air handling unit and components are in fair health and appear to have been installed in 2003. Routine maintenance is required to service the AHU components.

An additional AHU, located in the basement, is a 30,000 CFM Carrier variable air volume unit (AHU0-BB1000-001). This AHU provides conditioned air to series fan powered boxes located on the entire first floor of Building B. The AHU components include the following: filters, pre-heat hot water coil with freeze pump, chilled water coil, electric steam humidifier, supply fan, and economizer section. The AHU return fan and relief damper are adjacent to the AHU. Smoke detectors are installed in both the return inlet and supply outlet ductwork. The air handling unit and components are in fair health and appear to have been installed in 2003. Routine maintenance is required to service the AHU components.

These three primary AHUs serving Building B, and their respective return fans, are on VFD control. The supply fan modulates to maintain static pressure at the supply duct, and the return fan modulates to maintain building static pressure. AHU operation effectively includes a nightly setback due to nightly FPB setback in the system.

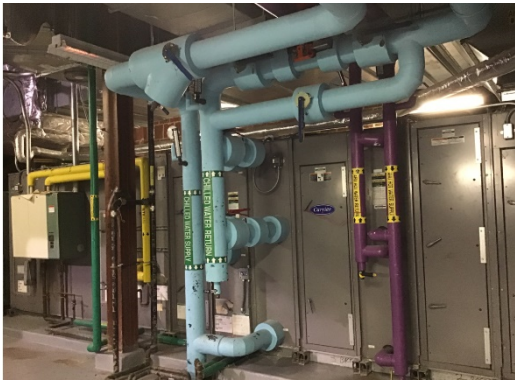
Three additional small-scale AHUs are located in the basement to serve basement spaces.

AHU0-BB1000-002 is a constant volume AHU manufactured by Trane. The AHU directly supplies heating, cooling, and ventilation to the north end of the basement including a fitness center, locker rooms, restrooms, and storage rooms, treating the area of service as a single zone. The AHU components include filters, low pressure steam pre-heat coil, chilled water coil, and supply air fan. The AHU was replaced in 2015 and is in good working condition. However, the unit provides no local temperature control for the multiple spaces it serves.

Another AHU located in the basement is unit AHU0-BB1000-003. This AHU is a Carrier variable air volume unit supplying conditioned air to four VAV boxes distributed through the U.S. Marshal's suite. The AHU components include filters, pre-heat hot water coil, chilled water coil, return air mixing plenum, and an outdoor air duct connection. The supply air fan is installed with a VFD. The unit was replaced in 2020 and is in good working condition.

The last AHU located in the basement is unit AHU0-BB1SAH-001 serving the basement holding cell area. AHU0-BB1SAH-S01 is a Magic Air model DVB, 2-ton upflow single-zone DX unit with a remote mounted condensing unit located outdoors.

Asset ID	Equipment Type	Size
AHU0-BPH000-001	Air Handling Unit	31,000 CFM
AHU0-BPH000-002	Air Handling Unit	31,000 CFM
AHU0-BB1000-001	Air Handling Unit	30,000 CFM
AHU0-BB1000-002	Air Handling Unit	
AHU0-BB1000-003	Air Handling Unit	1,870 CFM
AHU0-BB1SAH-S01	Air Handling Unit	
RF00-BPH000-001	Return Fan	26,000 CFM
RF00-BPH000-002	Return Fan	26,000 CFM
RF00-BB1000-001	Return Fan	25,400 CFM



AHU0-BPH000-001



AHU0-BB1000-001



AHU0-BB1000-002



AHU0-BB1000-003

DISTRIBUTION SYSTEMS

FAN POWER BOXES AND VARIABLE AIR VOLUME BOXES

Fan power boxes (FPBs) are located above the ceiling to provide heating, cooling, and ventilation throughout Building B. All fan power boxes are Carrier, model 45J, Series Fan Power Boxes and installed with a heating coil in the reheat position. The heating coils are provided with a 2-way modulating control valve maintain the discharge air temperature setpoint. All FPB are provided with direct digital control (DDC) terminal unit boxes by Automatic Logic and are monitored by the central building control management system. FPBs operate in occupied mode with nightly setback to unoccupied mode.

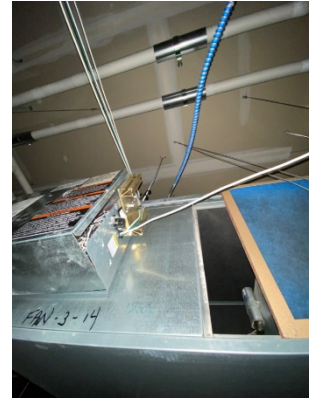
The FPBs appear to be in good working condition; however, routine maintenance is required to service the fan motor and coils. In addition, in some instances the FPBs primary air duct connection is installed with a flexible duct. It was observed that in multiple locations the flexible duct has disconnected from the main supply duct. In these cases, the area served by the FPB is not receiving any cooling or ventilation directly from the air handling unit, which is in violation of building code. Several FPBs include a dislodged filter lying on the ceiling grid. It appears there are not adequate supports to mount the filters in place on the FPBs.

Lastly, it appears that some FPBs were installed for future use, and it was observed that

these FPBs do not have any supply air ductwork installed downstream of the box. The FPB is supplying air directly to the ceiling plenum. It is unclear where the thermostats are located for these boxes and how the FPB is being controlled. It was observed at the time of the survey that these FPBs were operational and the FPB secondary recirculation fan was running.



Typical Fan Power Box



FPB filter dislodged



FPB missing filter



FPB primary air duct disconnected

FIN TUBE RADIATORS

Building B perimeter heating is provided by fin tube radiators (FTRs) installed along the perimeter of each space. Most FTRs are hot water radiators that were installed during the buildings 2003 renovation. However, there are a handful of steam radiators used in the bathrooms, stairwells, and penthouse spaces that are original to the building. All fin tubes are approaching the end of their useful life and should be replaced within 10 years. The steam radiators should be replaced with hot water FTRs.

The FTR make and model vary throughout the building depending on the heating capacity and architectural visual sensitivity of each space. In general, white standard cabinet unit heaters are provided in all visual office and regularly occupied spaces. Cabinet unit heaters with a custom architectural enclosure are provided in all courtrooms and visually sensitive spaces. Exposed cast iron FTRs are installed in all regularly unoccupied back of house MEP spaces. Refer to pictures below for each type of FTR used throughout the building.

The FTRs are provided with thermostatic radiator valves (TRVs). The TRV automatically opens

and closes in a mechanical process that is responsive to temperature. The TRVs are not modulated or monitored by the building automation system. This is an outdated method of temperature control and is not used in modern commercial buildings. TRVs do not provide accurate temperature control when compared with modern direct digital control valves.



Typical FTR



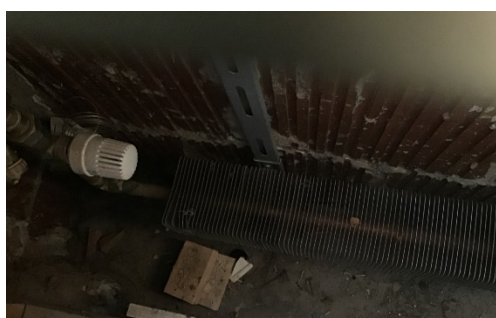
Courthouse FTR



Steam FTR



Restroom Steam FTR



Inside Hot water FTR



Inside Hot Water FTR

DUCTWORK

Building B ductwork is generally in good condition. However, it was observed that most supply air ductwork throughout the building is uninsulated. All low-pressure ductwork downstream of the fan powered boxes is uninsulated. It is estimated that approximately 50% of the high and medium pressure supply air ductwork is not insulated. Uninsulated supply air ductwork does not comply with building energy codes. In addition, condensation can form on uninsulated ductwork and cause excessive corrosion and water leakage.

The ductwork supporting the basement level holding cells appears to be heavily corroded.

GRILLES, REGISTERS, AND DIFFUSERS

Building B is served by a variety of types of ceiling grilles, registers, and diffusers. In general, perimeter office areas are served by linear diffusers above the windows, while interior spaces are served by 2'x2' lay-in ceiling grid diffusers. Some visual corrosion and paint chipping can be seen on the diffusers. It is estimated that 25% of the building's diffusers are in poor condition. In addition, dust and debris can be seen on many diffusers.



Linear Diffuser

Square Plaque Diffuser

Linear Diffuser

PIPING

Building B has a considerable amount of hot water distribution piping serving AHUs, FPBs, and FTRs throughout the building. Generally, the hot water distribution piping and pipe accessories are in good working condition. It appears that the fan power box reheat piping and control valves were replaced in recent years.

SUPPLEMENTAL SYSTEMS

EXHAUST FANS

The majority of the Building B exhaust air occurs in the penthouse level. Two Greenheck centrifugal exhaust fans (EF00-BPH-001 & 002), provide exhaust to the north and south sides of the building. EF00-BPH00-001 serves the north wing and EF00-BPH000-001 serves the south wing of the building. Each exhaust fan in the penthouse exhausts air through an air-to-air energy recovery unit to pre-condition outside air prior to exhausting the air out of the building. The exhaust fans are constant volume and do not have VFDs installed.

There are three additional Cook, ACE, down blast mushroom exhaust fans located on the south, central, and north portion of the roof (EF00-BR1000-001, 002, & 003). These exhaust fans appear to be original to the building and the region they serve is unknown. The exhaust fans located on the roof appear to be approaching the end of their useful life. They had visual corrosion and the exhaust fans were not operating at the time of the survey.

The basement level consists of 4 additional exhaust fans. EF00-BB1000-001 serves as the refrigerant exhaust and chiller ventilation fan. The refrigerant exhaust fan was operating at the time of the survey and appears to be in good working condition. EF00-BB1000-003 serves as generator exhaust fan. EF00-BB1000-003 was operating at the time of the survey. The exhaust fan was loosely mounted and showed excessive vibration. EF00-BB1000-002 serves as an exhaust in an IT room for cooling purposes. The fan was not operational at the time of the survey and it appears that IT equipment could be overheating. EF00-BB1000-004 provides toilet exhaust for two restrooms in the basement. EF00-BB1000-004 is located in an adjacent IT closet. In addition, it appears EF00-BB1000-004 is exhaust toilet exhaust into the ceiling plenum of the basement. This does not comply with current building code.

Lastly, a new toilet exhaust fan (EF00-B02000-001) was added in a recent renovation of the chambers area on the second level. EF00-B02-001 supports additional toilets added in the renovation. The fan is in good condition and routine maintenance is required.



EF00-BB1000-001



EF00-BPH000-001



EF00-BR1000-001

SPLIT SYSTEMS

Building B IT, electrical, and elevator machine rooms are cooled with split system VRF units. Multiple manufacturers are used throughout the building including, Sanyo, Goodman, and Daikin. In general, the split systems are all in working condition, but are nearing the end of their useful life. The outdoor condensing units are scattered outdoors around the building on ground level. However, there are also four outdoor condensing units located inside of the penthouse.



Outdoor Condensing Unit



Outdoor Condensing Unit



Indoor Unit



Indoor Unit

BUILDING AUTOMATION SYSTEM

The building automation system (BAS) for the entire DC Courts campus is provided by Albireo Energy, Automated Logic Architecture.

The Building B BAS does not include a consistent controls architecture across all mechanical systems. An outdated system from early installations of major systems has

remained in place to provide controls for equipment it currently serves. A new Automated Logic controls system provides modern architecture for new equipment as renovations occur over time. As a result, Building B includes multiple head-end controllers without a coherent network infrastructure.

Outdated pneumatic controls have been removed from all systems, and the instrument air compressors have been disconnected and abandoned.

Other deficiencies of the BAS include a failing refrigerant monitoring system in the chiller room, sewage ejector and sump pumps that do not alarm to the BAS, no energy monitoring of steam, natural gas, water, or electric utilities, and no carbon dioxide (CO₂) monitoring.

A full overhaul of the Building B building automation system is recommended with replacement of all controllers, the establishment of a new system architecture, the addition of new meters, sensors, VFDs, and the implementation of new sequences of operation to optimize energy use.

BUILDING B OBSERVED DEFICIENCIES AND RECOMMENDATIONS

The following recommendations are classified as Priority 1, defined as currently critical or immediate concerns requiring actions as soon as possible.

1. Refrigerant monitoring in the chiller room is not functional, which is a code violation and safety hazard. Provide code-compliant refrigerant monitoring and alarm.
2. The primary chilled water pumps (CHWP-BB1000-001 & 002) are at end of life. Replace pumps with new pumps that operate with a variable frequency drive.
3. A majority of supply air ductwork in Building B is not insulated. Provide insulation on all supply air ductwork to comply with building codes.
4. Humidifiers at AHUs (HUM0-BB1000-001, HUM0-BPH000-001 & 002) are not operational. Replace in kind with new electric steam humidifiers.
5. Ductwork in the basement holding cell area is heavily damaged and corroded. Replace ductwork, duct accessories, and duct insulation.
6. Provide all fan powered boxes (FPBs) with new filters. Provide new permanent filter support to firmly affix filter to FPB with proper alignment and seal. Recommend contacting Carrier for recommendations for permanent filter supports.
7. A number of fan power boxes are connected to the main supply duct using flexible duct. In a few instances, such as FPB0-B02000-019, the flexible duct has disconnected from the medium pressure duct main. The disconnected FPB does not provide ventilation air to the space that it serves. In all cases where a FPB is connected to the medium pressure duct with flexible ductwork, replace the flexible ductwork with rigid ductwork.
8. Fan power boxes FPB0-B02000-007, FPB-B02000-008, FPB-B02000-014, and FPB-B02000-019 do not include downstream ductwork. At the time of the survey, FPBs were in operation and were supplying air to the ceiling plenum. These FPBs are wasting energy and are not providing any cooling, heating, or ventilation to the occupied spaces. It is recommended to manually disconnect the FPB and close the heating hot water isolation valves. FPBs should be disconnected until future ductwork is added.
9. Clean all grilles, registers, diffusers so they are free of dust and debris. Replace all grilles,

registers, and diffusers showing damage or corrosion (approximately 25%).

10. EF00-BB1000-004 is exhausting toilet exhaust air into the ceiling plenum of the basement level. This does not comply with current building codes. It is recommended to replace the exhaust fan and exhaust ductwork to route the toilet exhaust air outside of the building.

The following recommendations are classified as Priority 2 through 4.

1. Replace all original steam radiators (approximately 8 total) with new hot water fin tube radiators. Provide new hot water piping to the fin tube radiators.
2. Per discussion with the building engineer, BWH0-BB1000-001 & 002 used for natural gas hot water redundancy purposes have not been commissioned. It is recommended to commission these boilers for future use. Per the building engineer, these hot water boilers are sitting idle and unused.
3. The steam piping is approaching the end of its useful life in the basement level. It is recommended to replace the steam piping and pipe accessories.
4. Recommended to remove abandoned domestic chilled water chiller, circulation pump, and associated piping.
5. It is recommended to replace the chilled water shot feeder. The shot feeder shows heavy corrosion.
6. The cooling tower motor is operating with excessive noise, and the motor casing shows signs of wear. It is recommended to repair/replace the cooling tower motors as required.
7. There are abandoned air compressors in the basement level. The air compressors were abandoned at the time of full BAS conversion to DDC. It is recommended to remove the abandoned air compressors and associated appurtenances.
8. The duplex steam condensate pump (STCP-BB1000-001) shows signs of heavy corrosion. In addition, the steam condensate pump delivers the condensate down the drain. It is recommended to replace the steam condensate pump, with a new pump and condensate piping to return all steam condensate back to the GSA steam plant.
9. Reorganize the AHU0-BB1000-002 system to include a supply fan VFD and VAV boxes in the distribution to provide appropriate zone-level control for the variety of spaces served by this air handler.

4.3.8 PLUMBING SYSTEMS

WATER SERVICE

Domestic water for building B connected from an 8 inch water main at F ST. 4 inch domestic water enters the building in a small room under stair C. Building B has multiple isolation valves, a by pass and a water meter (DWM0-BB1000-001). The water service is not protected by a main backflow preventer.



DWM0-BB1000-001

Domestic water accessories:



HOT WATER SYSTEM

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Building B has a central hot water system. An electrical domestic water heater (WHEL-BB1000-001) with storage tank (DWEQ-BB1000-001) located in mechanical room B42 serves the core restrooms throughout the building. the system has a recirculation loop.



WHEL-BB1000-001



DWEQ-BB1000-001

A separate electrical water heater (WHEL-BB1000-001) located in B1 Janitor closet on basement level supply hot water to janitor closets on 1st, 2nd and 3rd floor.



WHEL-BB1000-001

The domestic hot water recirculation (tempered water) system utilizes recirculation pump (DHWP-BB1000-001) to loop from the last fixture back to the water heater. The main riser is located in the B1 mechanical room.



DHWP-BB1000-001

NATURAL GAS SERVICE

It appears on the existing drawings a natural gas service that enters the building plan east of building B. Evidence shows that the gas service was disconnected, and the gas meter and regulator were removed from the site. However existing gas piping remains and abandoned in place throughout the basement and to the boilers. Boilers are currently operating with steam and not gas.



FUEL OIL SERVICE

Fuel oil serves the generator in the building B basement from underground storage tank (LFST-B00000-001) that can be access from outside plan south east lawn. Building B has a day tank (FOEQ-BB1000-001) located in cleaning contractor's room in the basement next to

the generator and serves the generator.



LFST-B00000-001



FOEQ-BB1000-001

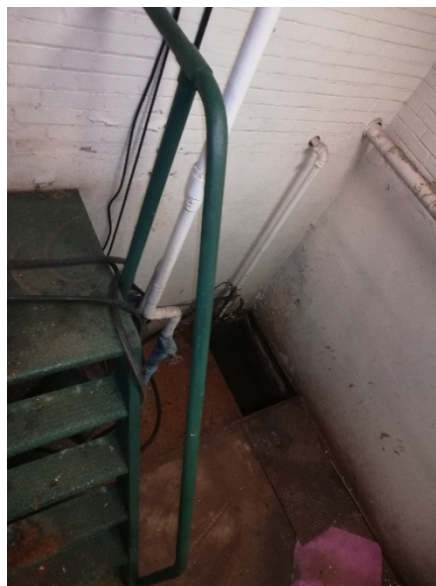
STORM SYSTEM

All stormwater is collected from the small flat portion of the roof via roof drains routed to main risers inside the buildings and exit the building by gravity on B1 level to DC storm/sanitary combined system.

B1 level has two sump pumps for underground water system. One is located in mechanical room #B42 pit (SP00-BB1000-002). Pumps seem to be an original piece of equipment and passed the end of the life cycle.



SP00-BB1000-002



Second sump pump (SP00-BB1000-001) is located in chillers room #B18. The pump seems to

be an original piece of equipment and passed the end of the life cycle.



SP00-BB1000-001

SANITARY

Building B has a main sewer located along the west side of the building, the building has numerous wet stack (Sanitary & Vent) throughout each floor. The building main sanitary is exiting the building below first floor slab. All restrooms, locker rooms and floor drains on the basement level is discharging by sewage ejector pumps. There are two ejector pumps on the basement level. Similar to the storm water ejectors, these pumps appear to be original to the building and have exceeded their expected life cycle. Facilities staff have reported pump failures that have resulted in basement flooding.



SE00-BB1000-001



SE00-BB1000-002

PLUMBING FIXTURES

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Building B PUBLIC RESTROOMS:

Building B has public restrooms on first, second and third floor. Each bathroom has a floor drain. Lavatories are countertop with sensor operating faucet. Toilets and urinals are wall mounted vitreous china with automatic sensor flush valve.



LOCKER ROOMS:

The basement level has locker rooms with showers, water closets, urinals, and lavatories. The locker rooms are only accessible for the DC court staff.



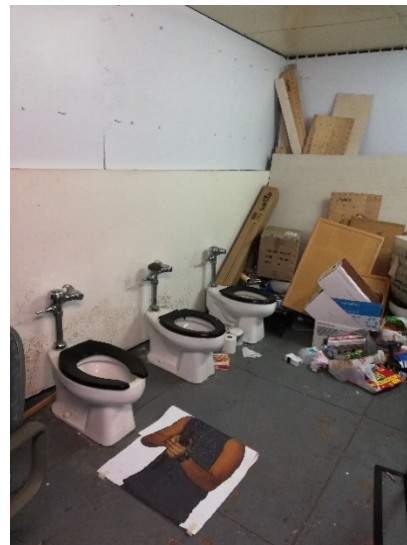
TRAINING AREA:

a men and women restroom are dedicated for training area the fixtures in that area are wall mounted stainless steel with automatic sensor operating faucet and flush valve.



SAH AREA (Holding Cell area):

There are a series of toilets, lavatories, showers and drinking fountain



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Drinking FOUNTAINS:

Basement has multiple drinking fountains that are out of service





PLUMBING DEFICIENCIES

Equipment deficiencies

Equipment that is original to the building construction has exceeded its expected life cycle and should be replaced. This includes sanitary & storm ejectors, their associated basins and controls.

System deficiencies

Plumbing piping systems that are original to the construction of the building have also exceeded their expected life cycle and should be replaced.

Drainage and vent piping systems that should be replaced include cast iron sanitary, storm, & vent. This includes both above and below ground piping.

Domestic hot & cold water supply piping that is original to the construction of the building should also be replaced in its entirety. Portion of the piping system appear to have been replaced recently. Newer piping may be maintained.

Careful consideration should be noted regarding abandoned piping and “dead end” runs. This is a code deficiency that affects the systems entirely. One area in particular is the cell fixtures with group showers.

Fixture deficiencies

The majority of plumbing fixtures, including lavatories, wall closets, showers, & drinking fountains have either exceed their expected life cycle or are not code compliant and should be replaced. The only exception may be the public restroom fixtures which appear to have been updated during more recent renovations.

Drinking fountains & water coolers exhibit significant corrosion which should be investigated regarding pipe materials that serve the building.

Code deficiencies

Indirect waste drains, specifically from a fire protection dry valve, are deficient as they

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connect directly to a vent piping. Open end drains shall be provided with deep seal traps, vents, and backwater valves, as required per the Plumbing Code, in order to receive indirect waste from fire protection and HVAC.



Elevator pits should be evaluated for sump pump code requirements. There were no existing sump pumps visible.

4.3.9 ELECTRICAL SYSTEMS

NORMAL POWER DISTRIBUTION

Pepco provides 13.2kV power to the utility vaults located on the east side of the building. Three Pepco owned utility transformers, each 500kVA, are located within these vaults. The utility transformers step-down the voltage to 208/120V which is then distributed throughout the building. The transformers feed a 4000A main switchboard (208/120V, 3ph, 4wire) which includes a current transformer (CT) section ahead of the main breaker. The main switchboard is located in Mechanical Room B19 on the Basement level and provides normal power to chillers 1 and 2, as well as the distribution panels that feed the north and south stacked electrical closets. There appear to be sufficient spares and spaces available for future capacity. The following table summarizes the loads fed by the main switchboard.

Table 4.3.9.1 – Main Switchboard Load Summary		
Breaker Description	Location	Loads Served
Chiller-1	B18 - Chiller Room	Chiller-1
Chiller-2	B18 - Chiller Room	Chiller-2
NDP-2	400B - Penthouse	Mechanical Equipment
Panel K	B18 - Chiller Room	Mechanical Equipment ¹
Lighting Panel	B19 - Mechanical Room	Lighting Loads ²
Panel H	B19 - Mechanical Room	Unknown ³
COND AHU Jail	Basement	COND AHU Jail
NDP	B23 - Elec Room	North Stacked Electrical Closets
NDP-1	B19 - Mechanical Room	Mechanical Equipment, Panelboard A, Panelboard B and Panelboard C
SDP	BOX - Elec Room	South Stacked Electrical Closets
MCC-B1	B18 - Chiller Room	Various Mechanical Equipment
Spares/Spaces	N/A	N/A

Notes:

- 1) Loads served are assumed as circuit directory was not surveyed
- 2) Loads served are assumed as circuit directory was not available within panel
- 3) Loads served are unknown as circuit directory was not available within panel



The north and south electrical closets on Levels 1, 2, and 3 are all identical. The main switchboard feeds a double section panelboard in each electrical closet, which then feeds a single section panelboard. Equipment and working clearances were often found to be obstructed within the electrical closets. The following table summarizes the stacked electrical closet equipment.

Panel Name	Fed From	Location	Rating	Number of Sections	Loads Served	Spares/spaces available²
NX ¹	Panel NDP	North stacked elec room	225 MLO	2	Systems furniture, receptacle, VAVs, and lighting loads	None/Minimal
NX-3 ¹	NX ¹	North stacked elec room	225 MLO	1	Systems furniture and receptacle loads	Minimal/Some
SX ¹	Panel SDP	South stacked elec room	225 MLO	2	Systems furniture, receptacle, VAV's, and lighting loads	None/Minimal
SX-3 ¹	SX ¹	South stacked elec room	225 MLO	1	Systems furniture and receptacle loads	Some/Many

Notes:

- 1) "X" within panel name indicates floor number
- 2) Spares/spaces available vary per floor. Amount listed as available is intended to be an approximation of panels on all floors.

EMERGENCY POWER DISTRIBUTION

Emergency power is generated by a 120/208V 250KW, indoor, standby rated, diesel generator located in the basement. This generator provides power to a common trough that supplies emergency power to four separate ATS's. The ATS's are located in the Basement and do not appear to have maintenance bypasses. Their loads are summarized in the table below.

Designation	Rating (A)	No. of Poles	Load Summary
ATS-1	600	4	Elevators 1, 2, 3, & 4
ATS-2	400	4	Elevators 5 & 6
ATS-3	200	4	EM Lighting Panel & Fire Alarm Panel
ATS-4	400	4	Fire Pump

The 40HP fire pump is also located in the Basement. All life safety lighting circuits are connected to Panel ELB.



ATS-1



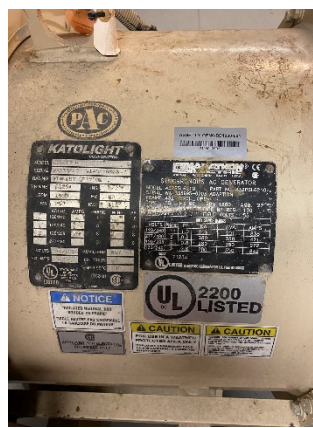
ATS-2



ATS-3



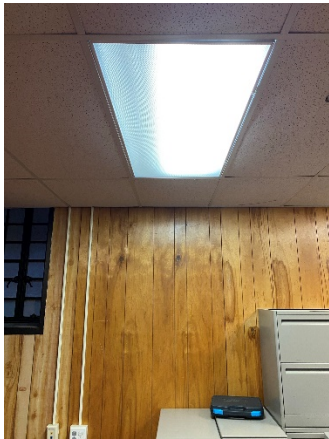
ATS-4



EM Generator]

Lighting Fixtures

A variety of lighting fixtures are utilized throughout the building. The primary lighting source utilized within the fixtures is fluorescent lamping. Direct/indirect architectural decorative pendants as well as 6" wide linear fluorescent fixtures are used in the front of house spaces on the typical floors (ie. lobbies, corridors, etc.). Corridor and enclosed spaces utilize recessed 2'x2' and 2'x4' troffers with baffles which help to reduce glare. Fluorescent strip fixtures are found in the back of house spaces (ie. mechanical rooms, electrical rooms, and restrooms). It is important to note that LED fixtures can be found on the south side of the Level 02 in the form of 2x2 troffers and wall sconces. Internally illuminated exit signs were the primary type observed while on site, however externally illuminated exit signs were also noted. Exit signs were both wall and ceiling surface mounted.



2x4 Troffer



Architectural Fixture



Linear Fixture



Strip Fixture



Exit Sign

Lighting Controls

The existing lighting control systems appear to utilize switching controls in most spaces. In office spaces, equipment rooms and restrooms, toggle switches provide users local on/off control. Conference rooms surveyed were typically controlled by Leviton switches that contained an integrated occupancy sensor and had dimming capability. No ceiling occupancy sensors were observed. Daylight harvesting was also not observed in any of the surveyed spaces. The building appeared to utilize timeclock lighting control through the lighting control panel found in room B19 on the Basement level.



Lighting Control Panel



Toggle Switch



Occ Sensor Switch

Lightning Protection

No existing lightning protection system was observed during the surveys.



No lightning protection system

BUILDING B OBSERVED DEFICIENCIES AND RECOMMENDATIONS

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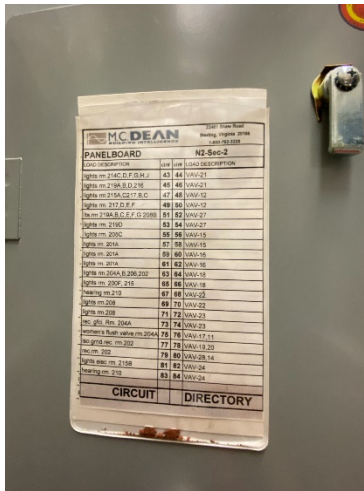
Operation & Maintenance

The following operation and maintenance items observed from on-site surveys.

1. Rust and water damage was found on some equipment (ie. a disconnect switch). It is hazardous to have water within an equipment's dedicated working space.
2. Many panelboards are nearing full capacity and lack spares and spaces for future use.
3. At least one panelboard had a damaged door.
4. Some panelboards had a malfunctioning or missing latch/lock assembly (PNLO-BB1000-002)



Rust & water damage



Typ panelboard near capacity



Panelboard with damaged door



Panelboard with missing latch/lock

Code Compliance

The following code compliance discussion is with respect to the most recent versions of adopted codes and standards as of May 2021

The following list outlines observed existing conditions that if altered do not appear to comply with the most recent adopted codes and standards.

1. The electrical rooms and penthouse do not appear to consistently follow the required dedicated and working requirements in accordance with NFPA 70 Article 110.26. The NEC required working space is also not consistently provided in front of panelboards and disconnect switches within the electrical closets.
2. The molded case circuit breakers within the emergency panelboards do not appear to comply with NFPA 70 Article 700.28 selective coordination requirements. It is expected that coordination is not achieved through the instantaneous region of the overcurrent protection time current curves.
3. Emergency switchboards and panelboards do not appear to be provided with surge protection devices (SPD) as required by NFPA 70 Article 700.8.
4. Tamper resistant receptacles are not provided in business offices and corridors as required by NFPA 70 Article 406.12.
5. Automatic receptacle control was not observed in any spaces. Automatic receptacle control is required in private offices, conference rooms, rooms used primarily for printing and/or copying functions, break rooms, and individual workstations to the latest ICC and ASHRAE 90.1 Section 9 standard.
6. Lighting controls observed do not comply with the latest ICC and ASHRAE 90.1 Section 9 standard. More specifically many spaces are automatically illuminated to full output upon detecting occupancy in the space. Bilevel lighting controls were not observed in any spaces other than conference rooms. Automatic daylight response controls were not observed within the facility.
7. Externally illuminated exit signs do not appear to meet NFPA 7.10.6.3 illumination requirements.
8. Many panelboards were found to be missing the following labels or information. Identification information is required per NEC articles 110.21 Markings, 408.4 Field Identification Required and 408.58 Panelboard Marking. Examples listed below:
 - a. Front cover identification labels
 - b. Branch circuit number identifiers.
 - c. Completed circuit index cards with room identifiers
9. Many panelboards were missing blank covers over spares/spaces. Unused openings are required to be closed per NEC articles 110.12 and 408.7.
10. Some panelboards were missing interior faces. Unused openings are required to be closed per NEC articles 110.12 and 408.7.
11. Some disconnect switches had nameplate data covered and was therefore unreadable. Disconnecting means are required to have legibly marked identification information per NEC 110.22.
12. At least one disconnect switch had a missing arc-flash label, thereby violating NEC 110.16 arc flash hazard warning requirements.



Missing front cover id label



Missing number identifiers



Obstructed working space



Unlit Exit Sign



Missing circuit index card



Missing blank covers over spares



Missing interior face



Disconnect Switch with nameplate data covered

4.3.10 VERTICAL TRANSPORTATION

VERTICAL TRANSPORTATION SURVEY

The six (6) passenger elevators are of good quality. They were initially manufactured and installed by Atlantic Elevator Company in 1940, and were modernized by Schindler Elevator Company in 2006.

The one (1) sidewalk elevator was manufactured by Gillespie Elevator Company in 2002. It is not currently operating and is locked and tagged out.

A summary of the general characteristics of the elevators is identified in the table below.

Elevator	Group	Duty	Capacity (lbs)	Speed (fpm)	Entrance Type & Size	Floors Served
1-2	1	Passenger	2,500	200	Center Opening 3'-6" Wide x 7'-0" High	1, 2, 3
3-4	2	Passenger	2,500	200	Center Opening 3'-6" Wide x 7'-0" High	1, 2, 3
5		Passenger	2,500	200	Side Opening 3'-6" Wide x 7'-0" High	B, 1, 2, 3
6		Passenger	2,500	200	Side Opening 3'-6" Wide x 7'-0" High	B, 1, 2, 3
Sidewalk 7		Sidewalk	2,000	15	Sliding Gate 4'-0" Wide x 7'-0" High	B, Grade

We judge that the current maintenance efforts by Schindler Elevator Company are in the high average range as compared to industry standards.

The preventative maintenance contract provides for a full maintenance program and it is appropriate for the type of equipment. We were not provided nor reviewed the elevator scope of the maintenance contract, legal terms and pricing. Based on the expected scope the contract we expect it is comprehensive and will prolong the life of the equipment.

The code required elevator inspections indicate the testing is current, with the last test conducted on 12-04-2020.

The elevators comply with ADA Accessibility Guidelines.

The passenger elevator equipment is approximately 15 years old. For the most part, the passenger elevators were observed to be operating at a satisfactory level of service. The elevator control systems are still considered to be state of the art in component design and function. Parts are still available for replacement from the manufacturer, and the knowledge for adjustment and testing is available.

The future life expectancy of these system's components are within at least 10 to 15 years. At present, there is no know obsolescence issues with the equipment or controls of these

systems.

The existing sidewalk lift is not currently operational. The platform and sling show heavy deterioration due to rust and corrosion. The machine has been exposed to the elements for an extended period of time. The ropes connecting the machine to the car sling are not connected.

For the above reasons, we are recommending that the sidewalk elevator be replaced within the next 2 to 3 years. We have included a schedule overview for planning purposes in Appendix II.

The budget estimate for replacement of the Sidewalk Elevator include normal building related work. The existing life safety systems meet current codes at this time.

The DC Courts Building B contains six (6) passenger elevators, and one (1) sidewalk elevator. There are two (2) groups of two (2) passenger elevators, and two (2) single passenger elevators, and one(1) sidewalk elevator All passenger elevators were modernized by Schindler Elevator Company. The sidewalk elevator was manufactured by Gillespie Elevator. Elevator performance was measured to determine speed and performance profiles, and ride quality characteristics. Elevator floor-to-floor and door performance times are generally operating within current industry standards . Ride quality of the elevators in terms of acceleration, deceleration and stopping accuracy on the elevators are also generally within current industry standards. It appears based on our visual observations that the dispatching systems for the elevators are operating as designed.

Maintenance has been evaluated in four general areas: 1) housekeeping/examination, 2) lubrication, 3) renewal or repair of worn equipment or defective components and 4) adjustment. These areas overlap somewhat, but are sufficiently independent to allow evaluation of each area. Designation of "Below Average" applies to work which does not meet the minimum normal expectations based on contract requirements. This designation applies to more than 25% of the maintenance projects we review. The majority of maintenance falls in a range designated as "Low to High Average" in which "High Average" represents superior effort, while "Low Average" is simply meeting minimum contract requirements. The final category, "Below Average", applies to work which does not meet even minimal expectations for work under the particular type of contract.

Overall, current maintenance is in the high to average range, compared to the elevator industry standards. The elevator machine field coils have an accumulation of carbon dust that should be removed. This is normal housekeeping that should be routine for Schindler Elevator to accomplish. This work is covered under its existing preventative maintenance contract and, therefore, no additional costs will be incurred.

The following summarized our assessment of services performed by Schindler Elevator Company as the current maintenance provider.

Maintenance Task	Rating
Housekeeping and Examination	High Average
Lubrication	High Average
Component Replacement and Repair	Average
Adjustment:	High Average

Based on the age and type of the equipment, it is our belief that Schindler Elevator is perfectly suited to provide maintenance on the equipment.

The contract for preventative maintenance is currently with Schindler Elevator. We were not provided a copy of the maintenance agreement at the time of our review but will review and opine if provided a copy.

The data tags in the machine room indicate the last test was conducted on December 4, 2020. The Code required testing is current.

All operational features including, hall call buttons, hall lanterns, car control stations, car position indicators, emergency communications, door protection and reopening devices, hoistway entrance identification, timing of doors and signals, inside clear platform dimensions, cab floor surfaces, and cab illumination levels were reviewed and compared with ADA Accessibility Guidelines (ADAAG).

The following summarizes our findings for compliance.

Elev. No.	4.10.1 General	4.10.2 Operation	4.10.3 Hall Call Buttons	4.10.4 Car/Hall Lanterns	4.10.5 Jamb ID	4.10.6 Door Protection	4.10.7 Hall Call Timing	4.10.8 Door Delay	4.10.9 Cab Area	4.10.10 Floor	4.10.11 Illumination	4.10.12 Car Controls	4.10.13 Car Position	4.10.14 Communication
1	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
2	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
3	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes

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4	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
5	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
6	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes

The passenger elevators have original Atlantic gearless machines with Motion Control Engineering IMC-SCR controls. They utilize a micro-processor based control system with SCR solid-state drive technology.

These elevators utilize gearless traction machines to raise and lower the cabs. The machines are cabled in a 2:1 configuration. Each machine is powered by a DC motor. The controllers utilize a solid-state direct-drive to vary the voltage and current that is delivered to the DC motor, thereby controlling the speed of the elevator. The speed profiles (acceleration and deceleration) are predefined in each elevator’s micro-processor controller. Positioning equipment is located in the hoistway of each elevator as well as in the machine room via a floor selector. Velocity is measured via tachometers on the motor housing of each elevator. The feedback from these devices is constantly monitored by the elevator controller to validate actual performance relative to desired (predefined profile) performance and self-adjusted as required. These adjustments are made in milliseconds. The result is that the controller of each elevator, regardless of the load in that elevator, delivers sufficient power of the proper characteristics to the elevator’s DC motor in order to have the elevator operate within its predefined profile. This type of control system is generally referred to as Closed-Loop.

In our opinion, the control system should provide another 15 to 20 years of useful life expectancy.

When operational, the Sidewalk elevator utilized a microprocessor based control system manufactured by Gillespie Elevator company.

The principle components of the system were a single phase machine and roping to the underside of the car sling. The controller They are located under the tank unit in the elevator machine room. Positioning equipment is located in the hoistways. It is comprised of magnetic sensors and limit switches. This elevator utilized a gearless AC machine to raise and lower the enclosure. The machine is powered by a AC motor. The controller utilized a solid state drive to control the voltage and current that is delivered to the AC motor.

In our opinion, the elevator and its components should be replaced in order to provide for the movement of materials between the outside grade level and the basement.

The passenger elevators are equipped with signaling and operating devices such as a car operating panels, car position indicators, hall lanterns, and hall control stations. These devices contain the necessary features as required by code at the time of installation.

The passenger elevator door operators are in good condition, and will provide useful life in conjunction with the balance of the elevator equipment.

Other major components, and its subcomponents, such as guide rails, car buffers, hoistway entrances, car frame, platform, enclosure and hoistway entrances appear to be professionally installed and are generally in acceptable operating condition for the long term.

The passenger cab interiors are in fair condition. The overall budget could include allowance for cosmetic upgrades, if deemed necessary.

BUILDING B OBSERVED DEFICIENCIES AND RECOMMENDATIONS

The following recommendations are classified as Priority 2, as defined as concerns requiring actions within the next two years.

In our opinion, the side walk elevator and its components should be replaced in order to provide for the movement of materials between the outside grade level and the basement level.

The recommended estimated budget cost for this replacement is \$350,000.00. This estimate includes normal building related work.

The sidewalk elevator was shut down at the sidewalk level. (photo 1)

The platform flooring has visible signs of rusting through and is not safe. (photo 2)

The manufacturer's data tag shown on the cab wall. (photo 3)

There are visible signs of rusting on the cab walls and top. (photo 4)

The hoisting cables are not connected to the platform or machine. (photo 5)



Photo 1



Photo 2



Photo 3



Photo 4



Photo 5

4.3.11 AUDIO VISUAL

AUDIO VISUAL SURVEY

Building B is equipped with several flat panel displays throughout the building in corridors, courtrooms, break rooms, office spaces, training rooms, fitness areas, and other public spaces. The majority of the flat panel displays observed appeared to be in good working condition; however, as renovations and construction projects permit it is advised to update these with displays that meet court technology standards.

A projector and projection system was only observed in the USMS Training Room and appeared to be in good working condition. The projection screen was large enough that it could accommodate a variety of projector formats both today and in the future. This is not critical for upgrades in the near future; however, the projector should be assessed for an update to meet court technology standards as renovations and construction in the space permit.

The control touch panels and Telestrator touch screens were primarily observed in the Courtrooms. Both of these units appeared to be in good working condition at the time of the survey; however, it is our recommendation that these units be assessed for upgrade to meet Court technology standards as renovations in the courtrooms permit.

The audiovisual equipment racks observed consisted of standalone enclosed cabinets or furniture-integrated racks (in lecterns or credenzas). The racks appeared to be functional and in good condition. Racks may be reused during system upgrades; however, it is our recommendation that the racks be upgraded to meet current Court technology standards at the time of system refreshes.

In more integrated rooms with AV equipment racks, NV5 observed certain individual AV components essential to the function of the system as a whole. This included rack-based video and audio switching and distribution units, audio digital signal processors, AV control processors, and Assistive Listening Transmitters. These devices appeared to be in good working condition; however, it is our recommendation that these devices be upgraded to meet current Court technology standards at the time of system refreshes.

During the survey NV5 did not observe any *fixed* video teleconferencing systems. Each courtroom observed included a series of push-to-talk microphones located at the front of the courtroom (Judge, Clerks, etc.). These were connected back to a centralized Court Recording head-end located in a third floor COMM closet. The head-end consisted of A/D converters (for the incoming microphone signals) and Dell Servers mounted in a single 4-post AV equipment rack. The systems appeared to be in good working condition at the time of the survey, particularly the headend equipment. The microphones were observed to be an end-of-life model and it is recommended that these be upgraded to meet current Court technology standards at the time of system refresh.

BUILDING B OBSERVED DEFICIENCIES AND RECOMMENDATIONS

Building B did not have any audiovisual deficiencies categorized as a Priority 1 level, as defined as currently critical or immediate concerns requiring actions as soon as possible.

There are eight flat panel display assets that do not currently meet ADA as they protrude more than 4” from the wall below 80” AFF. To meet ADA code, our recommendation is that these locations should be reviewed and supplied with either ADA-compliant mounting hardware or flat panel display replacements that meet court standards.

There were three - four flat panel display assets that had cable TV set-top boxes attached using scotch-tape or hanging by the coaxial patch cable. At least one of these display locations in an office had auxiliary cabling hanging below the display. It is recommended that at these locations the set-top box and any auxiliary cabling be properly attached and concealed to meet current Court technology standards.

The projection screen in the USMS Training Room, while the large format would accommodate future projector upgrades, we note visible marks and stains on the screen surface. If the marks interfere with the projected image, our recommendation would be to first attempt to clean the screen using a damp cloth or diluted cleaning solution. Otherwise, a recommendation to replace the screen could be warranted.

4.3.12 TELECOMMUNICATIONS

TELECOMMUNICATIONS SURVEY

Building B is equipped with (8) primary telecommunications rooms (COMM Rooms) that are active and in use and (2) additional rooms that are abandoned with obsolete and abandoned cabling.

The overall goal of a structured cabling system is to support and provide for all building communications requirements within a 20-to-25 year life cycle. These systems consist of passive distribution components such as copper cable, optical fiber cable, patch panels, faceplates, jacks, and patch cords. They also include supporting infrastructure, such as racks, conduits, junction boxes and cable raceways.

The optical fiber backbone cabling consists of OM1 62.5-micron cabling which is nearing end of life and should be replaced with OM4 50-micron cabling, which is the Courts new standard. The Courts advised this upgrade is currently planned for Q2 2021.

The horizontal cabling is primarily Category 6 throughout. Category 6A, the Courts new standard was installed in December 2020 in support of wireless access points only. The remaining Category 6 cabling should be replaced and upgraded to Category 6A as new moves, adds, and changes occur. New wireless access points were installed in December 2020. New switches throughout the building were installed in January 2021.

Many of the original multi-pair copper backbone cables have been abandoned in place as the Courts has migrated to a VOIP telephone platform. A few analog lines are still in use on each level for various building systems and applications. The coaxial distribution system consisting of ½" coax in the backbone and RG-6 coax in the horizontal appears to be in the second half of its useful life, but still in working condition.

The Avaya equipment located in 109C appears to be the primary voice equipment for Building B. Lucent Power Rack 300 located in B021M appears to be obsolete, abandoned, or used as a specialty application by the USMS. A Dell Power Edge 2900 was observed in room 330, while operational, its application is unknown.

A cellular distributed antenna system (DAS) was observed in B01. It is believed that this is owned and maintained by the Cellular Carrier (Sprint). The outside plant telecommunications cabling serving Building B include a ½" coaxial cable, a high pair count multi-pair copper cable, and a 24-strand OS1 optical fiber cable. No public address systems were observed in Building B.

BUILDING B OBSERVED DEFICIENCIES AND RECOMMENDATIONS

Building B did not have any telecommunications deficiencies categorized as a Priority 1 level, as defined as currently critical or immediate concerns requiring actions as soon as possible.

It was observed that (2) 4-post equipment racks were not bolted to the floor in Room 109C. These racks should be secured to the floor to prevent any potential safety hazards.

It was also observed that (1) network switch in COMM Room 330 was not secured in the rack

and was simply laying on top. This switch should be secured in the rack to prevent any potential safety hazard.

4.3.13 SECURITY

Access Control Systems

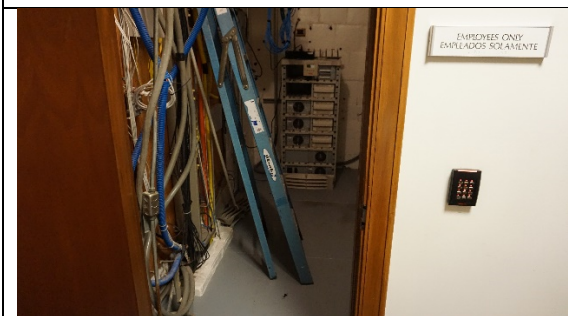
The access control system is based on a Honeywell ProWatch platform. The platform consists of card readers, door hardware, control panels and headend equipment. All card readers utilize 125kHz (kilohertz) proximity-based technology. Majority of the card reader locations utilize card only while higher risk locations such as communications closets are card and pin (or card reader with keypad). The proximity-based credentials pose a significant risk to being copied with an inexpensive (\$15) and readily available device. Replacement of the proximity credential (card key) is a risk decision. For lower risk locations, there may be acceptable risk level to continue their use. For higher risk locations, strong consideration should be given to use newer smart card or alternative identity verification methods. Control panels are based on an original General Electric M5 Casi Rusco system, which was retrofitted utilizing M5 formfactor Mercury based hardware. The Mercury based hardware is 5-8 years old and considered up to date. The enclosures including terminal points and cabling infrastructure appear to be from the original GE install 20-25+ years ago. Proximity based credentials utilize RFID (radio frequency identification) to communicate wirelessly, with authorization data encoded on the cards.



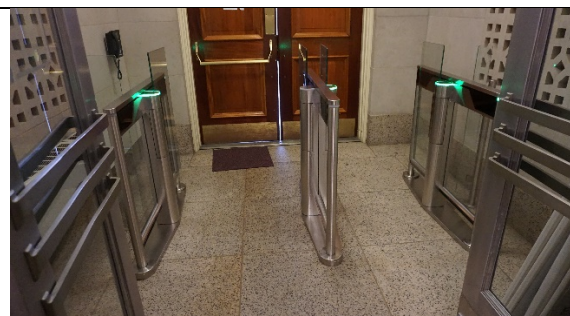
Card Reader Control Panel Assemblies



Card Reader



Card Reader with Keypad



Turnstiles

Turnstiles are used at the employee only entrance. These turnstiles are relatively new, and are in optimal operating condition.

Recommendations: Based on age of the overall system, recommend phasing in new system upgrades to support newer identity verification technologies. As a part of this upgrade,

replacement of aged cabling infrastructure as well. Newer identity verification technologies can be credential based like smart chip readers, or biometric. Smart chip technologies should be later generation versions which improve the credential reader functionality (improving the read range and read time). Smart chip with pin or biometric technologies may be used at locations where higher-level authentication is needed.

Intrusion Detection Systems

Intrusion detection primarily ground level boundary detection sensors like acoustic glass break at window locations and door contacts on perimeter doors. Condition of the sensors appeared to be very good, however age of the infrastructure is 10-12 years old. While they may continue to function as designed, there will be degradation of the system over the next several years.

Recommendation: As a part of end-of-life replacements, sensors and cabling should be replaced. It is estimated these components should be replaced in the next 5-7 years.

Closed Circuit Television Systems

Closed circuit television system is analog based and 10-12 years old. Some cameras appear to be older. While the system is well maintained, moving to a digital IP technology provides for improved resolution (4x-10x), and supports improved feature sets including analytics, health monitoring, recording, and retention functionalities.

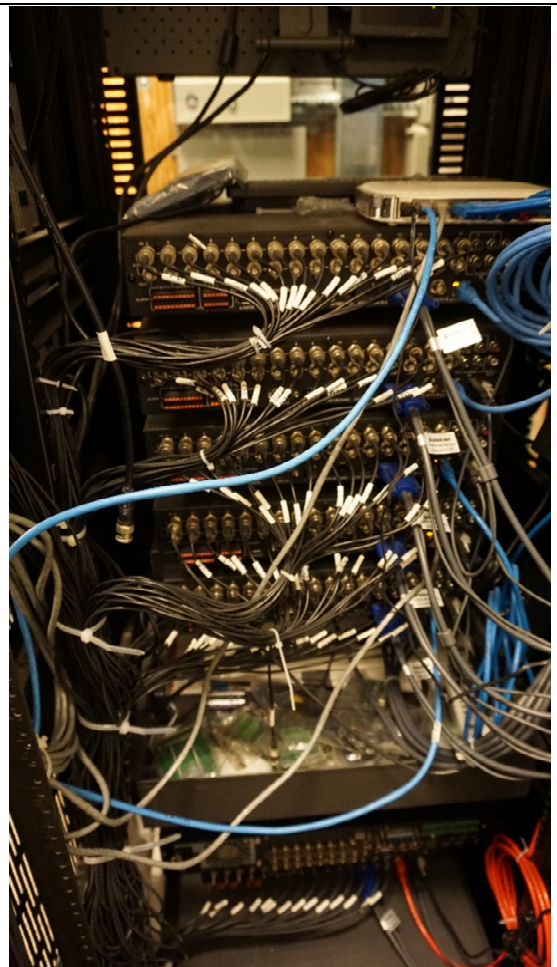


Dome Camera, Analog

Tube Camera, Analog



Digital Video Recorders



Analog Video Chassis

Recommendation: Replace the entire video management system with IP based digital video system. Use of analytics to improve forensic, recording methods, and extend retention.

Intercommunications Systems

Intercommunication's systems consist of intercom systems and duress buttons. Intercom systems are primarily used at the Building and Suite Entrances. The intercoms consist of intercom stations which in many instances include a video feed (video intercom) at the door and the master station typically at security station or receptionist desk. The system used is AiPhone which is a popular product line. AiPhone is a standalone system and typically small scale one or two intercom stations at entrances and one master station as a receptionist desk. Intercom systems are analog based and range from 7 to 12 years old. While they are maintained, they these technologies will be end of life in the next 3-5 years.



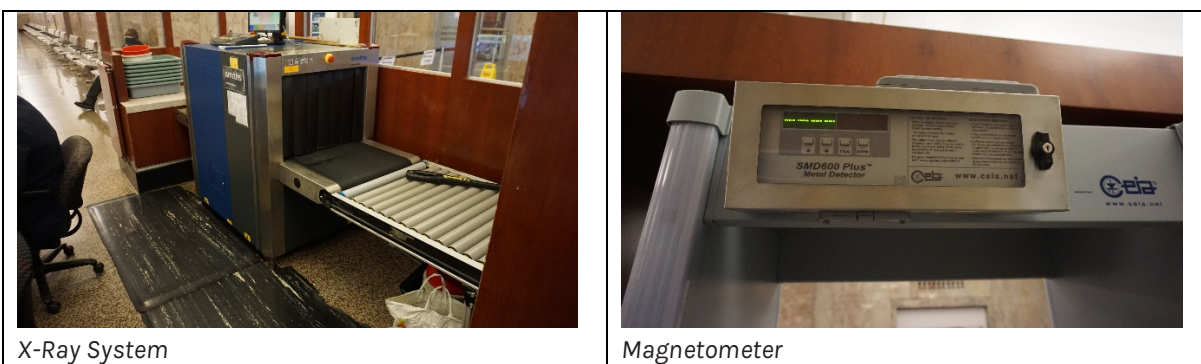
Video Intercom

Master Station

Recommendation: Replace systems as a part of end-of-life considerations. Replacement system with IP based systems to utilize SIP features. Features include diagnostics and health monitoring, and integration of intercom including video intercom into audio and video recording systems.

Contraband Screening and Detection Systems

Contraband screening and detection systems consists of X-ray and magnetometers located at entry control points. These systems are under contract for maintenance. Both X-ray and magnetometers are newer technologies installed within recent years. Two main concerns using conventional screening systems like X-ray and magnetometer is the throughput (bottlenecking during high peak periods) and manpower (amount of manpower to operate them). A newer contraband screening technology currently under consideration or being used in similar locations is a passive screening technology. The screening process by screening both persons and personal items at the same time while people are walking through the screening area.



X-Ray System

Magnetometer

Recommendation: Consider replacement of the conventional x-ray and magnetometer contraband screening systems with passive screening technologies. With a change in technology, layout of the screening area will require shorter pre-screening space, but larger post screening space.

Vehicle Control Systems

The site has parking areas that utilize unrated vehicle access control systems. These systems are considered high use and consequently expect reduced life span. The current controls are

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8-10 years old. While they appear to be under maintenance program, the systems will likely require replacement in the next 3-5 years. Replacement may be partial of the typical wear and tear components (gates and traffic lights).



Vehicle Entry Control System, North



Vehicle Entry Control System, South

Recommendation: Anticipate replacement of gate controllers within the next 3-5 years. The remaining components (traffic lights, intercom, and card reader) will need to be replaced within 5-7 years.

4.3.14 CIVIL

CIVIL SITE INFRASTRUCTURE SURVEY

The Sorba Engineering team working with SmithGroup visited the grounds of Building B during the week of March 29, 2021 to inventory Civil site-related infrastructure and ground surface elements including pedestrian and vehicular pavement, curbs and gutters, and driveway entrances, as well as observable utility services such as storm water drainage, sanitary sewers, and water supply sources. Vertical site elements, site furnishings, and landscaping, such as retaining walls, benches, trash receptacles, and planted areas for example, have been covered under the Landscape Architecture portion of this assessment.

The information gathered for this assessment included available records and plans supplied by the DC Courts, public DC Water utility maps, and a limited field survey record performed by the Wiles Mensch Corporation in 2009. According to available records, the property boundary aligns closely to the back edge of the surrounding public sidewalk. In effort to identify an observable limit of inspection that would closely align with the property line, and the likely limit of the DC Court's responsibility, the back-of-sidewalk has been chosen as the extent of the site assessment. In addition, the limits of the western side of the site assessment terminates at the western edge of the service drive, between Building B and the National Law Enforcement Officers' Memorial park.

According to utility records and structures observed in the field, Building B is served by three (3) water supply lines, one (1) sanitary line, one (1) storm water line, one (1) electrical service line, and one (1) steam service line. Records also indicate a natural gas line was once in operation but has since been abandoned. The point of service for telecommunications could not be verified. Please refer to the I.T. section of this report for additional information. Finally, a fuel oil storage tank was observed installed within an areaway to support back-up generator functions. Please refer to **Figure 1 – Building B Utilities** below for approximate layout and locations of these utility systems.

Water, sanitary and storm laterals are typically owned and maintained by DC Water. In addition, DC Water owns and maintains the water meter. This meter was found to be within a mechanical space in the basement of Building B along the western wall. Please refer to the Mechanical and Plumbing sections of this report for more information. Considering the DC Water Maps indicate water is supplied from the East and the North, and valve structures were found in the field verifying this alignment, it is unclear how these supply lines connect to the meter room on the West side of the building, as there is no known service connection in that area.

Electrical service is provided by Pepco who also own and maintain the onsite below-grade transformer vaults and electrical bus structures. Primary service is brought to the building from 4th Street to the East where it connects into the electrical bus and transformer vault structures near the eastern entrance to the building.

A manhole cover stamped with STEAM was located on the West side of the building. According to interviews with Building Engineering personnel Building B is served by GSA Steam from the western side of the structure. Although its location was restricted from inspection at the time, Building Engineering indicated the meter for the steam service was located in a room along the western edge of the building. This aligns with the observed STEAM manhole cover. Unless specific agreements are in place, typically GSA owns and maintains service and structures up to the meter. DC Courts is then responsible for all equipment after the meter.

Interviews with Building Engineering also revealed there are no utility interconnectivity or service dependencies between Building B and any other DC Court buildings.

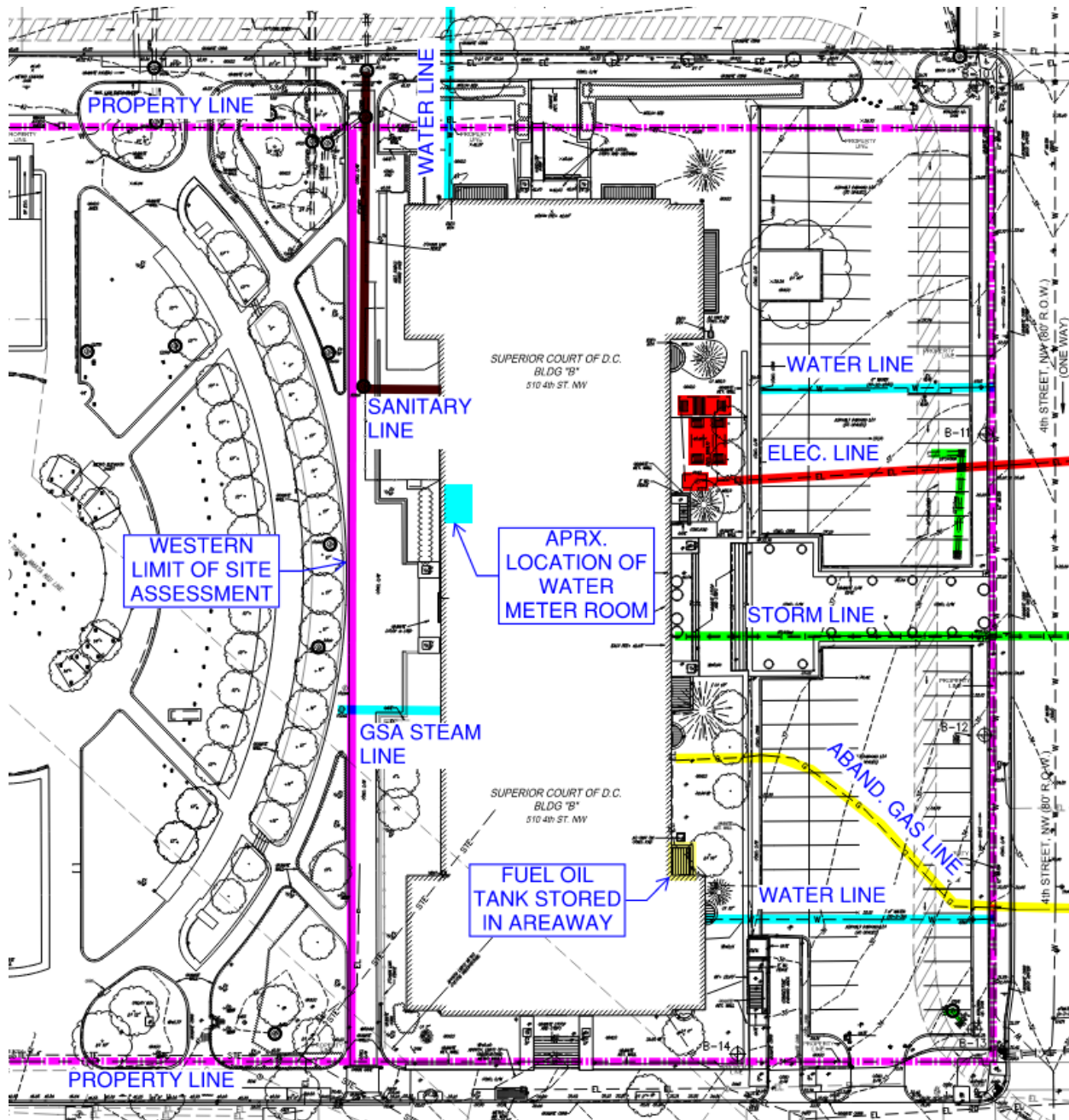


Figure 1 - Building B Site Utility Services

The existing Civil site-related exterior elements that were also assessed include vehicular and pedestrian pavement, curbs and gutters, driveway entrances, and limited site lighting. Pavement and lighting at each entrance has been Please refer to the Historic Preservation and Architecture sections of this report for assessments of the pavement, stairs, furnishings, and lighting at each entrance.

The site assessment has been delineated into two areas, Site - Northeast, and Site-Southeast, bound by the back-of-sidewalk to the North, East, and South, and by the western edge of the service drive between the building and the National Law Enforcement Officers' park to the West. Other points of interest include the accessible entrance from F Street to the North, the cobblestone dumpster alley from E Street to the South, the HVAC equipment area on the West side of the building, and the tree removal from the parking lot island in the northeast. Also of note, the numerous areaways around the building have been assessed under the Architecture and Mechanical sections of this report. Please refer to **Figure 2 - Building B Civil Site Elements** below for approximate layout and locations.

The northeast and southeast parking lots are both asphalt with concrete header curbing. There are no gutter pans. Both lots slope from their northwest corners to the southeast where a single grate inlet provides drainage. Generally, the pavement is in good condition. The concrete curbs are in fair condition. Most of the pavement parking space markings have faded. The concrete driveways into and out from each parking lot are in fair to poor condition. Each driveway has a system of security bollards, control arms, and card readers. Refer to the Security section of this report for more information.

Pedestrian pavement around the site consists of standard concrete, exposed aggregate concrete, and decorative borders of granite pavers. There's evidence throughout of cracks, displacement, chips, and stains.

From E Street to the south is a third concrete driveway providing access to a cobblestone alley where a dumpster is stored. The area is in fair condition considering the usage by heavy vehicles, staining and debris from the dumpster, and evidence of cobblestone resetting with various types of grout. Typically, heavy-duty concrete is more appropriate for this type of usage. However, there may be historic significance related to the cobblestone driveway where it must remain.

Generally, grading around the site all appears to be sufficient to provide positive drainage away from the building. There was very little evidence of negative slope towards the building, with only small, isolated areas of subsidence that could be easily backfilled and compacted.

The private service drive along the western side of Building B, connecting E & F Streets appears to have been constructed at a later time than the rest of the site. Considering the concrete pavement, granite paver borders, and limestone curbing all seem to match the materials used in the National Law Enforcement Officers' Memorial, it may have been constructed at the same time. The assessment assumes the DC Courts responsibility ends at the western edge of this service drive.

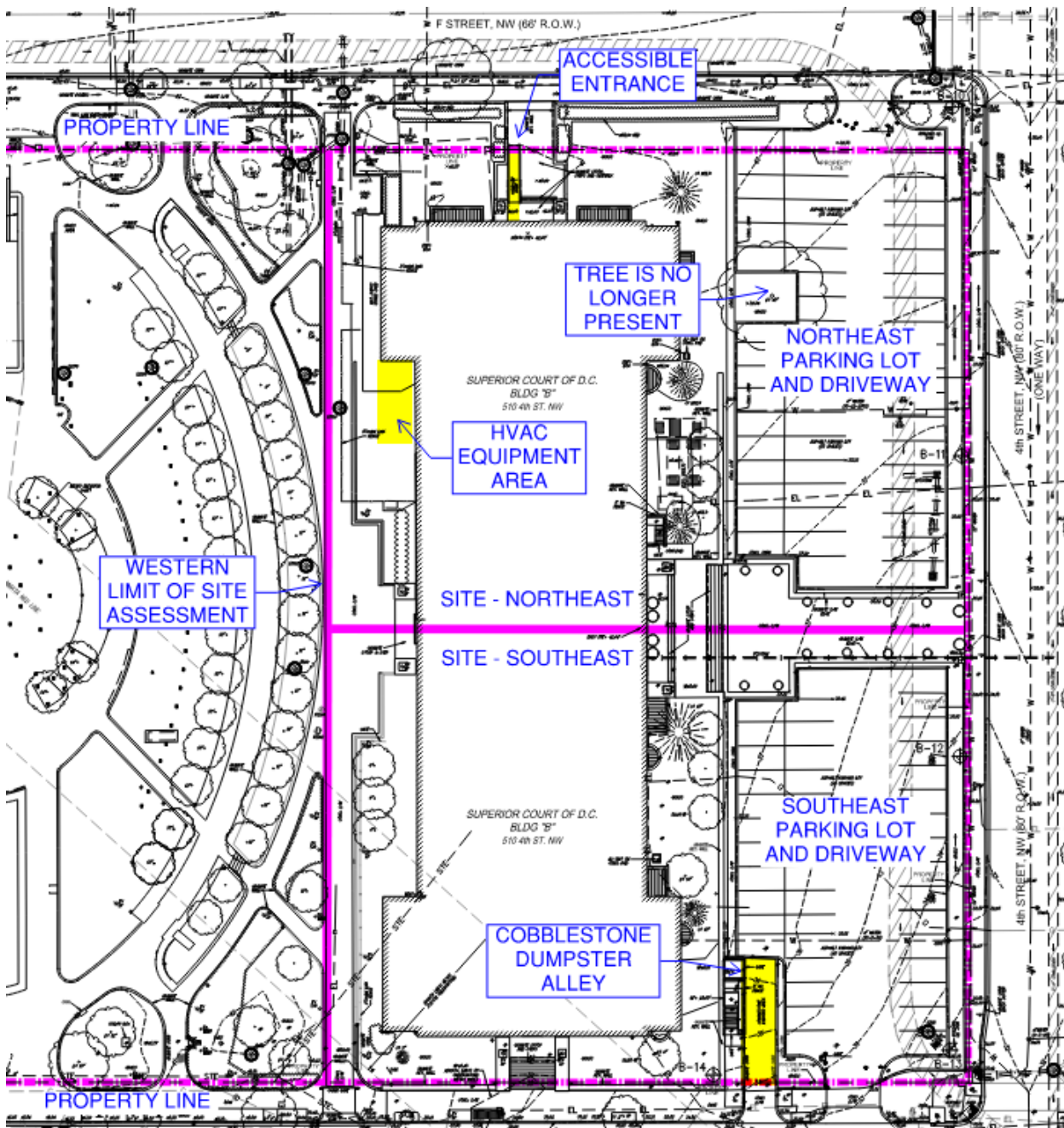


Figure 2 - Building B Civil Site Elements

BUILDING B OBSERVED DEFICIENCIES AND RECOMMENDATIONS

Generally, the overall condition of the Civil site elements is in good to fair condition. CCTV scoping of the storm and sanitary sewer systems were beyond the scope of this assessment.

However, interviews with Building Engineering personnel found there are no known drainage or backwater issues with either of these systems. Similarly, for water, steam, and power, there are no known or observable issues. Any changes to building usage or utility load requirements may necessitate a service load capacity analysis to ensure adequate services are provided.

All site storm water inlets within the site area should be inspected and cleaned no less than on a seasonal schedule to ensure proper drainage performance is maintained.

Mulch beds surrounding the grates of the electrical vaults near the east entrance should be monitored, similar to other areaway structures, for the amount of debris falling into these structures and that proper drainage is not adversely impacted.

The condition of the driveways, parking lots, curbs, sidewalks, and other similar pavement materials is consistent on the east side of the building. The asphalt parking lot appears to have been resurfaced within the last 5 years and is in better condition than the surrounding curbs and pedestrian pavement. However, the numbered parking space pavement markings have nearly completely faded. If the Courts has abandoned this program, there's no need to address.

The condition of the surrounding curbs and pedestrian pavement is in fair condition consistent with its age. Cracks, chips, displacement, and staining observed across all surfaces. Likely approaching the end of its useful life. Repairs could be made to extend the useful life but could not restore these elements to their original appearance or condition. A pavement replacement master plan or program should be considered, in conjunction with options to reconfigure the East site in its entirety. For example, an analysis of the true parking needs could be evaluated for potential reductions of impervious surfaces and increase green space with more pedestrian-friendly amenities and landscape opportunities.

The private service drive between the western edge of Building B and the National Law Enforcement Officers' Memorial is in good condition. It was observed the north-half of the drive was of a different color tone than the south-half. Despite the noticeable difference in appearance, the physical condition of pavement was sound. Some cracks observed around manhole covers.

There's an HVAC equipment area enclosed with a screen wall along the western edge of the building. The area is out-of-sight and likely the reason why it has been neglected, observed by evidence of vegetative and non-vegetative debris throughout. This is likely a rodent nesting area and poses a health risk. We recommend this area be cleaned as soon as possible and a maintenance program to keep the area clear of debris be instigated.

Similarly, next to the dumpster located on the cobblestone alley, is what appears to be an abandoned man-lift/equipment elevator structure that may have been used to access the basement below. The structure is severely rusted with debris strewn about. The structural integrity is unknown and is potentially accessible by the public. This poses a life-safety and health risk to the community. We recommend this structure be fully decommissioned if it is no longer in use, properly secured to prevent access by the public, or fully repaired and

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secured if the Courts desire. Please refer to the Mechanical section of this report for more information.

Refer to the assessment and deficiencies tables for a detailed list of items observed, locations, and associated priority codes.

4.3.15 LANDSCAPING

LANDSCAPE SURVEY

The RHI Landscape team working with SmithGroup visited the grounds of Building B in April 2021 to inventory all Landscape related assets and perform an assessment of the condition of those assets including site walls, exterior furnishings, plantings and planters, signage not attached to buildings, and fences and gates not attached to the building. Not included in the survey were irrigation equipment, although irrigation sprinkler heads were observed on the site. It is unknown whether the irrigation system is in good repair or operational.

The Landscape elements of building B include granite retaining and site walls that form the basis of slope negotiation and transition from the building to the pedestrian circulation routes. Walls consist of rectangular granite cap stones over veneer granite foundations with ¼" joints.

Furnishings consist of Trash and Ash receptacles. Concrete planters are used at the entrance approach from 4th Street as blocking structures between the north and south parking lots. Landscape signage consists of two 4' wide and 4' tall aluminum location signs on granite veneer plinths near the entrances at E Street and F Street.

The planting scheme and palette are simple. Shrub beds at the foundations are made up of single species. Plantings otherwise consist of a mix of loriope groundcover and daffodil bulbs. Tree species present consist of Ilex Opaca evergreens at the north and south sides of the building, Lagerstroemia flowering understory trees at the 4th Street entrance on the east side, and Crataegus phaenopyrum (Washington Hawthorne) at the Staff entrance on the west side of the building, adjacent to the NLEOM.

BUILDING B OBSERVED DEFICIENCIES AND RECOMMENDATIONS

In general, the Landscape around Building B is a relatively simple landscape consisting of few trees, shrubs, groundcovers, perennial bulbs, and maintained turf. The overall landscape was found to be in good condition and well maintained. Many of the items contained in the assessment analysis and deficiencies lists are related to what we would classify as normal wear and tear. Walls will require cleaning of biological growth and staining within the next 1-2 years. The most pervasive deficiency noted were joints in granite site walls for the cap stones as well as foundation veneer that require repointing. These joints and a single dislodged cap stone on the wall north of the east entrance should be repaired as a priority in the next 1-2 years as well to prevent water infiltration that could potentially cause more damage to wall system.

Trash receptacles are in good condition except for one unmounted receptacle turned upside down at the South entrance from E Street which should be replaced. Ash Receptacles are generally in poor condition. The exposed aggregate veneer on the units appears to crack and fall off relatively easily. These receptacles should be replaced with a different model. Of the 13 concrete planters lining the approach from 4th Street to the East entrance, 2 are cracked and should be replaced within 1-2 years.

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Both stand-alone Aluminum building signs had dislodged and displaced granite veneer at the plinth but were otherwise in good condition. The method of construction should be assessed to determine why both plinths encountered the same condition.

Plantings are generally healthy and in good condition with minor requirements for pruning and maintenance. Turf grass panels are in good condition and require only continued maintenance. A small number of Taxus shrubs on the West side of the building require replacement.

One element was noted to be non-code compliant. The granite cheek walls on the east and west sides of the stairway at the South entrance from E Street are pedestrian accessible from the adjacent walking surface at the top of stairs, do not have railings, and are more than 3 feet above grade where the walls meet the sidewalk. Current code would require the use of a guardrail as fall protection from the surface below

Refer to the assessment and deficiencies tables for a detailed list of items observed, locations, and associated priority codes.

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4.3.16 ASSESSMENT ANALYSIS TABLES

In the following pages you will find the Assessment Analysis tables for the Building B. These tables provide an inventory of the existing conditions of the subjects and building systems studied and the areas visited in the surveys. The following assessments are included within the table with the rating descriptions detailed below.

ASSET CONDITION GUIDELINES AND RATINGS DESCRIPTIONS

5 – EXCELLENT: NEW CONSTRUCTION, NO VISIBLE DEFECTS OR DAMAGE.

4 – GOOD: GOOD CONDITION, BUT NO LONGER NEW, MAY HAVE SOME SLIGHTLY DEFECTIVE OR DETERIORATED COMPONENT(S), BUT IN OVERALL WORKING ORDER.

3 – FAIR: MODERATELY DETERIORATED OR DEFECTIVE COMPONENTS BUT HAS NOT EXCEEDED USEFUL LIFE.

2 – MARGINAL: DEFECTIVE OR DETERIORATED COMPONENT(S) IN NEED OF REPLACEMENT; EXCEEDED USEFUL LIFE.

1 – POOR/UNACCEPTABLE/FAILED: CRITICALLY DAMAGED COMPONENT(S) OR IN NEED OF IMMEDIATE REPAIR; WELL PAST USEFUL LIFE.

ASSET PRIORITY GUIDELINES AND RATINGS DESCRIPTIONS

All components / systems will receive a priority code based on the conditions & requirements found in the buildings, assets operating efficiency, building systems, appearance of the building and all occupied spaces.

The work is classified in (6) Priorities as follows,

PRIORITY 1. CURRENTLY CRITICAL OR IMMEDIATE CONCERNS, (ACTION AS SOON AS POSSIBLE)

PRIORITY 2. POTENTIALLY CRITICAL OR SHORT-TERM CONCERNS, (WITHIN 1 - 2 YEARS)

PRIORITY 3. NOT YET CRITICAL OR LONG-TERM CONCERNS (WITHIN 3 - 5 YEARS)

PRIORITY 4. ITEMS THAT WILL LIKELY BE CRITICAL, OR LONG-TERM CONCERNS (WITHIN 6 - 10 YEARS)

PRIORITY 5. ITEMS THAT WILL LIKELY BE LONG TERM CONCERNS (NOT TIME CRITICAL)

PRIORITY 6. ITEMS THAT DO NOT COMPLY WITH CODES AND REGULATIONS. NO IMMEDIATE ACTIONS ARE REQUIRED, ALTHOUGH THE ITEMS WILL NEED TO BE ADDRESSED IF ANY SIGNIFICANT WORK IS PERFORMED ON THE BUILDING.

FACILITY CONDITION INDEX IMPACT RATINGS

The following impact ratings by type were gathered during the FCA and will be utilized for the Facility Condition Index. These have been provided within the assessment analysis tables.

Health and Safety:

- 1 - High Potential for Serious Accident
- 2 - Medium Potential for Serious Accident
- 3 - Low Potential for Serious Accident

Operating Environment

- 1 - Excessively Hard Operating Environment with high levels of adverse effects
- 2 - Harsh Operating Environment with high levels of adverse effects
- 3 - Average Adverse Effects
- 4 - Some adverse environmental effects
- 5 - Clean Environmental with little to no adverse effects

Image:

- 1 - Low Profile Area (MEP Room, Penthouse, back-of-house spaces etc)
- 2 - Medium Profile Area (Offices, Secure Corridors, Employee Building Amenities etc)
- 3 - High Profile Area (Exterior Grounds, Building Envelope, Lobby, Public Corridor, Public restrooms, courtrooms etc)

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#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1	BAWR-B00ELW-H01	ARCH	Balcony Walls and Railings	00		Not applicable		4	1	3	3	2
2	BAWR-B00ELW-H02	ARCH	Balcony Walls and Railings	00		Not applicable		4	3	3	3	2
3	BAWR-B00ELW-H03	ARCH	Balcony Walls and Railings	00		Not applicable		4	3	3	3	2
4	ERMP-B00ELN-001	ARCH	Exterior Ramps	00		Not applicable		3	2	3	3	2
5	ESTW-B00ELE-001	ARCH	Exterior Stair Construction	00		Not applicable		3	2	3	3	2
6	ESTW-B00ELE-H01	ARCH	Exterior Stair Construction	00		Not applicable		4	4	3	3	2
7	ESTW-B00ELN-001	ARCH	Exterior Stair Construction	00		Not applicable		1	2	3	3	2
8	ESTW-B00ELN-H01	ARCH	Exterior Stair Construction	00		Not applicable		3	2	3	3	2
9	ESTW-B00ELS-H01	ARCH	Exterior Stair Construction	00		Not applicable		3	2	3	3	2
10	ESTW-B00ELW-001	ARCH	Exterior Stair Construction	00		Not applicable		3	3	3	3	2
11	EXCL-B00ELE-H01	ARCH	Exterior Closure	00		Not applicable		4	4	3	3	2
12	EXDH-B00ELE-001	ARCH	Exterior Door Hardware	00		Not applicable		3	2	3	3	2
13	EXDH-B00ELE-002	ARCH	Exterior Door Hardware	00		Not applicable		3	3	3	3	2
14	EXDH-B00ELN-001	ARCH	Exterior Door Hardware	00		Not applicable		1	1	3	3	2
15	EXDH-B00ELN-002	ARCH	Exterior Door Hardware	00		Not applicable		3	2	3	3	2
16	EXDH-B00ELS-001	ARCH	Exterior Door Hardware	00		Not applicable		3	2	3	3	2
17	EXDH-B00ELW-001	ARCH	Exterior Door Hardware	00		Not applicable		3	3	3	3	2
18	EXDH-B00ELW-002	ARCH	Exterior Door Hardware	00		Not applicable		3	3	3	3	2
19	EXDH-B00ELW-003	ARCH	Exterior Door Hardware	00		Not applicable		3	2	3	1	2
20	EXDH-B00ELW-004	ARCH	Exterior Door Hardware	00		Not applicable		3	2	3	3	2
21	EXDH-B00ELW-005	ARCH	Exterior Door Hardware	00		Not applicable		3	2	3	3	2
22	EXLS-B00ELE-001	ARCH	Exterior Closure Materials	00		Not applicable		3	4	3	3	2
23	EXLS-B00ELE-H01	ARCH	Exterior Closure Materials	00		Not applicable		4	4	3	3	2
24	EXLS-B00ELN-001	ARCH	Exterior Closure Materials	00		Not applicable		3	4	3	3	2
25	EXLS-B00ELN-H01	ARCH	Exterior Closure Materials	00		Not applicable		4	4	3	3	2
26	EXLS-B00ELS-001	ARCH	Exterior Closure Materials	00		Not applicable		3	4	3	3	2
27	EXLS-B00ELS-H01	ARCH	Exterior Closure Materials	00		Not applicable		4	4	3	3	2
28	EXLS-B00ELW-001	ARCH	Exterior Closure Materials	00		Not applicable		3	4	3	3	2
29	EXLS-B00ELW-H01	ARCH	Exterior Closure Materials	00		Not applicable		4	4	3	3	2
30	EXSO-B00ELN-H01	ARCH	Exterior Louvers and Screens	00		Not applicable		4	4	3	3	2
31	EXSO-B00ELE-H01	ARCH	Exterior Louvers and Screens	00		Not applicable		4	4	3	3	2
32	EXSO-B00ELS-H01	ARCH	Exterior Louvers and Screens	00		Not applicable		4	4	3	3	2
33	EXSO-B00ELW-H01	ARCH	Exterior Louvers and Screens	00		Not applicable		4	4	3	3	2
34	FLTR-BR1000-001	ARCH	Flashings and Trim	R1		Not applicable		3	4	3	3	2
35	FLTR-BR2000-001	ARCH	Flashings and Trim	R2		Not applicable		3	4	3	3	2

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
36	GAT-B00ELE-001	ARCH	Gates	00		Not applicable		3	3	3	3	2
37	GAT-B00ELW-001	ARCH	Gates	00		Not applicable		3	2	3	3	2
38	GLDR-B00ELW-H01	ARCH	Glazed Doors	00		Not applicable		3	2	3	3	2
39	HSRC-BR2000-001	ARCH	High Slope Roof Coverings	R2		Not applicable		3	3	3	3	2
40	JNTS-B00ELE-001	ARCH	Exterior Louvers and Screens	00		Not applicable		4	2	3	3	2
41	JNTS-B00ELN-001	ARCH	Exterior Louvers and Screens	00		Not applicable		3	2	3	3	2
42	JNTS-B00ELS-001	ARCH	Exterior Louvers and Screens	00		Not applicable		3	2	3	3	2
43	JNTS-B00ELW-001	ARCH	Exterior Louvers and Screens	00		Not applicable		3	2	3	3	2
44	LSMS-BR1000-001	ARCH	Low Slope Membrane Systems	R1		Not applicable		3	2	3	3	2
45	LSMS-BR2000-001	ARCH	Low Slope Membrane Systems	R2		Not applicable		3	2	3	3	2
46	MTRL-B00ELE-H01	ARCH	Exterior Soffits	00		Not applicable		4	3	3	3	2
47	MTRL-B00ELE-H02	ARCH	Exterior Soffits	00		Not applicable		4	3	3	3	2
48	MTRL-B00ELN-H01	ARCH	Exterior Soffits	00		Not applicable		4	3	3	3	2
49	MTRL-B00ELN-H02	ARCH	Exterior Soffits	00		Not applicable		4	3	3	3	2
50	MTRL-B00ELS-H01	ARCH	Joint Sealant	00		Not applicable		4	2	3	3	2
51	MTRL-B00ELS-H02	ARCH	Joint Sealant	00		Not applicable		4	3	3	3	2
52	MTRL-B00ELW-H01	ARCH	Joint Sealant	00		Not applicable		4	3	3	3	2
53	MTRL-B00ELW-H02	ARCH	Joint Sealant	00		Not applicable		4	3	3	3	2
54	OTWL-B00ELE-001	ARCH	Other Exterior Walls	00		Not applicable		4	4	3	3	2
55	OTWL-B00ELE-002	ARCH	Other Exterior Walls	00		Not applicable		3	4	3	3	2
56	OTWL-B00ELE-003	ARCH	Other Exterior Walls	00		Not applicable		5	5	3	3	2
57	OTWL-B00ELN-001	ARCH	Other Exterior Walls	00		Not applicable		3	3	3	3	2
58	OTWL-B00ELN-002	ARCH	Other Exterior Walls	00		Not applicable		3	2	3	3	2
59	OTWL-B00ELS-001	ARCH	Other Exterior Walls	00		Not applicable		3	3	3	3	2
60	OTWL-B00ELW-001	ARCH	Other Exterior Walls	00		Not applicable		3	3	3	3	2
61	OTWL-B00ELW-002	ARCH	Other Exterior Walls	00		Not applicable		5	5	3	3	2
62	PASU-B00ELW-H01	ARCH	Pedestrian Paving Paved Surfaces	00		Not applicable		4	3	3	3	2
63	PRPT-B00ELE-H01	ARCH	Parapets	00		Not applicable		4	3	3	3	2
64	PRPT-B00ELN-H01	ARCH	Parapets	00		Not applicable		4	3	3	3	2
65	PRPT-B00ELS-H01	ARCH	Parapets	00		Not applicable		4	3	3	3	2
66	PRPT-B00ELW-H01	ARCH	Parapets	00		Not applicable		4	3	3	3	2
67	RFHT-BR2000-001	ARCH	Roof Hatches	R2		Not applicable		3	5	3	3	2
68	SIGN-B00ELE-001	ARCH	Signage	00		Not applicable		4	5	3	3	2
69	SIGN-B00ELN-001	ARCH	Signage	00		Not applicable		4	5	3	3	2
70	SIGN-B00ELS-001	ARCH	Signage	00		Not applicable		4	5	3	3	2
71	SIGN-B00ELW-001	ARCH	Signage	00		Not applicable		4	5	3	3	2
72	SODR-B00ELE-H01	ARCH	Solid Doors	00		Not applicable		3	3	3	3	2
73	SODR-B00ELN-H01	ARCH	Solid Doors	00		Not applicable		4	3	3	3	2

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
74	SODR-B00ELN-H02	ARCH	Solid Doors	00		Not applicable		1	1	3	3	2
75	SODR-B00ELS-H01	ARCH	Solid Doors	00		Not applicable		3	2	3	3	2
76	SODR-B00ELW-001	ARCH	Solid Doors	00		Not applicable		3	3	3	1	2
77	SODR-B00ELW-002	ARCH	Solid Doors	00		Not applicable		3	2	3	1	2
78	SODR-B00ELW-H01	ARCH	Solid Doors	00		Not applicable		3	2	3	3	2
79	SODR-B00ELW-H02	ARCH	Solid Doors	00		Not applicable		2	2	3	3	2
80	WIND-B00ELE-H01	ARCH	Windows	00		Not applicable		3	2	3	3	2
81	WIND-B00ELE-H02	ARCH	Windows	00		Not applicable		3	2	3	3	2
82	WIND-B00ELE-H03	ARCH	Windows	00		Not applicable		3	2	3	3	2
83	WIND-B00ELE-H04	ARCH	Windows	00		Not applicable		3	2	3	3	2
84	WIND-B00ELE-H05	ARCH	Windows	00		Not applicable		3	2	3	3	2
85	WIND-B00ELE-H06	ARCH	Windows	00		Not applicable		3	2	3	3	2
86	WIND-B00ELE-H07	ARCH	Windows	00		Not applicable		3	2	3	3	2
87	WIND-B00ELN-H01	ARCH	Windows	00		Not applicable		3	2	3	3	2
88	WIND-B00ELN-H02	ARCH	Windows	00		Not applicable		3	2	3	3	2
89	WIND-B00ELN-H03	ARCH	Windows	00		Not applicable		3	2	3	3	2
90	WIND-B00ELN-H04	ARCH	Windows	00		Not applicable		3	2	3	3	2
91	WIND-B00ELS-H01	ARCH	Windows	00		Not applicable		3	1	3	3	2
92	WIND-B00ELS-H02	ARCH	Windows	00		Not applicable		3	1	3	3	2
93	WIND-B00ELS-H03	ARCH	Windows	00		Not applicable		3	1	3	3	2
94	WIND-B00ELS-H04	ARCH	Windows	00		Not applicable		3	1	3	3	2
95	WIND-B00ELW-H01	ARCH	Windows	00		Not applicable		3	2	3	3	2
96	WIND-B00ELW-H02	ARCH	Windows	00		Not applicable		3	2	3	3	2
97	WIND-B00ELW-H03	ARCH	Windows	00		Not applicable		3	2	3	3	2
98	WIND-B00ELW-H04	ARCH	Windows	00		Not applicable		3	2	3	3	2
99	WIND-B00ELW-H05	ARCH	Windows	00		Not applicable		3	2	3	3	2
100	WIND-B00ELW-H06	ARCH	Windows	00		Not applicable		3	2	3	3	2
101	WIND-B00ELW-H07	ARCH	Windows	00		Not applicable		3	2	3	3	2
102	LTGO-B00ELE-003	ARCH;#ELEC	Light Fixtures	00				2	3	1	3	2
103	LTGO-B00ELE-001	ARCH;#ELEC	Light Fixtures	00				4	5	3	3	2
104	LTGO-B00ELE-002	ARCH;#ELEC	Light Fixtures	00				4	5	3	3	2
105	LTGO-B00ELN-001	ARCH;#ELEC	Light Fixtures	00				4	5	3	3	2
106	LTGO-B00ELS-001	ARCH;#ELEC	Light Fixtures	00				4	5	3	3	2
107	LTGO-B00ELW-001	ARCH;#ELEC	Light Fixtures	00				4	5	3	3	2
108	LTGO-B00ELN-002	ARCH;#ELEC	Light Fixtures	00				2	3	1	3	2
109	LTGO-B00ELS-002	ARCH;#ELEC	Light Fixtures	00				2	3	1	3	2
110	LTGO-B00ELW-002	ARCH;#ELEC	Light Fixtures	00				3	5	3	3	2
111	LTGO-B00ELW-003	ARCH;#ELEC	Light Fixtures	00				3	3	3	3	2
112	LTGO-B00ELW-004	ARCH;#ELEC	Light Fixtures	00				2	3	3	3	2
113	SLTG-B00ELE-H01	ARCH;ELEC	Exterior Lighting Fixtures and Controls	00	Site		Not applicable	3	2	1	3	2

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
114	SLTG-B00ELN-H01	ARCH;ELEC	Exterior Lighting Fixtures and Controls	00	Site	Not applicable		3	2	1	3	2
115	SLTG-B00ELS-H01	ARCH;ELEC	Exterior Lighting Fixtures and Controls	00	Site	Not applicable		3	2	1	3	2
116	SLTG-B00ELW-H01	ARCH;ELEC	Exterior Lighting Fixtures and Controls	00	Site	Not applicable		3	2	1	3	2
117	AVCR-B01BNE-001	AV	Courtroom Recording Systems	01	COURTROOM	M 109		4	3	3	3	5
118	AVCR-B01BSE-001	AV	Courtroom Recording Systems	01	COURTROOM	M 119		4	3	3	3	5
119	AVCR-B02BNE-001	AV	Courtroom Recording Systems	02	COURTROOM	M CR-53		4	3	3	3	5
120	AVCR-B02BSE-001	AV	Courtroom Recording Systems	02	OFFICE	225B		4	3	3	3	5
121	AVCR-B02BSW-001	AV	Courtroom Recording Systems	02	COURTROOM	M CR-52		4	3	3	3	5
122	AVCR-B03BNE-001	AV	Courtroom Recording Systems	03	COMM	315	Drawing states room is 309. IT labels it as 315.	4	3	3	1	5
123	AVCR-B03BNE-002	AV	Courtroom Recording Systems	03	COMM	315	Drawing states room is 309. IT labels it as 315.	4	3	3	1	5
124	AVCR-B03BNE-003	AV	Courtroom Recording Systems	03	COMM	315	Drawing states room is 309. IT labels it as 315.	4	3	3	1	5
125	AVCR-B03BNE-004	AV	Courtroom Recording Systems	03	COMM	315	Drawing states room is 309. IT labels it as 315.	4	3	3	1	5
126	AVEQ-B01BNE-001	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 109		4	3	3	3	4
127	AVEQ-B01BNE-002	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 109		4	3	3	3	4
128	AVEQ-B01BNE-003	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 109		4	3	3	3	4
129	AVEQ-B01BNE-004	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 109		4	3	3	2	2
130	AVEQ-B01BNE-005	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 109		4	3	3	2	2
131	AVEQ-B01BNE-006	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 109		4	3	3	2	2
132	AVEQ-B01BNE-007	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 109		4	3	3	2	2
133	AVEQ-B01BNE-008	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 109		4	3	3	1	4
134	AVEQ-B01BSE-001	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 119		4	3	3	3	5
135	AVEQ-B01BSE-002	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 119		4	3	3	3	5
136	AVEQ-B01BSE-003	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 119		4	3	3	3	5
137	AVEQ-B01BSE-004	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 119		4	3	3	2	5
138	AVEQ-B01BSE-005	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 119		4	3	3	2	2
139	AVEQ-B01BSE-006	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 119		4	3	3	2	2
140	AVEQ-B01BSE-007	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 119		4	3	3	2	2
141	AVEQ-B01BSE-008	AV	Rack-based AV Control, Process, and Dist	01	COURTROOM	M 119		4	3	3	2	2
142	AVEQ-B02BNE-001	AV	Rack-based AV Control, Process, and Dist	02	COURTROOM	M CR-53		4	3	3	2	2
143	AVEQ-B02BNE-002	AV	Rack-based AV Control, Process, and Dist	02	COURTROOM	M CR-53		4	3	3	2	2
144	AVEQ-B02BNE-003	AV	Rack-based AV Control, Process, and Dist	02	COURTROOM	M CR-53		4	3	3	2	2
145	AVEQ-B02BNE-004	AV	Rack-based AV Control, Process, and Dist	02	COURTROOM	M CR-53		4	3	3	2	2
146	AVEQ-B02BSE-001	AV	Rack-based AV Control, Process, and Dist	02	OFFICE	225B		4	3	3	2	3
147	AVEQ-B02BSW-001	AV	Rack-based AV Control, Process, and Dist	02	COURTROOM	M CR-52		4	3	3	2	2
148	AVEQ-B02BSW-002	AV	Rack-based AV Control, Process, and Dist	02	COURTROOM	M CR-52		4	3	3	2	2

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
149	AVEQ-B02BSW-003	AV	Rack-based AV Control, Process, and Dist	02	COURTROOM	M	CR-52	4	3	3	2	2
150	AVEQ-B02BSW-004	AV	Rack-based AV Control, Process, and Dist	02	COURTROOM	M	CR-52	4	3	3	2	2
151	AVFP-B01BNE-001	AV	Displays / Flat Panel Monitor	01	CORRIDOR			4	3	3	3	5
152	AVFP-B01BNE-002	AV	Displays / Flat Panel Monitor	01	COURTROOM	M	109	2	2	3	3	5
153	AVFP-B01BNW-001	AV	Displays / Flat Panel Monitor	01	CONFERENCE ROOM		112	4	3	3	3	5
154	AVFP-B01BNW-002	AV	Displays / Flat Panel Monitor	01	CORRIDOR			4	3	3	3	5
155	AVFP-B01BNW-003	AV	Displays / Flat Panel Monitor	01	BREAK ROOM		110.01	4	3	3	2	5
156	AVFP-B01BSE-001	AV	Displays / Flat Panel Monitor	01	OPEN OFFICE		123A	4	3	3	3	5
157	AVFP-B01BSE-002	AV	Displays / Flat Panel Monitor	01	CORRIDOR			4	3	3	3	5
158	AVFP-B01BSE-003	AV	Displays / Flat Panel Monitor	01	BREAK ROOM		123F	4	3	3	3	5
159	AVFP-B01BSW-001	AV	Displays / Flat Panel Monitor	01	CORRIDOR		Sw corridor, outside security	4	3	3	3	5
160	AVFP-B02BNE-001	AV	Displays / Flat Panel Monitor	02	OFFICE		258A	3	3	3	2	5
161	AVFP-B02BNE-002	AV	Displays / Flat Panel Monitor	02	OFFICE		215C	4	3	3	2	5
162	AVFP-B02BNW-001	AV	Displays / Flat Panel Monitor	02	OFFICE		214D	4	3	3	2	5
163	AVFP-B02BNW-002	AV	Displays / Flat Panel Monitor	02	CONFERENCE ROOM		202	4	3	3	3	5
164	AVFP-B02BNW-003	AV	Displays / Flat Panel Monitor	02	CONFERENCE ROOM		216	4	3	3	2	5
165	AVFP-B02BSE-001	AV	Displays / Flat Panel Monitor	02	CONFERENCE ROOM		228I	4	3	3	2	5
166	AVFP-B02BSE-002	AV	Displays / Flat Panel Monitor	02	CONFERENCE ROOM		228J2	4	3	3	2	5
167	AVFP-B02BSE-003	AV	Displays / Flat Panel Monitor	02	OFFICE		228L	4	3	3	2	5
168	AVFP-B02BSE-004	AV	Displays / Flat Panel Monitor	02	CONFERENCE ROOM		228D	4	3	3	2	5
169	AVFP-B03BNW-001	AV	Displays / Flat Panel Monitor	03	CORRIDOR			4	3	3	3	5
170	AVFP-B03BSW-001	AV	Displays / Flat Panel Monitor	03	OFFICE		322A	2	3	3	3	5
171	AVFP-BB1BNW-001	AV	Displays / Flat Panel Monitor	B1	FITNESS		SB112	4	3	3	2	4
172	AVFP-BB1BSW-001	AV	Displays / Flat Panel Monitor	B1	FITNESS		SB111	4	3	3	2	5
173	AVPJ-BB1BSW-001	AV	Displays / Projectors	B1	TRAINING		SB101	4	3	3	2	5
174	AVPS-BB1BSW-001	AV	Displays / Projection Screens	B1	TRAINING		SB101	2	2	3	2	2
175	AVRK-B01BNE-001	AV	Audiovisual Equipment Racks	01	COURTROOM	M	109	5	5	3	2	5
176	AVRK-B02BNE-001	AV	Audiovisual Equipment Racks	02	COURTROOM	M	CR-53	3	3	3	2	2
177	AVRK-B03BNE-001	AV	Audiovisual Equipment Racks	03	COMM		315	5	3	3	1	5
							Existing Rack ID Label "COURTSMART-PR35K-P11, COURTSMART-PR35K-P12"					
178	AVRK-BB1BSW-001	AV	Audiovisual Equipment Racks	B1	TRAINING		SB101	5	3	3	2	5
179	AVTP-B01BNE-001	AV	Control Touch Panel / Telestrator	01	COURTROOM	M	109	4	3	3	3	5
180	AVTP-B01BNE-002	AV	Control Touch Panel / Telestrator	01	COURTROOM	M	109	4	3	3	3	5
181	AVTP-B01BSE-001	AV	Control Touch Panel / Telestrator	01	COURTROOM	M	119	4	3	3	3	4
182	AVTP-B01BSE-002	AV	Control Touch Panel / Telestrator	01	COURTROOM	M	119	4	3	3	3	4

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
183	AVEQ-B02BSE-004	AV;TELE	Rack-based AV Control, Process, and Dist	02	M	COURTROOM CR-53						
184	CUGU-B00SNE-001	CIVIL	Parking Lots Curbs and Gutters	00	Site		8"W x 15ft L Precast Curb Units along east edge of parking lot. Not adequate curb HT for rainwater conveyance to grate inlet at SE corner of lot. Not adequate ability to stop vehicles when parking.	3	4	3	2	2
185	CUGU-B00SNE-002	CIVIL	Parking Lots Curbs and Gutters	00	Site		Concrete curbs set in 15' sections. Appear to be precast units. 90% are cracked and/or	2	3		2	2
186	CUGU-B00SSE-001	CIVIL	Parking Lots Curbs and Gutters	00	Site		SE Parking Lot Curbs: 8"x15' precast concrete curb units. 90% cracked and/or chipped. Low profile. Risk of vehicle not	3	4	3	2	2
187	DBRI-B00SNW-001	CIVIL	Other Site Improvements	00	Site		MECH Equipment area. Area filled with debris around mechanical equipment.	1	1	1	1	2
188	MGSI-B00SNE-001	CIVIL	Parking Lots Marking and Signage	00	Site		Parking space stripping and ID #'s need repainting. Unless DCC is abandoning parking space ID #'s.	3	4	5	4	2
189	PASU-B00SNE-001	CIVIL	Parking Lots Paved Surfaces	00	Site		Exposed Aggregate Driveway Entrance: Large Cracks.	3	3	3	3	2
190	PASU-B00SNE-002	CIVIL	Parking Lots Paved Surfaces	00	Site		Few cracks. Appears to have been resurfaced multiple times where curb profile has been reduced.	5	5	5	4	2
191	PASU-B00SNE-003	CIVIL	Pedestrian Paving Paved Surfaces	00			Pedestrian Pavement to East Entry: 10.5'x8.3' Exposed Aggregate concrete panels. Evidence of subsidence. Cracks. Not flush with granite border.	3		3	3	2
192	PASU-B00SNE-004	CIVIL	Pedestrian Paving Paved Surfaces	00			Parking Lot Sidewalk: 3'x3' exposed aggregate concrete pavers along parking lot edge. Some settlement and uneven areas. Some cracks.	3	3	3	3	2
193	PASU-B00SNW-001	CIVIL	Roadway Paved Surfaces	00	Site		Concrete service drive.	5	5	5	2	2
194	PASU-B00SNW-002	CIVIL	Roadway Paved Surfaces	00	Site		Service Drive border. 12"x36" granite pavers. Aprx. 50% w/ cracks.	4	4	5	3	2
195	PASU-B00SSE-001	CIVIL	Parking Lots Paved Surfaces	00			SE Parking Lot Asphalt Paving: Relatively smooth even grade sloping to SE corner grate inlet. Minor cracks.			5	4	2
196	PASU-B00SSE-002	CIVIL	Parking Lots Paved Surfaces	00	Site		SE Parking Lot Driveway Entrance: Exposed aggregate concrete driveway entrance. Cracks and portion missing.	3	3	3	4	2

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
197	PASU-B00SSE-003	CIVIL	Parking Lots Paved Surfaces	00	Site		Concrete driveway entrance to dumpster loading area. Cracked and failing.	2	2	3	2	2
198	PASU-B00SSE-004	CIVIL	Parking Lots Paved Surfaces	00	Site		Dumpster loading pavement. Cobble. Mosaic pattern. Not intended for heavy vehicles or equipment.	3	3	5	1	2
199	PASU-B00SSW-001	CIVIL	Roadway Paved Surfaces	00	Site		Concrete service drive.	5	5	5	2	2
200	PASU-B00SSW-002	CIVIL	Roadway Paved Surfaces	00	Site		Service Drive border. 12"x36" granite pavers. Aprx. 50% w/ cracks.	4	4	5	3	2
201	SANS-B00SNW-001	CIVIL	Sanitary Sewer Manhole and Cleanouts	00	Site		Sewer MH. 24" cover. Pavement cracks around cover. Refer to Concrete Service Drive asset.	5	5	5	1	2
202	SANS-B00SNW-002	CIVIL	Sanitary Sewer Manhole and Cleanouts	00	Site		Sewer MH. 24" cover. Appears outside the Property Line. Might be DC Water responsibility.	5	5	5	1	2
203	STMS-B00SNE-001	CIVIL	Storm Sewer Structures	00	Site		Stormwater Grate Inlet.	5	5	5	2	2
204	STMS-B00SNE-002	CIVIL	Storm Sewer Structures	00	Site		Stormwater Grate Inlet.	5	5	5	2	2
205	STMS-B00SSE-001	CIVIL	Storm Sewer Structures	00	Site		3'x3' grate inlet. Records indicate drains to manhole to the north, then connects to DC Water 96" trunk	4	4	5	2	2
206	TOSP-B00000-001	CIVIL;#TELE	Cable TV Systems (CATV)	00	COMM	B01	Telecommunications	3	3	3	1	5
207	TOSP-B00000-002	CIVIL;#TELE	Systems	00	COMM	B01		3	3	3	1	5
208	EUTL-B00BNE-001	CIVIL;ELEC	Ductbanks, Manholes, Handholes, Raceways	00			Two concrete electrical transformer vaults. Good condition. Landscape heavily mulched. Mulch may be flowing into vaults.					
209	STRC-B00SSW-001	CIVIL;ELEC	Transformers	00	Site		Electric MH. 30" CI round cover. "DC Electric" embossed. Need to confirm if Pepco-owned.					
210	PUOD-B00SNE-001	CIVIL;MECH CIVIL;PLUM	Packaged Unit - Outdoor	00			was L3 Other Site Electrical Utilities AND Cooling Distribution; Katy L changed to Cooling Distribution					
211	STMS-B00SNW-001	B	Storm Sewer Structures	00	Site		4"x12" brass grate drain inlet by Zurn.					
212	STMS-B00SSW-001	B	Storm Sewer Structures	00	Site		4"x12" Zurn brass area drain at sidewalk edge.					
213	BLRD-B00SNW-001	CIVIL;SEC	Roadway Guardrails and Barriers	00	Site		Two granite bollards connected with chain. North end of service drive. Chain has stained granite paving beneath.					
214	BLRD-B00SSW-001	CIVIL;SEC	Security Structures	00	Site		Two granite bollards at service drive entrance. Bollards with loose chain. Chain has created stains on the granite pavers beneath.					
215	ATS0-BB1000-001	ELEC	ATS	B1	EQUIPMENT ROOM	B19 OP	ATS-2 / ELEV 5, 6	3	5	3	1	4
216	ATS0-BB1000-002	ELEC	ATS	B1	EQUIPMENT ROOM	B19 OP	ATS-3	4	5	3	1	4

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217	ATS0-BB1000-003	ELEC	ATS	B1	EQUIPMENT ROOM	B19 OP	ATS-1 / ELEV 1, 2, 3, 4	3	5	3	1	4
218	ATS0-BB1000-004	ELEC	ATS	B1	EQUIPMENT ROOM	B19 OP	ATS-4 / FIRE PUMP	4	5	3		4
219	DS00-B00SNE-001	ELEC	Disconnect Switches	00		Not applicable	NE Exterior AC unit	3				
220	DS00-B00SNW-001	ELEC	Disconnect Switches	00		Not applicable	NW Exterior AC unit	3				
221	DS00-B00SNW-002	ELEC	Disconnect Switches	00		Not applicable	NW Exterior AC unit	3				
222	DS00-B00SSE-001	ELEC	Disconnect Switches	00		Not applicable	SE Exterior AC unit	3				
223	DS00-B01000-001	ELEC	Disconnect Switches	01	COMM	109D OP	AC UNIT - SERVER RM	5				
224	DS00-B03000-001	ELEC	Disconnect Switches	03	COMM	309 OP	AC UNIT 1 - SERVER ROOM	1				
225	DS00-B03000-002	ELEC	Disconnect Switches	03	COMM	309 OP	AC UNIT 2 - SERVER ROOM	5				
226	DS00-BB1000-001	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B18 OP	WATER CIRCULATOR	4				
227	DS00-BB1000-002	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	ATS-1	5				
228	DS00-BB1000-003	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	FIRE PUMP	4	5	3	1	4
229	DS00-BB1000-004	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	AHU-6 / PANEL B	5	5	3	1	5
230	DS00-BB1000-005	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	SCP-1	5	5	3	1	5
231	DS00-BB1000-006	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	SCP-2	5	5	3	1	5
232	DS00-BB1000-007	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	AIR COMPRESSOR	4	5	3	1	5
233	DS00-BB1000-008	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	AIR COMPRESSOR	4	5	3	1	5
234	DS00-BB1000-009	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	AHU-05	4	5	3	1	4
235	DS00-BB1000-010	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	A. H. UNIT NO. 5	4	5	3	1	4
236	DS00-BB1000-011	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B20 OP	PAINTED DS - OBSOLETE	1	5	3	1	5
237	DS00-BB1000-012	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	SHP-1	5	5	3	1	5
238	DS00-BB1000-013	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	SHP-2	5	5	3	1	5
239	DS00-BB1000-014	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	HWP-1	5	5	1	1	5
240	DS00-BB1000-015	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	HWP-2	5	5	3	1	5
241	DS00-BB1000-016	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	AHU-3	5	5	3	1	5
242	DS00-BB1000-017	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	RF3	5	5	3	1	5
243	DS00-BB1000-018	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	RCP-3	5	5	3	1	5
244	DS00-BB1000-019	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	HUM-3	5	5	3	1	5
245	DS00-BB1000-020	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	CW Pump	4	5	3	1	5
246	DS00-BB1000-021	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B42 OP	CP	2	5	3	1	3
247	DS00-BB1000-022	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B42 OP	HWH	2	5	3	1	3
248	DS00-BB1000-023	ELEC	Disconnect Switches	B1	GEN	B09 OP	ELEV 5,6	5	5	3	1	5
249	DS00-BB1000-024	ELEC	Disconnect Switches	B1	GEN	B09 OP	ELEV 1-4	5	5	3	1	5
250	DS00-BB1000-025	ELEC	Disconnect Switches	B1	GEN	B09 OP	PANEL ELP	5	5	3	1	5
251	DS00-BB1000-026	ELEC	Disconnect Switches	B1	GEN	B09 OP	FIRE PUMP	5	5	3	1	5
252	DS00-BB1000-027	ELEC	Disconnect Switches	B1	GEN	B09 OP	SUMP PUMP 1	4	5	3	1	5
253	DS00-BB1000-028	ELEC	Disconnect Switches	B1	GEN	B09 OP	SUMP PUMP-2	4	5	3	1	5
254	DS00-BB1000-029	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B18 OP	DOMESTIC WATER CHILLER	5	4	1	1	2

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255	DS00-BB1000-030	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B18 OP	WESTINGHOUSE 1 (PLZ GET LOAD NAME)	4	4	3	1	3
256	DS00-BB1000-031	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B18 OP	WESTINGHOUSE 2 (PLZ GET LOAD NAME)	1	5	3	1	3
257	DS00-BB1000-032	ELEC	Disconnect Switches	B1	ELEC ROOM	B23 OP	PAINTED DS - OBSOLETE	1	5	2	1	3
258	DS00-BB1000-033	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	ATS-2	5	5	3	1	3
259	DS00-BB1000-034	ELEC	Disconnect Switches	B1	EQUIPMENT ROOM	B19 OP	ATS-3	5	5	3	1	4
260	DS00-BPH000-001	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	400A OP	SPRINKLER COMPRESSOR	5	5	3	1	4
261	DS00-BPH000-002	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	400A OP	CIRC. PUMP AHU-1	5	5	3	1	4
262	DS00-BPH000-003	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	400A OP	RF-1	5	5	3	1	4
263	DS00-BPH000-004	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	400 OP	AHU-1	5				
264	DS00-BPH000-005	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	400 OP	HUMIDIFIER-1	5	5	3	1	4
265	DS00-BPH000-006	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	404 OP		5	4	1	1	1
266	DS00-BPH000-007	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	404 OP	CT-S 120	5	5	2	1	3
267	DS00-BPH000-008	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	404 OP	CT-S 3PH	5	5	2	1	3
268	DS00-BPH000-009	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	406 OP	CT-N 120	5				
269	DS00-BPH000-010	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	406 OP	CT-N 3PH	4	5	2	1	3
270	DS00-BPH000-011	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	400B OP	RF-2	5				
271	DS00-BPH000-012	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	400B OP	CIRC. PUMP AHU-2	5	5	3	1	5
272	DS00-BPH000-013	ELEC	Disconnect Switches	PH	ELEVATOR - OTHER	405 OP	ELEV 1	5	5	3	1	5
273	DS00-BPH000-014	ELEC	Disconnect Switches	PH	ELEVATOR - OTHER	405 OP	ELEV 2	5	5	3	1	4
274	DS00-BPH000-015	ELEC	Disconnect Switches	PH	ELEVATOR - OTHER	405 OP	ELEV 3	5	5	3	1	5
275	DS00-BPH000-016	ELEC	Disconnect Switches	PH	ELEVATOR - OTHER	405 OP	ELEV 4	5				
276	DS00-BPH000-017	ELEC	Disconnect Switches	PH	ELEVATOR - OTHER	409 OP	ELEV 6	5	5	3	1	5
277	DS00-BPH000-018	ELEC	Disconnect Switches	PH	ELEVATOR - OTHER	409 OP	ELEV 6-CAB LTG/FAN	5	5	3	1	5
278	DS00-BPH000-019	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	400B OP	HUMIDIFIER-2	5	5	3	1	5
279	DS00-BPH000-020	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	400B OP	AHU-2	5	5	3	1	5
280	DS00-BPH000-021	ELEC	Disconnect Switches	PH	ELEVATOR - OTHER	401 OP	ELEV 5	5	5	3	1	5
281	DS00-BPH000-022	ELEC	Disconnect Switches	PH	ELEVATOR - OTHER	401 OP	ELEV 5-CAB LTG/FAN	5				
282	DS00-BPH000-023	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	400 OP	COOLING TOWER NORTH	5	5	3	1	5
283	DS00-BPH000-024	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	408 OP	EF-2	5	4	3	1	4
284	DS00-BPH000-025	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	400B OP	FAN-3	5	5	3	1	5
285	DS00-BPH000-026	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	400B OP	FAN-3	5	5	3		4
286	DS00-BPH000-027	ELEC	Disconnect Switches	PH	ELEVATOR - OTHER	405 OP	ELEV 1-4 SHUNT TRIP	5				
287	DS00-BPH000-028	ELEC	Disconnect Switches	PH	ELEVATOR - OTHER	409 OP		5				
288	DS00-BPH000-029	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	400B OP		5	5	3	1	5
289	DS00-BPH000-030	ELEC	Disconnect Switches	PH	EQUIPMENT ROOM	400B OP		5	5	3	1	5

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290	EBAT-BPH000-001	ELEC	Emergency Battery Pack Lights	PH		Not applicable		1	5	1		5
291	ECB0-BB1000-001	ELEC	Enclosed Circuit Breakers	B1	EQUIPMENT ROOM	B19 OP	ELEV 5 SHUNT TRIP	4	5	3	1	4
292	ECB0-BB1000-002	ELEC	Enclosed Circuit Breakers	B1	EQUIPMENT ROOM	B19 OP	ELEV 6 SHUNT TRIP	4	5	3	1	5
293	ECB0-BPH000-001	ELEC	Enclosed Circuit Breakers	PH	EQUIPMENT ROOM	400 OP	COOLING TOWER SOUTH	5	5	3	1	5
294	EXIT-B01000-001	ELEC	Exit Signs	01		Not applicable		5	5	3	3	5
295	EXIT-B02000-001	ELEC	Exit Signs	02		Not applicable		5	5	3	3	5
296	EXIT-B03000-001	ELEC	Exit Signs	03		Not applicable		5	5	3	3	5
297	EXIT-BB1000-001	ELEC	Exit Signs	B1		Not applicable		5	5	3	3	5
298	EXIT-BPH000-001	ELEC	Exit Signs	PH		Not applicable		1	1	1	1	5
299	FT00-BB1000-001	ELEC	Generator Fuel Tank	B1	GEN	B09 OP		4				
300	GEN0-BB1000-001	ELEC	Generators	B1	GEN	B09 OP	AC Gen and MCB	3				
301	LC00-B01000-001	ELEC	Lighting Controls	01		Not applicable		5	5	3	3	5
302	LC00-B02000-001	ELEC	Lighting Controls	02		Not applicable		5	5	3	3	5
303	LC00-B03000-001	ELEC	Lighting Controls	03		Not applicable		5				
304	LC00-BB1000-001	ELEC	Lighting Controls	B1		Not applicable		5	5	3	1	5
305	LC00-BPH000-001	ELEC	Lighting Controls	PH		Not applicable		5	5	3	1	5
306	LCPO-BB1000-001	ELEC	Lighting Control Panels	B1	EQUIPMENT ROOM	B19 OP		5				
307	LTO0-B01000-001	ELEC	Lighting Fixtures	01		Not applicable		4				
308	LTO0-B01000-002	ELEC	Lighting Fixtures	01		Not applicable		5	4	3	3	5
309	LTO0-B01000-003	ELEC	Lighting Fixtures	01		Not applicable		5	4	3	3	5
310	LTO0-B01000-H04	ELEC	Lighting Fixtures	01		Not applicable	ARCHITECTURAL PENDANT LIGHT FIXTURES AT ENTRY VESTIBULES	3	4	3	3	4
311	LTO0-B02000-001	ELEC	Lighting Fixtures	02		Not applicable		4				
312	LTO0-B02000-002	ELEC	Lighting Fixtures	02		Not applicable		5	4	3	3	5
313	LTO0-B02000-003	ELEC	Lighting Fixtures	02		Not applicable		5	4	3	3	5
314	LTO0-B03000-001	ELEC	Lighting Fixtures	03		Not applicable		4				
315	LTO0-B03000-002	ELEC	Lighting Fixtures	03		Not applicable		5	4	3	3	5
316	LTO0-B03000-003	ELEC	Lighting Fixtures	03		Not applicable		5	4	3	3	5
317	LTO0-BB1000-001	ELEC	Lighting Fixtures	B1		Not applicable		3				
318	LTO0-BPH000-001	ELEC	Lighting Fixtures	PH		Not applicable		1	1	1	1	5
319	MCC0-BB1000-001	ELEC	Motor Control Centers	B1	EQUIPMENT ROOM	B18 OP	MCC-B1	4	5	2	1	2
320	MS00-B01000-001	ELEC	Motor Starters	01	OPEN OFFICE	124A OP	FCU'S	5	5	3	1	4
321	MS00-B01000-002	ELEC	Motor Starters	01	OPEN OFFICE	120B OP	(3)VAV/FPB	5	5	3	1	4
322	MS00-B01000-003	ELEC	Motor Starters	01	OPEN OFFICE	123	(4)VAV/FPB, Door Mediation Power, and ADA	5	5	3	1	4
323	MS00-B01000-004	ELEC	Motor Starters	01	CONFERENCE ROOM	123C OP	(1)VAV/FPB	5	5	3	1	4
324	MS00-B01000-005	ELEC	Motor Starters	01	OPEN OFFICE	121C OP	(1)VAV/FPB	5	5	3	1	4
325	MS00-B01000-006	ELEC	Motor Starters	01	COURTROO	119A OP	(2)VAV/FPB	5	5	3	1	4
326	MS00-B01000-007	ELEC	Motor Starters	01	CORRIDOR	100B OP	(2)VAV/FPB	5	5	3	1	4

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327	MS00-B01000-008	ELEC	Motor Starters	01	COURTROO	109A OP	(2)VAV/FPB	5	5	3	1	4
328	MS00-B01000-009	ELEC	Motor Starters	01	OPEN OFFICE	110A OP	(2)VAV/FPB	5	5	3	1	4
329	MS00-B01000-010	ELEC	Motor Starters	01	OPEN OFFICE	110B OP	(4)VAV/FPB	5	5	3	1	4
330	MS00-B01000-011	ELEC	Motor Starters	01	CONFERENCE ROOM	112 Civil Division	(1)VAV/FPB, Door Power, and ADA	5	5	3	1	4
331	MS00-B01000-012	ELEC	Motor Starters	01	OFFICE	111	(1)VAV/FPB	5	5	3	1	4
332	MS00-B01000-013	ELEC	Motor Starters	01	OPEN OFFICE	110J OP	(1)VAV/FPB	5	5	3	1	4
333	MS00-B01000-014	ELEC	Motor Starters	01	CONFERENCE ROOM	113H OP	(1)VAV/FPB	5	5	3	1	4
334	MS00-B01000-015	ELEC	Motor Starters	01	CONFERENCE ROOM	113A OP	(4)VAV/FPB	5	5	3	1	4
335	MS00-B01000-016	ELEC	Motor Starters	01	SECURE VESTIBULE	100E OP	Door Power and ADA Buttons	5	5	3	1	4
336	MS00-B02000-001	ELEC	Motor Starters	02	OPEN OFFICE	228A OP	(13)VAV/FPB	5	5	3	1	4
337	MS00-B02000-002	ELEC	Motor Starters	02	OPEN OFFICE	223 OP	(3)VAV/FPB	5	5	3	1	4
338	MS00-B02000-003	ELEC	Motor Starters	02	OPEN OFFICE	222 OP	(1)VAV/FPB	5	5	3	1	4
339	MS00-B02000-004	ELEC	Motor Starters	02	OPEN OFFICE	221 OP	(1)VAV/FPB	5	5	3	1	4
340	MS00-B02000-005	ELEC	Motor Starters	02	STORAGE ROOM	218 OP	(1)VAV/FPB	5	5	3	1	4
341	MS00-B02000-006	ELEC	Motor Starters	02	CONFERENCE ROOM	201A OP	(4)VAV/FPB	5	5	3	1	4
342	MS00-B02000-007	ELEC	Motor Starters	02	ELEVATOR LOBBY	200 OP	(3)VAV/FPB	5	5	3	1	4
343	MS00-B02000-008	ELEC	Motor Starters	02	CONFERENCE ROOM	206 OP	(1)VAV/FPB	5	5	3	1	4
344	MS00-B02000-009	ELEC	Motor Starters	02	STORAGE ROOM	201B OP	(1)VAV/FPB	5	5	3	1	4
345	MS00-B02000-010	ELEC	Motor Starters	02	CORRIDOR	200F OP	(4)VAV/FPB	5	5	3	1	4
346	MS00-B02000-011	ELEC	Motor Starters	02	OPEN OFFICE	208 OP	(1)VAV/FPB	5	5	3	1	4
347	MS00-B02000-012	ELEC	Motor Starters	02	CONFERENCE ROOM	219G OP	(1)VAV/FPB	5	5	3	1	4
348	MS00-B02000-013	ELEC	Motor Starters	02	RECEPTIONIS T	219A OP	(2)VAV/FPB	5	5	3	1	4
349	MS00-B02000-014	ELEC	Motor Starters	02	CORRIDOR	200B OP	(2)VAV/FPB	5	5	3	1	4
350	MS00-B02000-015	ELEC	Motor Starters	02	OPEN OFFICE	214B OP	(1)VAV/FPB	5	5	3	1	4
351	MS00-B02000-016	ELEC	Motor Starters	02	CONFERENCE ROOM	216 OP	(1)VAV/FPB	5	5	3	1	4
352	MS00-B03000-001	ELEC	Motor Starters	03	OFFICE	328 OP	(1)VAV/FPB	5	5	3	1	4
353	MS00-B03000-002	ELEC	Motor Starters	03	OFFICE	330A OP	(1)VAV/FPB	5	5	3	1	4
354	MS00-B03000-003	ELEC	Motor Starters	03	CORRIDOR	300E OP	(2)VAV/FPB	5	5	3	1	4
355	MS00-B03000-004	ELEC	Motor Starters	03	OPEN OFFICE	317C OP	(2)VAV/FPB	5	5	3	1	4
356	MS00-B03000-005	ELEC	Motor Starters	03	OPEN OFFICE	317B OP	(3)VAV/FPB	5	5	3	1	4
357	MS00-B03000-006	ELEC	Motor Starters	03	OPEN OFFICE	317A OP	(1)VAV/FPB	5	5	3	1	4
358	MS00-B03000-007	ELEC	Motor Starters	03	OFFICE	322C OP	(1)VAV/FPB	5	5	3	1	4
359	MS00-B03000-008	ELEC	Motor Starters	03	OPEN OFFICE	322B OP	(1)VAV/FPB	5	5	3	1	4
360	MS00-B03000-009	ELEC	Motor Starters	03	OPEN OFFICE	322A OP	(1)VAV/FPB	5	5	3	1	4
361	MS00-B03000-010	ELEC	Motor Starters	03	OPEN OFFICE	301A OP	(1)VAV/FPB	5	5	3	1	4
362	MS00-B03000-011	ELEC	Motor Starters	03	OPEN OFFICE	303A OP	(1)VAV/FPB	5	5	3	1	4
363	MS00-B03000-012	ELEC	Motor Starters	03	OPEN OFFICE	305A OP	(2)VAV/FPB	5	5	3	1	4
364	MS00-B03000-013	ELEC	Motor Starters	03	CONFERENCE ROOM	307 OP	(1)VAV/FPB	5	5	3	1	4
365	MS00-B03000-014	ELEC	Motor Starters	03	OPEN OFFICE	307B OP	(2)VAV/FPB	5	5	3	1	4
366	MS00-B03000-015	ELEC	Motor Starters	03	OPEN OFFICE	308A OP	(3)VAV/FPB	5	5	3	1	4
367	MS00-B03000-016	ELEC	Motor Starters	03	Pantry	312 OP	(1)VAV/FPB	5	5	3	1	4
368	MS00-B03000-017	ELEC	Motor Starters	03	RECEPTIONIS T	314D OP	(1)VAV/FPB	5	5	3	1	4
369	MS00-B03000-018	ELEC	Motor Starters	03	OFFICE	314B OP	(1)VAV/FPB	5	5	3	1	4
370	MS00-B03000-019	ELEC	Motor Starters	03	OFFICE	316 OP	(1)VAV/FPB	5	5	3	1	4
371	MS00-B03000-020	ELEC	Motor Starters	03	CONFERENCE ROOM	315A OP	(1)VAV/FPB	5	5	3	1	4
372	MS00-BB1000-001	ELEC	Motor Starters	B1	GEN	B09 OP		5				
373	MS00-BPH000-001	ELEC	Motor Starters	PH	ELEVATOR - OTHER	401 OP		5	5	3	1	5
374	MTR0-BB1000-001	ELEC	Meters	B1	EQUIPMENT ROOM	B19 OP	Utility	5				
375	PNL0-B01000-001	ELEC	Panels	01	COMM	121B OP	PNL S1 sec 1 of 2	5	5	3	1	5
376	PNL0-B01000-002	ELEC	Panels	01	COMM	121B OP	PNL S1 sec 2 of 2	5	5	3	1	5
377	PNL0-B01000-003	ELEC	Panels	01	COMM	109D OP	FEED FOR UPS "ONLY"	5	5	2	1	3
378	PNL0-B01000-004	ELEC	Panels	01	COMM	109E OP	PNL N1 sec 1 of 1	5	5	3	1	5
379	PNL0-B01000-005	ELEC	Panels	01	COMM	109E OP	PNL N1 sec 2 of 2	5	5	3	1	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
380	PNLO-B02000-001	ELEC	Panels	02	ELEC ROOM	215B OP	PNL N2-3 sec 3 of 3	5	5	3	1	5
381	PNLO-B02000-002	ELEC	Panels	02	ELEC ROOM	215B OP	PNL N2 sec 1 of 3	5	5	1	1	5
382	PNLO-B02000-003	ELEC	Panels	02	ELEC ROOM	215B OP	PNL N2 sec 2 of 3	5	5	3	1	5
383	PNLO-B02000-004	ELEC	Panels	02	COMM	228M	PNL S2 sec 1 of 3	5	5	3	1	5
384	PNLO-B02000-005	ELEC	Panels	02	COMM	228M OP	PNL S2 sec 2 of 3	5	5	3	1	5
385	PNLO-B02000-006	ELEC	Panels	02	COMM	228M OP	PNL S2-3 sec 3 of 3	5	5	3	1	5
386	PNLO-B03000-001	ELEC	Panels	03	COMM	333 OP	PNL N3 sec 1 of 3	5	5	3	1	5
387	PNLO-B03000-002	ELEC	Panels	03	COMM	333 OP	PNL N3 sec 2 of 3	5	5	3	1	5
388	PNLO-B03000-003	ELEC	Panels	03	COMM	333 OP	PNL N3 sec 3 of 3	5	5	3	1	5
389	PNLO-B03000-004	ELEC	Panels	03	COMM	332 OP	PNL S3 sec 1 of 2	5	5	3	1	5
390	PNLO-B03000-005	ELEC	Panels	03	COMM	332 OP	PNL S3 sec 2 of 2	5	5	3	1	5
391	PNLO-B03000-006	ELEC	Panels	03	COMM	309 OP	NO TAG - SERVER	5	5	1	1	3
392	PNLO-B03000-007	ELEC	Panels	03	COMM	309 OP	UPS OUTPUT PANEL	5	5	1	1	3
393	PNLO-BB1000-001	ELEC	Panels	B1	ELEC ROOM	ELEC SOUTH NOP	PNL D	5	5	3	1	5
394	PNLO-BB1000-002	ELEC	Panels	B1	ELEC ROOM	ELEC SOUTH NOP	PNL F	4	4		1	5
395	PNLO-BB1000-003	ELEC	Panels	B1	EQUIPMENT ROOM	B19 OP	PNL C	2	2	3	1	5
396	PNLO-BB1000-004	ELEC	Panels	B1	ELEC ROOM	ELEC SOUTH NOP	PNL SDP	5	5	3	1	5
397	PNLO-BB1000-005	ELEC	Panels	B1	ELEC ROOM	ELEC SOUTH NOP	PNL E	2	2	3	1	5
398	PNLO-BB1000-006	ELEC	Panels	B1	ELEC ROOM	ELEC SOUTH NOP	PNL G	3	3	3	1	5
399	PNLO-BB1000-007	ELEC	Panels	B1	ELEC ROOM	B23 OP	PNL BP	1	5	1	1	5
400	PNLO-BB1000-008	ELEC	Panels	B1	EQUIPMENT ROOM	B18 OP	PNL K	5	5	3	1	4
401	PNLO-BB1000-009	ELEC	Panels	B1	EQUIPMENT ROOM	B19 OP	PNL ELB	5	5	3	1	5
402	PNLO-BB1000-010	ELEC	Panels	B1	EQUIPMENT ROOM	B19 OP	LIGHTING PANEL	5	5	3	1	5
403	PNLO-BB1000-011	ELEC	Panels	B1	EQUIPMENT ROOM	B19 OP	PNL H	5	5	3	1	5
404	PNLO-BB1000-012	ELEC	Panels	B1	EQUIPMENT ROOM	B19 OP	PNL B	4	4	3	1	5
405	PNLO-BB1000-013	ELEC	Panels	B1	EQUIPMENT ROOM	B19 OP	PNL A	3	3	3	1	5
406	PNLO-BB1000-014	ELEC	Panels	B1	EQUIPMENT ROOM	B19 OP	PNL NDP1	5	5	3	1	1
407	PNLO-BB1000-015	ELEC	Panels	B1	ELEC ROOM	B23 OP	NDP	5	5	1	1	5
408	PNLO-BPH000-001	ELEC	Panels	PH	ELEVATOR - OTHER	405 OP	ELEVATOR CAB LIGHTS & FAN	5	4	3	1	5
409	PNLO-BPH000-002	ELEC	Panels	PH	EQUIPMENT ROOM	400B OP	PNL NDP-2	4				
410	RECO-B01000-001	ELEC	Receptacles	01		Not applicable	NORMAL & ISOLATED GROUND	5	5	3	3	5
411	RECO-B02000-001	ELEC	Receptacles	02		Not applicable	NORMAL & ISOLATED GROUND	5	5	3	2	5
412	RECO-B03000-001	ELEC	Receptacles	03		Not applicable	NORMAL & ISOLATED GROUND	5	5	3	2	5
413	RECO-BB1000-001	ELEC	Receptacles	B1		Not applicable		5	5	3	2	5
414	RECO-BPH000-001	ELEC	Receptacles	PH		Not applicable		5				
415	SWBD-BB1000-001	ELEC	Main Switchboards	B1	EQUIPMENT ROOM	B19 OP	Switch Board	5	5	3	1	5
416	SYSF-B01000-001	ELEC	Systems Furniture Connection	01		Not applicable		4	5	3	2	5
417	SYSF-B02000-001	ELEC	Systems Furniture Connection	02		Not applicable		4	5	3	2	5
418	SYSF-B03000-001	ELEC	Systems Furniture Connection	03		Not applicable		4	5	3	2	5
419	TDIS-BB1000-001	ELEC	Interior Distribution Transformers	B1	EQUIPMENT ROOM	B19 OP	Lighting panel transformer	5	5	3	1	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
420	TDIS-BPH000-001	ELEC	Interior Distribution Transformers	PH	ELEVATOR - OTHER	405 OP	ELEV 1	4				
421	TDIS-BPH000-002	ELEC	Interior Distribution Transformers	PH	ELEVATOR - OTHER	405 OP	ELEV 2	4				
422	TDIS-BPH000-003	ELEC	Interior Distribution Transformers	PH	ELEVATOR - OTHER	405 OP	ELEV 3	5	5	1	1	4
423	TDIS-BPH000-004	ELEC	Interior Distribution Transformers	PH	ELEVATOR - OTHER	405 OP	ELEV 4	5	5	3	1	4
424	TDIS-BPH000-005	ELEC	Interior Distribution Transformers	PH	ELEVATOR - OTHER	401 OP	ELEV 5	5	4	3	1	4
425	TDIS-BPH000-006	ELEC	Interior Distribution Transformers	PH	ELEVATOR - OTHER	409 OP	ELEV 6	4				
426	TSEC-BPH000-007	ELEC	Secondary Transformers	PH	EQUIPMENT ROOM	404 OP	Water heater control	4				
427	TSEC-BPH000-008	ELEC	Secondary Transformers	PH	EQUIPMENT ROOM	406 OP	Water heater control	4				
428	VFDO-BB1000-001	ELEC	VFDs	B1	EQUIPMENT ROOM	B19 OP	SCP-1	5	5	3	1	5
429	VFDO-BB1000-002	ELEC	VFDs	B1	EQUIPMENT ROOM	B19 OP	SCP-2	5	5	3	1	
430	VFDO-BB1000-003	ELEC	VFDs	B1	EQUIPMENT ROOM	B19 OP	SHP-1	5	5	3	1	5
431	VFDO-BB1000-004	ELEC	VFDs	B1	EQUIPMENT ROOM	B19 OP	SHP-2	5	5	3	1	5
432	VFDO-BB1000-005	ELEC	VFDs	B1	EQUIPMENT ROOM	B19 OP	AHU-3	5	5	3	1	5
433	VFDO-BB1000-006	ELEC	VFDs	B1	EQUIPMENT ROOM	B19 OP	RF3	5	5	1	1	5
434	VFDO-BB1000-007	ELEC	VFDs	B1	EQUIPMENT ROOM	B19 OP	AHU-6	5	5	3	1	4
435	VFDO-BPH000-001	ELEC	VFDs	PH	EQUIPMENT ROOM	400A OP	RF-1	5	5	3	1	4
436	VFDO-BPH000-002	ELEC	VFDs	PH	EQUIPMENT ROOM	400 OP	AHU-1	5	5	3	1	4
437	VFDO-BPH000-003	ELEC	VFDs	PH	EQUIPMENT ROOM	400 OP	COOLING TOWER SOUTH	5	5	3	1	5
438	VFDO-BPH000-004	ELEC	VFDs	PH	EQUIPMENT ROOM	400B OP	RF-2	4				
439	VFDO-BPH000-005	ELEC	VFDs	PH	EQUIPMENT ROOM	400B OP	AHU-2	5	5	3	1	5
440	VFDO-BPH000-006	ELEC	VFDs	PH	EQUIPMENT ROOM	400 OP	COOLING TOWER NORTH	5	5	3	1	5
441	SLTG-B00SNE-003	ELEC;LA	Exterior Lighting Fixtures and Controls	00		Not applicable	POLE MOUNTED RECTANGULAR FLOOD LTG IMG_4309	4	4	3	3	2
442	SLTG-B00SNE-004	ELEC;LA	Exterior Lighting Fixtures and Controls	00		Not applicable	INGRADE ROUND FLOOD LTG IMG_4294	4	4	3	3	2
443	SLTG-B00SNW-001	ELEC;LA	Exterior Lighting Fixtures and Controls	00		Not applicable	INGRADE ROUND FLOOD LTG IMG_4294	4	4	3	3	2
444	SLTG-B00SNW-003	ELEC;LA	Exterior Lighting Fixtures and Controls	00		Not applicable	POLE MOUNTED RECTANGULAR FLOOD LTG IMG_4309	4	4	3	3	2
445	SLTG-B00SNW-004	ELEC;LA	Exterior Lighting Fixtures and Controls	00		Not applicable	MEMORIAL ROUND POLE LTG IMG_4307					
446	SLTG-B00SSE-001	ELEC;LA	Exterior Lighting Fixtures and Controls	00		Not applicable	INGRADE ROUND FLOOD LTG IMG_4294	4	4	3	3	2
447	SLTG-B00SSW-002	ELEC;LA	Exterior Lighting Fixtures and Controls	00		Not applicable	INGRADE ROUND FLOOD LTG IMG_4294	4	4	3	3	2
448	SLTG-B00SSW-005	ELEC;LA	Exterior Lighting Fixtures and Controls	00		Not applicable	MEMORIAL ROUND POLE LTG IMG_4307					
449	AUXP-B01000-001	FA	Auxiliary Panels and Cabinets	01	OFFICE	116	MNS PANEL IN SECURITY OFFICE	5	5	2	2	3

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
450	AUXP-B01000-003	FA	Auxiliary Panels and Cabinets	01	OFFICE	116	LCD ANNUNCIATOR					
451	AUXP-B01000-002	FA	Auxiliary Panels and Cabinets	01	PUBLIC / COMMON SPACE	Lobby	GRAPHIC ANNUNCIATOR	5	5	2	3	3
452	AUXP-BB1000-002	FA	Auxiliary Panels and Cabinets	B1	OFFICE	20	Eng office					
453	AUXP-BB1000-003	FA	Auxiliary Panels and Cabinets	B1	OFFICE	20	Engineers office	5	5	2	2	3
454	AUXP-BB1000-004	FA	Auxiliary Panels and Cabinets	B1	OFFICE	20		5	5	2	2	3
455	AUXP-BB1000-005	FA	Auxiliary Panels and Cabinets	B1	OFFICE	20		5	5	2	2	3
456	AUXP-BB1000-006	FA	Auxiliary Panels and Cabinets	B1	OFFICE	20		5	5	2	2	3
457	AUXP-BB1000-001	FA	Auxiliary Panels and Cabinets	B1	OFFICE	20	Engineer office	5	5	2	2	3
458	FACU-BB1000-001	FA	Fire Alarm Systems	B1	OFFICE	20	Engineering office	5	5	2	2	3
459	FAS-B01000-001	FA	Fire Alarm Systems	01	PUBLIC / COMMON SPACE		Not applicable	5	5			
460	FAS-B02000-001	FA	Fire Alarm Systems	02	PUBLIC / COMMON SPACE		Not applicable	5	5			
461	FAS-B03000-001	FA	Fire Alarm Systems	03	PUBLIC / COMMON SPACE		Not applicable	5	5			
462	FAS-BB1000-001	FA	Fire Alarm Systems	B1	PUBLIC / COMMON SPACE		Not applicable	5	5			
463	FAS-BPH000-001	FA	Fire Alarm Systems	PH	PENTHOUSE		Not applicable	5	1			
464	AUXP-BB1000-007	FA	Auxiliary Panels and Cabinets	B1	OFFICE	020		5	5	2	2	3
465	BFPO-BB1000-001	FP	Back Flow Preventor - FP	B1	EQUIPMENT ROOM		Existing tag 00290	4	4	3	1	
466	FBFP-BB1000-001	FP	Back Flow Preventor - FP	B1	EQUIPMENT ROOM		UNKNOWN	5	5	3	1	5
467	DPS-BPH000-001	FP	Dry Pipe	PH	CORRIDOR		Not applicable	5	1			
468	FP-BB1000-001	FP	Fire Pump	B1	EQUIPMENT ROOM		UNKNOWN	2	2	2	1	2
469	FPC-BB1000-001	FP	Fire Pump Controller	B1	EQUIPMENT ROOM		UNKNOWN	5	2	3	1	2
470	FRDR-B01000-001	FP	Fire Doors	01	CONFERENCE ROOM	113	Conference room suite	5	1	2	3	3
471	FRDR-B01000-002	FP	Fire Doors	01	OPEN OFFICE	114		5	1	2	3	3
472	FRDR-B01000-003	FP	Fire Doors	01	OFFICE	111		5	1	2	3	3
473	FRDR-B01000-005	FP	Fire Doors	01	COURTROO	109		5	1	2	3	3
474	FRDR-B01000-006	FP	Fire Doors	01	CONFERENCE ROOM	112	File review room. Door to corridor.	5	1	2	3	3
475	FRDR-B01000-007	FP	Fire Doors	01	COURTROO	109		5	5	2	3	3
476	FRDR-B01000-008	FP	Fire Doors	01	OPEN OFFICE	110		5	1	2	3	3
477	FRDR-B01000-009	FP	Fire Doors	01	COURTROO	119		4	1	2	3	3
478	FRDR-B01000-010	FP	Fire Doors	01	OPEN OFFICE	110		5	1	2	3	3
479	FRDR-B01000-011	FP	Fire Doors	01	JANITOR CLOSET	Jan		4	1	2	3	3
480	FRDR-B01000-012	FP	Fire Doors	01	STORAGE ROOM	114	File storage					
481	FRDR-B01000-013	FP	Fire Doors	01	OPEN OFFICE	123		4	1	2	3	3
482	FRDR-B01000-014	FP	Fire Doors	01	RESTROOM	104	Women's restroom	5	1	2	3	3
483	FRDR-B01000-015	FP	Fire Doors	01	OFFICE	102		5	1	2	3	3
484	FRDR-B01000-017	FP	Fire Doors	01	OFFICE	116	Employees only adjacent to men's RR	4	1	2	3	3
485	FRDR-B01000-018	FP	Fire Doors	01	RESTROOM	Men's Room		4	1	2	3	3
486	FRDR-B01000-019	FP	Fire Doors	01	PUBLIC / COMMON SPACE	120	Small claims lobby	5	1	2	3	3

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
487	FRDR-B01000-020	FP	Fire Doors	01	PUBLIC / COMMON SPACE	122	File review room.	5	1	2	3	3
488	FRDR-B01000-022	FP	Fire Doors	01	OPEN OFFICE	Employee only south end		5	1	2	3	3
489	FRDR-B01000-023	FP	Fire Doors	01	COURTROOM M	119	SIDE DOOR TO COURTROOM 119					
490	FRDR-B01000-024	FP	Fire Doors	01	OFFICE	115	DOOR INTO COURT NAVIGATOR/COMM OUTREACH	5	5	2	3	3
491	FRDR-B01000-H04	FP	Fire Doors	01	STAIR - PUBLIC	2		1	1	1	3	3
492	FRDR-B01000-H16	FP	Fire Doors	01	STAIR - PUBLIC	7		1	1	1	3	3
493	FRDR-B01000-H21	FP	Fire Doors	01	STAIR - PUBLIC	1		1	1	2	3	3
494	FRDR-B02000-001	FP	Fire Doors	02	CONFERENCE ROOM	216		5	5	2	2	3
495	FRDR-B02000-002	FP	Fire Doors	02	OFFICE	214		4	1	2	2	3
496	FRDR-B02000-003	FP	Fire Doors	02	OFFICE	215		5	5	2	2	4
497	FRDR-B02000-005	FP	Fire Doors	02	PUBLIC / COMMON SPACE	Not applicable	Double doors from circ to social services	4	1	2	3	3
498	FRDR-B02000-006	FP	Fire Doors	02	OPEN OFFICE	208		5	1	2	3	3
499	FRDR-B02000-007	FP	Fire Doors	02	RESTROOM	Womens		5	1	2	3	3
500	FRDR-B02000-008	FP	Fire Doors	02	STORAGE ROOM	UNKNOWN RR	Adjacent to women's	5	5	2	3	3
501	FRDR-B02000-009	FP	Fire Doors	02	COURTROOM	CR53		4	1	2	3	3
502	FRDR-B02000-011	FP	Fire Doors	02	OPEN OFFICE	221		4	1	2	3	3
503	FRDR-B02000-012	FP	Fire Doors	02	RESTROOM	Men's Room	Inner door.	5	5	2	3	3
504	FRDR-B02000-013	FP	Fire Doors	02	OPEN OFFICE	223		4	1	2	3	3
505	FRDR-B02000-014	FP	Fire Doors	02	RESTROOM	Men's Room	S of lobby.	5	1	2	3	3
506	FRDR-B02000-015	FP	Fire Doors	02	HEARING ROOM	225		4	1	2	3	3
507	FRDR-B02000-016	FP	Fire Doors	02	COURTROOM	252		5	5	2	3	3
508	FRDR-B02000-017	FP	Fire Doors	02	PUBLIC / COMMON SPACE		S. End DOUBLE DOORS IN CORRIDOR	5	5	2	3	3
509	FRDR-B02000-018	FP	Fire Doors	02	JURY ROOM	224	Corridor to access courtroom, robing room, and jury room. Door between main corridor and access	4	1	2	3	3
510	FRDR-B02000-019	FP	Fire Doors	02	OFFICE	224	Robing room.	5	5	2	3	4
511	FRDR-B02000-020	FP	Fire Doors	02	STORAGE ROOM	Storage	S of lobby	5	5	2	3	4
512	FRDR-B02000-022	FP	Fire Doors	02	PUBLIC / COMMON SPACE	228						
513	FRDR-B02000-H04	FP	Fire Doors	02	STAIR - PUBLIC	2		1	1	1	2	3
514	FRDR-B02000-H10	FP	Fire Doors	02	STAIR - PUBLIC	7		1	1	1	3	3
515	FRDR-B02000-H21	FP	Fire Doors	02	STAIR - PUBLIC	1		1	1	2	2	3
516	FRDR-B03000-H01	FP	Fire Doors	03	STAIR - PUBLIC	2		1	1	1	2	3
517	FRDR-B03000-H02	FP	Fire Doors	03	STAIR - PUBLIC	7		1	1	1	3	3
518	FRDR-B03000-H03	FP	Fire Doors	03	STAIR - PUBLIC	1		1	1	1	2	3
519	FRDR-BB1000-002	FP	Fire Doors	B1	STAIR - OTHER			1	1	2	2	2
520	FRDR-BB1000-003	FP	Fire Doors	B1	PUBLIC / COMMON SPACE			4	1	2	2	3

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
521	FRDR-BB1000-004	FP	Fire Doors	B1	Mechanical			4	1	2	2	2
522	FRDR-BB1000-005	FP	Fire Doors	B1	TRAINING ROOM	SB100		4	1	2	2	3
523	FRDR-BB1000-H01	FP	Fire Doors	B1	STAIR - PUBLIC	1		1	1	2	2	3
524	FRDR-BB1000-H07	FP	Fire Doors	B1	STAIR - PUBLIC	2		1	1	2	2	3
525	FRDR-BPH000-001	FP	Fire Doors	PH	ELEVATOR - OTHER	6	Elevator machine room	1	1	1	1	3
526	FRDR-BPH000-002	FP	Fire Doors	PH	ELEVATOR - OTHER	44200	EMR	1	1	1	1	3
527	FRDR-BPH000-003	FP	Fire Doors	PH	STAIR - PUBLIC	1		1	1	1	1	3
528	FRDR-BPH000-004	FP	Fire Doors	PH	ELEVATOR - OTHER	5	EMR	1	1	1	1	3
529	JPC-BB1000-001	FP	Jockey Pump Controller	B1	EQUIPMENT ROOM			5	5	2	1	2
530	PFE-B01000-001	FP	Portable Fire Extinguishers	01	STAIR - PUBLIC	2		5	5	3	2	5
531	PFE-B01000-002	FP	Portable Fire Extinguishers	01	CORRIDOR	Not applicable	In cabinet	5	5	3	2	5
532	PFE-B01000-003	FP	Portable Fire Extinguishers	01	STAIR - PUBLIC	7		5	5	3	3	5
533	PFE-B01000-004	FP	Portable Fire Extinguishers	01	CORRIDOR	Not applicable	In cabinet	4	2	2	2	5
534	PFE-B01000-005	FP	Portable Fire Extinguishers	01	STAIR - PUBLIC	1		5	5	2	2	3
535	PFE-B02000-001	FP	Portable Fire Extinguishers	02	STAIR - PUBLIC	2		5	5	3	2	5
536	PFE-B02000-002	FP	Portable Fire Extinguishers	02	CORRIDOR	Not applicable	In cabinet	5	5	3	2	5
537	PFE-B02000-003	FP	Portable Fire Extinguishers	02	STAIR - PUBLIC	7	In cabinet	5	5			
538	PFE-B02000-004	FP	Portable Fire Extinguishers	02	CORRIDOR	Not applicable	In cabinet	5	5	3	2	5
539	PFE-B02000-005	FP	Portable Fire Extinguishers	02	STAIR - PUBLIC	1		5	5	3	2	5
540	PFE-B02000-006	FP	Portable Fire Extinguishers	02	Pantry	2280	In cabinet	5	5	3	2	5
541	PFE-B02000-007	FP	Portable Fire Extinguishers	02	OPEN OFFICE	228	Court of Appeals suite 228 per ARCH drawings. In cabinet.	5	5	3	2	5
542	PFE-B03000-001	FP	Portable Fire Extinguishers	03	STAIR - PUBLIC	2		5	5	2	2	3
543	PFE-B03000-002	FP	Portable Fire Extinguishers	03	CORRIDOR		ABC in cabinet	5	5	2	2	3
544	PFE-B03000-003	FP	Portable Fire Extinguishers	03	STAIR - PUBLIC	7	In cabinet	5	5	2	3	3
545	PFE-B03000-004	FP	Portable Fire Extinguishers	03	CORRIDOR		ABC in cabinet	5	5	2	2	3
546	PFE-B03000-005	FP	Portable Fire Extinguishers	03	STAIR - PUBLIC	1	ABC	5	5	2	2	3
547	PFE-B03000-006	FP	Portable Fire Extinguishers	03	STAIR - PUBLIC	1	Water extinguisher	1	1	1	2	3
548	PFE-B03000-007	FP	Portable Fire Extinguishers	03	COMM	3_17B	Water extinguisher	1	1	1	1	3
549	PFE-BB1000-001	FP	Portable Fire Extinguishers	B1	INTERLOCK	Temp holding	ABC RME	5	5	3	1	5
550	PFE-BB1000-002	FP	Portable Fire Extinguishers	B1	INTERLOCK	North cells	ABC RME	5	5	3	1	5
551	PFE-BB1000-003	FP	Portable Fire Extinguishers	B1	INTERLOCK	North cells	ABC RME	5	5	3	1	5
552	PFE-BB1000-004	FP	Portable Fire Extinguishers	B1	EQUIPMENT ROOM		CO2 throughout open area	5	5	1	1	5
553	PFE-BB1000-005	FP	Portable Fire Extinguishers	B1	EQUIPMENT ROOM		CO2 throughout open area	5	5	1	1	5
554	PFE-BB1000-006	FP	Portable Fire Extinguishers	B1	EQUIPMENT ROOM		CO throughout open area	5	5	3	1	5
555	PFE-BB1000-007	FP	Portable Fire Extinguishers	B1	EQUIPMENT ROOM		CO throughout open area	5	5	3	1	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
556	PFE-BB1000-008	FP	Portable Fire Extinguishers	B1	EQUIPMENT ROOM		CO2 in mechanical Room	5	5	3	1	5
557	PFE-BB1000-009	FP	Portable Fire Extinguishers	B1	EQUIPMENT ROOM		CO2 in mechanical Rooms	5	5	3	1	2
558	PFE-BB1000-010	FP	Portable Fire Extinguishers	B1	EQUIPMENT ROOM	B013	CO2	5	5	3	1	5
559	PFE-BB1000-011	FP	Portable Fire Extinguishers	B1	STAIR - PUBLIC	2	ABC RME	5	5	3	1	5
560	PFE-BB1000-012	FP	Portable Fire Extinguishers	B1	EQUIPMENT ROOM		ABC RME	5	5	3	1	5
561	PFE-BB1000-013	FP	Portable Fire Extinguishers	B1	EQUIPMENT ROOM		ABC RME	5	5	3	1	5
562	PFE-BB1000-014	FP	Portable Fire Extinguishers	B1	EQUIPMENT ROOM		ABC RME	5	5	3	1	5
563	PFE-BB1000-015	FP	Portable Fire Extinguishers	B1	EQUIPMENT ROOM		ABC RME	5	5	3	1	5
564	PFE-BB1000-016	FP	Portable Fire Extinguishers	B1	TRAINING ROOM	US Marshals Training	ABC RME	5	5	3	1	5
565	PFE-BB1000-017	FP	Portable Fire Extinguishers	B1	OPEN OFFICE	SB102	ABC RME	5	5	3	1	5
566	PFE-BB1000-018	FP	Portable Fire Extinguishers	B1	CORRIDOR		ABC outside Stair 1	5	5	3	1	5
567	PFE-BB1000-019	FP	Portable Fire Extinguishers	B1	PUBLIC / COMMON SPACE	Corridor	ABC right outside fitness centers	5	5	3	1	5
568	PFE-BPH000-001	FP	Portable Fire Extinguishers	PH	EQUIPMENT ROOM	EMR 6	ABC	5	5	2	1	3
569	PFE-BPH000-002	FP	Portable Fire Extinguishers	PH	CORRIDOR	Not applicable	CO2 extinguisher	5	5	1	1	3
570	PFE-BPH000-003	FP	Portable Fire Extinguishers	PH	CORRIDOR	Not applicable	CO2 extinguisher outside Cooling Tower	5	4	1	1	3
571	PFE-BPH000-004	FP	Portable Fire Extinguishers	PH	CORRIDOR	Not applicable	ABC outside north Cooling Tower	4	4	1	1	3
572	PFE-BPH000-005	FP	Portable Fire Extinguishers	PH	CORRIDOR	Not applicable	CO2 extinguisher outside EMR 1-4	5	5	2	1	3
573	PFE-BPH000-006	FP	Portable Fire Extinguishers	PH	EQUIPMENT ROOM	EMR1-4	CO2 extinguisher	5	5	2	1	3
574	PFE-BPH000-007	FP	Portable Fire Extinguishers	PH	CORRIDOR	Not applicable	CO2 extinguisher outside south Cooling Tower	5	5	2	1	3
575	PFE-BPH000-008	FP	Portable Fire Extinguishers	PH	CORRIDOR	Not applicable	ABC outside Stair 1	5	5	2	1	3
576	PFE-BPH000-009	FP	Portable Fire Extinguishers	PH	CORRIDOR	Not applicable	CO2 extinguisher outside Stair 1	5	5	2	1	3
577	PFE-BPH000-010	FP	Portable Fire Extinguishers	PH	EQUIPMENT ROOM	EMR 5	CO2 extinguisher	5	5	3	1	4
578	PMP-BB1000-001	FP	Pressure Maintenance Pump (Jockey Pump)	B1	EQUIPMENT ROOM		Photo folder link (file name is same as asset ID): https://smithgroup4.sharepoint.com/:f:/s/PRJ-13019-SmithGroup/EkpR7d9HJc1Gst6WjqzewjYB7B-QyDJyHe2bU9MvIjk_tg?e=j2sb9T	3	3	2	1	2
579	STPR-B01000-001	FP	Standpipe/Sprinkler Riser Equipment and Piping	01	STAIR - PUBLIC	7	Serves 1-3.					
580	STPR-BB1000-001	FP	Standpipe/Sprinkler Riser Equipment and Piping	B1	STAIR - PUBLIC	2	Serves B1-3. Extends to PH by EMR 6.					
581	STPR-BB1000-002	FP	Standpipe/Sprinkler Riser Equipment and Piping	B1	STAIR - PUBLIC	1	Serves B1-3. Extends to PH by Stair 1.					

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
582	WPS-B01000-001	FP	Wet Pipe	01	STAIR - PUBLIC	7	Photo folder link (file name is same as asset ID): https://smithgroup4.sharepoint.com/:f:/s/PRJ-13019-SmithGroup/EkpR7d9HJc1Gst6WjqzewJYB7B-QyDjyHe2bU9MvIjk_tg?e=j2sb9T	5	5	3	3	5
583	WPS-B02000-001	FP	Wet Pipe	02	STAIR - PUBLIC	7	Photo folder link (file name is same as asset ID): https://smithgroup4.sharepoint.com/:f:/s/PRJ-13019-SmithGroup/EkpR7d9HJc1Gst6WjqzewJYB7B-QyDjyHe2bU9MvIjk_tg?e=j2sb9T	5	5	3	3	5
584	WPS-B03000-001	FP	Wet Pipe	03	STAIR - PUBLIC	7	Photo folder link (file name is same as asset ID): https://smithgroup4.sharepoint.com/:f:/s/PRJ-13019-SmithGroup/EkpR7d9HJc1Gst6WjqzewJYB7B-QyDjyHe2bU9MvIjk_tg?e=j2sb9T	5	5	3	3	5
585	WPS-BB1000-001	FP	Wet Pipe	B1	STAIR - PUBLIC	2	Photo folder link (file name is same as asset ID): https://smithgroup4.sharepoint.com/:f:/s/PRJ-13019-SmithGroup/EkpR7d9HJc1Gst6WjqzewJYB7B-QyDjyHe2bU9MvIjk_tg?e=j2sb9T	5	5	3	1	4
586	FPWD-B00BSE-001	FP;CIVIL	Fire Protection Water Distribution	00								
587	FPWD-B00SNE-001	FP;CIVIL	Fire Protection Water Distribution	00			Bldg-mounted Siamese Stand Pipe. Brass. Cap eroded off.					
588	PFE-B02000-008	FP;FA	Portable Fire Extinguishers	02		205		5	5	2	2	3
589	ACT-B01000-002	INT	Acoustical Ceiling Tiles and Panels	01	OFFICE	115.01, 112	Office Suites at Corners of the Building, LAN/TEN Resources, LAN/TEN Service, Court Security, Vending, Mediation Room, File	4	3	3	2	5
590	ACT-B01000-003	INT	Acoustical Ceiling Tiles and Panels	01	COURTROOM	119, 109		5	5	3	3	5
591	GBCL-B01000-H01	INT	Acoustical Ceiling Tiles and Panels	01	CORRIDOR		At Elevator Lobby and Corridors. Gyp ceiling perimeter and bulkheads remain, spline ACT sytem was added in the center.	5	5	3	3	5
592	ACT-B02000-002	INT	Acoustical Ceiling Tiles and Panels	02	OPEN OFFICE		All Offices	4	5	3	2	5
593	ACT-B02000-003	INT	Acoustical Ceiling Tiles and Panels	02	CORRIDOR		Side Corridors + L-Shaped Corridor	4	5	3	3	5
594	ACT-B02000-004	INT	Acoustical Ceiling Tiles and Panels	02	RESTROOM		Men's + Women's	4	5	3	3	5
595	ACT-B02000-005	INT	Acoustical Ceiling Tiles and Panels	02	CORRIDOR	200B, 200E, 200D,		4	5	3	2	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
596	ACT-B02000-006	INT	Acoustical Ceiling Tiles and Panels	02	OFFICE	225, 210	Spline ceiling patched and painted	2	2	3	2	5
597	GBCL-B02000-H02	INT	Exposed Concrete Finishes	02	CORRIDOR		Main elev corridor. Gyp ceiling perimeter and bulkheads remain, spline ACT sytem was added in the center.	4	5	3	3	5
598	ACT-B03000-002	INT	Acoustical Ceiling Tiles and Panels	03	OFFICE		All Office + vest + restroom. Except main corridor and corridor past double doors	3	2	3	2	5
599	ACT-B03000-003	INT	Acoustical Ceiling Tiles and Panels	03	CORRIDOR		Corridors at each end of the building.	3	1	3	3	5
600	GBCL-B03000-H02	INT	Gypsum Wallboard Ceiling Finishes	03	CORRIDOR		Third floor main elevator corridor. Gyp ceiling perimeter and bulkheads remain, spline ACT sytem was added in the center.	3	1	3	3	5
601	ACT-BB1000-001	INT	Acoustical Ceiling Tiles and Panels	B1	CORRIDOR		Rooms leading towards Mechanical	2	2	3	2	5
602	ACT-BB1000-002	INT	Acoustical Ceiling Tiles and Panels	B1	RESTROOM		Men's Restroom, Fitness Center	4	3	3	1	5
603	ACT-BB1000-003	INT	Acoustical Ceiling Tiles and Panels	B1	STORAGE ROOM		Storage, vestibule, multipurpose, restroom, Engineer's office; Engineer's restroom, room adjacent to Engineer's	1	2	3	1	5
604	CLO-B02000-001	INT	Closets	02	CLOSET	228D	OFFICE CLOSET	4	5	3	2	5
605	CONC-BB1000-001	INT	Acoustical Ceiling Tiles and Panels	B1	Mechanical		Mechanical Room, Holding Cell Corridors, Storage Room at South East Corner of the Building	4	5	3	1	5
606	CPT-B01000-001	INT	Carpeting	01	OFFICE			4	3	3	3	5
607	CPT-B01000-002	INT	Carpeting	01	OFFICE			4	3	3	3	5
608	CPT-B02000-001	INT	Carpeting	02	OPEN OFFICE	119, 109, 52, 221	South Office Suite, Judge Area in	4	3	3	2	5
609	CPT-B02000-002	INT	Carpeting	02	OPEN OFFICE	53, 219D, 205C, 219F, 219G, 223, 215, 217, 217A, 214A,	Audience area in courtrooms	4	3	3	2	5
610	CPT-B02000-003	INT	Carpeting	02	OFFICE	53, 201B, 205A		4	5	3	2	5
611	CPT-B03000-001	INT	Carpeting	03	CORRIDOR	303, 304, 310, 317, 302	Gray Broadloom Carpet	4	2	3	2	5
612	CPT-B03000-002	INT	Carpeting	03	OFFICE			4	4	3	2	5
613	CPT-BB1000-001	INT	Carpeting	B1	CORRIDOR		L-Shaped Corridor, all the way to Mech, Storage, Vestibule, Multipurpose	3	3	3	1	5
614	CPT-BB1000-002	INT	Carpeting	B1	OFFICE	SB111		4	5	3	2	5
615	CSW-B01000-001	INT	Casework	01	SECURITY	100	RECEPTION - CUSTOM GUARD DESK	3	3	3	3	5
616	CSW-B01000-002	INT	Casework	01	COURTROO M	109 AND 119	COURT ROOM - CUSTOM JUDGE DESK	3	3	3	3	5
617	CSW-B01000-003	INT	Casework	01	COURTROO M	109 AND 119	COURT ROOM - FIXED LINEAR DESK	3	3	3	3	5
618	CSW-B01000-004	INT	Cabinets	01	Pantry	110.01, 123E	PANTRY COUNTER WITH BASE AND UPPER CABINETS	4	5	3	2	5
619	CSW-B01000-005	INT	Casework	01	OFFICE	110.12	PLAM CLERK STATION	3	3	3	2	5
620	CSW-B02000-001	INT	Casework	02	OFFICE	214	OFFICE BUILT-IN BOOKCASE WITH ADJUSTABLE SHELVES - WOOD	4	5	3	2	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
621	CSW-B02000-002	INT	Casework	02	COURTROOM M	52, 53	COURT ROOM - CUSTOM JUDGE DESK	3	3	3	3	5
622	CSW-B02000-003	INT	Casework	02	COURTROOM M	53	COURT ROOM - FIXED LINEAR DESK	3	3	3	3	5
623	CSW-B02000-004	INT	Casework	02	Pantry	219B	PANTRY COUNTER WITH BASE AND UPPER CABINETS	4	5	3	2	5
624	CSW-B02000-005	INT	Casework	02	Pantry	228O	PANTRY COUNTER WITH BASE AND UPPER CABINETS	3	2	3	2	4
625	CSW-B03000-001	INT	Casework	03	OFFICE	311, 314, 315	OFFICE BUILT-IN BOOKCASE WITH ADJUSTABLE SHELVES - WOOD	4	5	3	2	5
626	CSW-B03000-002	INT	Casework	03	OFFICE	315, 328, 330A	OFFICE BUILT-IN BOOKCASE WITH ADJUSTABLE SHELVES - WOOD	4	5	3	2	5
627	CSW-B03000-003	INT	Casework	03	OFFICE	311B, 314D, 326, 327, 328B	OFFICE BUILT-IN WITH FIXED SHELVES - WHITE	3	3	3	2	5
628	CSW-B03000-004	INT	Casework	03	PANTRY	312	PANTRY COUNTER WITH BASE AND UPPER CABINETS	3	2	3	2	4
629	CSW-BB1000-001	INT	Casework	B1	CORRIDOR	B33	CELL CORRIDOR - DESK	3	2	3	1	4
630	CSW-BB1000-002	INT	Casework	B1	TRAINING ROOM	SB101	TRAINING ROOM - DESK	2	2	2	2	4
631	CSW-BB1000-003	INT	Casework	B1	TRAINING ROOM	SB101	TRAINING ROOM - CREDENZA	3	2	3	2	4
632	CSW-BB1000-004	INT	Casework	B1	RESTROOM	B04, B05	LOCKERS ROOM - BENCH	3	2	3	2	5
633	CTR-B01000-001	INT	Counters	01	RESTROOM	106	TOILET ROOM - PLAM COUNTER	3	3	3	3	4
634	CTR-B01000-002	INT	Counters	01	TELLER	115B	TELLER - L SHAPE PLAM COUNTER	3	1	3	2	5
635	CTR-B01000-003	INT	Counters	01	OFFICE	110.115.120	PLAM COUNTER AT WINDOW	3	3	3	2	5
636	CTR-B01000-004	INT	Counters	01	OFFICE	110	PLAM SERVICE COUNTER	3	3	3	2	5
637	CTR-B01000-005	INT	Counters	01	OFFICE	110	SOLID SURFACE COUNTER	4	5	3	2	5
638	CTR-B01000-006	INT	Counters	01	WAITING	115A	SOLID SURFACE COUNTER	4	3	3	3	5
639	CTR-B02000-001	INT	Counters	02	OFFICE	210, 225, 221	OFFICE - SOLID SURFACE FIXED WORK	4	4	3	2	5
640	CTR-B02000-002	INT	Counters	02	OFFICE	204, 220	TOILET ROOM - PLAM COUNTER	3	3	3	3	4
641	CTR-B02000-003	INT	Counters	02	RESTROOM	228M, 228N	SINGLE BATHROOM - SOLID SURFACE COUNTER	4	5	3	2	5
642	CTR-B03000-001	INT	Counters	03	RESTROOM	304, 320	TOILET ROOM- PLAM COUNTER	3	3	3	3	4
643	CTR-BB1000-001	INT	Counters	B1	RESTROOM	B04, B05	LOCKERS ROOM - SOLID SURFACE COUNTER	4	5	3	2	5
644	CTR-BB1000-002	INT	Counters	B1	RESTROOM	B04	MEN'S LOCKER - SOLID SURFACE COUNTER WITH TWO SINKS	3	3	3	2	4
645	CTR-BB1000-003	INT	Counters	B1	RESTROOM	B05	WOMEN'S LOCKERS - SOLID SURFACE COUNTER WITH ONE SINK	3	3	3	2	4
646	DLDR-BB1000-001	INT	Sliding and Folding Doors	B1	Mechanical Room			3	2	3	1	2
647	DRHD-B01000-001	INT	Interior Door Hardware	01				4	1	3	2	3
648	DRHD-B01000-002	INT	Interior Door Hardware	01				4	1	3	2	3
649	DRHD-B01000-003	INT	Interior Door Hardware	01				5	5	3	2	3
650	DRHD-B01000-004	INT	Interior Door Hardware	01				5	5	3	2	3
651	DRHD-B02000-001	INT	Interior Door Hardware	02				4	1	3	2	3
652	DRHD-B02000-002	INT	Interior Door Hardware	02				4	1	3	2	3
653	DRHD-B02000-003	INT	Interior Door Hardware	02				4	2	3	2	3

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
654	DRHD-B03000-001	INT	Interior Door Hardware	03				4	1	3	2	3
655	DRHD-B03000-002	INT	Interior Door Hardware	03				4	1	3	2	3
656	DRHD-B03000-003	INT	Interior Door Hardware	03				5	5	3	2	3
657	DRHD-BB1000-001	INT	Interior Door Hardware	B1				4	1	3	1	3
658	DRHD-BB1000-002	INT	Interior Door Hardware	B1	ENTIRE FLOOR			4	2	3	2	3
659	FPRT-B01000-001	INT	Fixed Partitions	01	FLOOR	Not applicable		3	2	3	2	3
660	FPRT-B01000-002	INT	Fixed Partitions	01	COURTROO	119		3	2	3	2	3
661	FPRT-B01000-003	INT	Fixed Partitions	01	COURTROO	109		3	2	3	2	3
662	FPRT-B02000-001	INT	Fixed Partitions	02	FLOOR	Not applicable		3	2	3	2	3
663	FPRT-B02000-002	INT	Fixed Partitions	02	COURTROO	201		3	2	3	1	3
664	FPRT-B02000-003	INT	Fixed Partitions	02	CONFERENCE ROOM	221		3	2	3	2	3
665	FPRT-B02000-004	INT	Fixed Partitions	02	CONFERENCE ROOM	210		3	2	3	2	3
666	FPRT-B03000-001	INT	Fixed Partitions	03	ENTIRE FLOOR	Not applicable		4	2	3	2	3
667	FPRT-BB1000-001	INT	Fixed Partitions	B1	FLOOR			3	2	3	1	3
668	FRP-BB1000-001	INT	Other Wall Finishes	B1	OFFICE	SB101	North and South walls of the office, Men's Restroom	4	3	3	2	5
669	FS00-B01000-001	INT	Seating (Fixed)	01	COURTROO M	109, 119	COURT ROOM - 9 FT BENCH	3	3	3	3	5
670	FS00-B01000-002	INT	Seating (Fixed)	01	COURTROO M	109, 119	COURTROOM - 4 FT BENCH	3	3	3	3	5
671	FS00-B02000-001	INT	Seating (Fixed)	02	COURTROO M	52, 53	COURT ROOM - 9 FT BENCH	3	3	3	3	5
672	FS00-B02000-002	INT	Seating (Fixed)	02	COURTROO M	52, 53	COURTROOM - 4 FT BENCH	3	3	3	3	5
673	GBCL-B02000-001	INT	Acoustical Ceiling Tiles and Panels	02	RESTROOM		Men's + womens, janitor closet, Stair	3	4	3	3	5
674	GBCL-B03000-001	INT	Gypsum Wallboard Ceiling Finishes	03	RESTROOM		Public men's and womens at sink area, Janitor closet, Public Stair	4	5	3	3	5
675	GBCL-BB1000-001	INT	Gypsum Wallboard Ceiling Finishes	B1	CORRIDOR		L shaped corridor ending with Elev. lobby, Women's locker room, Men's locker room, Janitor Closets (East + West), Stairs	3	3	3	1	5
676	GBF-B01000-001	INT	Gypsum Wallboard Finishes	01	OFFICE			3	2	3	2	3
677	GBF-B0200-001	INT	Gypsum Wallboard Finishes	02	ALL, UON			3	4	3	2	5
678	GBF-B03000-001	INT	Gypsum Wallboard Finishes	03	ALL, UON			3	2	3	2	3
679	GBF-BB1000-001	INT	Gypsum Wallboard Finishes	B1	RESTROOM		Men's Locker Room, Women's Locker Room, Stair, Offices SB109, SB111, SB112, SB101	3	2	3	2	3
680	GLDR-B01000-H01	INT	Glazed Doors	01				4	1	3	3	5
681	IDD-B01000-001	INT	Identifying Devices	01	ENTIRE FLOOR	ENITRE FLOOR	FLOOR NUMBER IDENTIFICATION AND ROOM NAME AND NUMBER PLATES	4	4	3	3	5
682	IDD-B01000-002	INT	Identifying Devices	01	SECURITY	100	ENTRANCE MAIN DIRECTORY	5	5	3	3	5
683	IDD-B02000-001	INT	Identifying Devices	02	ENTIRE FLOOR	ENTIRE FLOOR	FLOOR NUMBER IDENTIFICATION AND ROOM NAME AND NUMBER PLATES	4	4	3	3	5
684	IDD-B03000-001	INT	Identifying Devices	03	ENTIRE FLOOR	ENTIRE FLOOR	FLOOR NUMBER IDENTIFICATION AND ROOM NAME AND NUMBER PLATES	4	4	3	3	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
685	IDD-BB1000-001	INT	Identifying Devices	B1	ENTIRE FLOOR	Not applicable	FLOOR NUMBER IDENTIFICATION AND ROOM NAME AND NUMBER PLATES	2	2	3	2	5
686	INDR-B01000-001	INT	Standard Interior Doors	01				3	3	3	2	3
687	INDR-B01000-006	INT	Standard Interior Doors	01				4	2	3	2	3
688	INDR-B01000-H02	INT	Standard Interior Doors	01				3	2	3	2	3
689	INDR-B01000-H03	INT	Standard Interior Doors	01				4	2	3	2	3
690	INDR-B01000-H04	INT	Standard Interior Doors	01				4	2	3	3	3
691	INDR-B01000-H05	INT	Standard Interior Doors	01				4	5	3	2	4
692	INDR-B02000-001	INT	Standard Interior Doors	02				3	2	3	2	3
693	INDR-B02000-004	INT	Standard Interior Doors	02				4	5	3	3	3
694	INDR-B02000-H02	INT	Standard Interior Doors	02				4	5	2	2	3
695	INDR-B02000-H03	INT	Standard Interior Doors	02	ENTIRE FLOOR			3	5	3	3	3
696	INDR-B02000-H04	INT	Standard Interior Doors	02				3	2	3	2	3
697	INDR-B03000-001	INT	Standard Interior Doors	03				3	2	3	2	3
698	INDR-B03000-003	INT	Standard Interior Doors	03	ENTIRE FLOOR			3	2	3	2	3
699	INDR-B03000-H02	INT	Standard Interior Doors	03				3	2	3	2	3
700	INDR-B03000-H04	INT	Standard Interior Doors	03				4	2	3	2	3
701	INDR-BB1000-001	INT	Standard Interior Doors	B1	ENTIRE FLOOR	Not applicable		2	2	3	1	3
702	INDR-BB1000-002	INT	Standard Interior Doors	B1				2	2	3	1	3
703	INGT-B01000-001	INT	Interior Gates	01		109, 119, 201, 225,	(2) gates missing	2	5	3	2	3
704	INGT-B02000-001	INT	Interior Gates	02		221	(3) gates missing	2	5	2	2	3
705	INGT-B02000-002	INT	Interior Gates	02		208	gate at open office	4	5	3	2	3
706	INTS-B01000-001	INT	Other Interior Specialties	01	MEDITATION	123	SURFACE MOUNTED STEEL VAULTZ	4	5	3	2	5
707	INTS-B01000-002	INT	Other Interior Specialties	01	SECURITY	100	SURFACE WALL MOUNTED US MAIL LETTER BOX	3	3	3	3	5
708	INTS-B01000-003	INT	Other Interior Specialties	01	SECURITY	100	RECEPTION - HEALTH EMERGENCY DEVICES	4	5	3	3	5
709	INTS-BB1000-001	INT	Other Interior Specialties	B1	SECURE VESTIBULE	SB100	BASEMENT JUDICIAL SECURITY BRANCH - MAIL BOX	3	3	3	2	5
710	INTS-BB1000-002	INT	Other Interior Specialties	B1	CELL	B29, B37	CELL - BENCH	3	3	3	1	4
711	INWD-B01000-001	INT	Interior Windows	01	LAN/TEN Resource	115	Transaction window	4	2	3	2	3
712	INWD-B01000-002	INT	Interior Windows	01	Small Claims Clerk Office	120	ADA Transaction window	5	5	3	2	3
713	INWD-B01000-003	INT	Interior Windows	01	Small Claims Clerks Office	120	Transaction windows	5	5	3	2	3
714	INWD-B01000-004	INT	Other Wall Finishes	01	Office	111	Office window	5	5	3	2	3
715	INWD-B01000-005	INT	Partitions	01	Conference Room	112	Celerestory Windows	5	5	3	2	5
716	INWD-B01ELN-002	INT	Interior Windows	01	Mediation	123G	One-way window	5	5	3	2	4
717	ISTW-B00000-001	INT	Interior Stair Construction	00	STAIR - PUBLIC	STAIR 3	STAIR SYSTEM FROM BASEMENT THRU 3RD FLOOR	4	1	2	3	5
718	ISTW-B00000-002	INT	Interior Stair Construction	00	STAIR - PUBLIC	STAIR 4	STAIR SYSTEM FROM BASEMENT THRU ATTIC FLOOR	4	1	2	3	5
719	ISTW-B00000-003	INT	Interior Stair Construction	00	STAIR - PUBLIC	STAIR 5	STAIR SYSTEM FROM GROUND FLOOR THRU 3RD FLOOR	4	1	2	3	5
720	ISTW-B00000-004	INT	Interior Stair Construction	00	COURTROOM	Not applicable	3 RISER CARPETED STAIR WITH NO	4	5	3	3	5
721	ISTW-B04000-001	INT	Interior Stair Construction	04	ATTIC	400	7 RISER STEEL FRAME STAIR	3	3	3	1	4
722	ISTW-BB1000-001	INT	Interior Stair Construction	B1	STAIR - PUBLIC	SB100	JUDICIAL TRAINING 8 RISER VINYL STAIR	4	1	2	2	5
723	LCKR-BB1000-001	INT	Lockers	B1	RESTROOM	B04, B05	MEN'S + WOMEN'S LOCKERS	3	3	3	2	5
724	LCKR-BB1000-002	INT	Lockers	B1	TRAININGROOM	SB101	TRAINING ROOM - LOCKERS	4	5	3	2	5
725	LCKR-BB1000-003	INT	Lockers	B1	TRAININGROOM	SB101	TRAINING ROOM - LOCKERS	4	5	3	2	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
726	MTCL-B00000-001	INT	Other Ceiling and Ceiling Finishes	ELEVATOR	ELEVATOR - PUBLIC		44202	5	5	3	3	5
727	MTCL-BB1000-001	INT	Other Ceiling and Ceiling Finishes	B1	HOLDING CELL		Cells only	3	5		1	5
728	MTWF-BB1000-001	INT	Other Wall Finishes	B1	CORRIDOR			4	4	3	1	5
729	PLCL-B01000-H01	INT	Plaster Ceiling Finishes	01	VESTIBULE		North, South, West, East vestibules vaulted ceilings	4	3	3	3	5
730	PTFL-BB1000-001	INT	Other Flooring and Floor Finishes	B1	CORRIDOR		Corridor, South holding cells, Storage Room at SE corner	4	3	3	1	4
731	PTWF-B03000-001	INT	Painting to Walls	03	OPEN OFFICE		Interior Coating at Open Office 301	4	5	3	2	5
732	PTWF-BB1000-001	INT	Painting to Walls	B1	Mechanical		All, except mirrored areas in fitness, Tiled Restrooms, Tiled Locker Rooms, Tiled Janitor Closet, Corridors with Metal panel, Corridors and Rooms with wood paneling	3	4	3	1	5
733	RSFF-B01000-001	INT	Resilient Floor Finishes	01			NW - Copy, Break room, SE -Mediation, Vestibule, SW - File Room, Copy	2	1	3	2	5
734	RSFF-B02000-001	INT	Resilient Floor Finishes	02		228, 217C	South - Copy, Break Room, North - Lunch Room, North Private Restroom	4	5	3	2	5
735	RSFF-B0300-001	INT	Resilient Floor Finishes	03			Vestibules to private restrooms, Break Room, Office	4	5	3	2	5
736	RSFF-BB1000-001	INT	Resilient Floor Finishes	B1	FITNESS		Fitness Rooms on Basement Level + Fitness SB112	4	4	3	2	5
737	SHLV-B01000-001	INT	Shelving	01	JANITORS CLOSET		JANITOR'S CLOSET - SHELF	2	2	3	1	4
738	SHLV-B02000-001	INT	Shelving	02	JANITOR	229	JANITOR'S CLOSET - SHELF	2	2	3	1	4
739	SHLV-B02000-002	INT	Shelving	02	FILES	214C	ADJUSTABLE WOOD SHLEVING	4	4	3	2	5
740	SHLV-B03000-001	INT	Shelving	03	JANITOR CLOSET	329B	JANITOR'S CLOSET SHELF	2	2	3	1	4
741	SHLV-BB1000-001	INT	Shelving	B1	JANITOR CLOSET	B01, B22	JANITOR'S CLOSET - SHELF	2	2	3	1	4
742	SPDR-BB1000-001	INT	Other Interior Specialty Doors	B1	VESTIBULE			3	3	3	1	2
743	SPDR-BB1000-002	INT	Other Interior Specialty Doors	B1	Prisoner Holding			2	2	3	1	2
744	STFL-B01000-H01	INT	Masonry and Stone Flooring	01	VESTIBULE		North, South, East Vestibules	5	5	3	3	5
745	STWF-B01000-H01	INT	Other Wall Finishes	01	ELEVATOR LOBBY		Elevator Lobby, 115.01, Vending	4	5	3	3	5
746	STWF-B01000-H02	INT	Other Wall Finishes	01	CORRIDOR		Side Corridors, LAN/TEN Resource, LAN/TEN Services	4	5	3	3	5
747	STWF-B01000-H03	INT	Other Wall Finishes	01	VESTIBULE		North, South, East,	4	5	3	3	5
748	STWF-B02000-H01	INT	Other Wall Finishes	02	CORRIDOR		Main elev corridor	3	2	3	3	5
749	STWF-B02000-H02	INT	Other Wall Finishes	02	CORRIDOR		Main corridor	3	2	3	3	5
750	STWF-B03000-H03	INT	Other Wall Finishes	03	CORRIDOR		Main elev corridor	4	5	3	3	5
751	STWF-B03000-H04	INT	Other Wall Finishes	03	CORRIDOR		Ends of Main elev corridor	4	3	3	3	4
752	TA-B01000-001	INT	Toilet and Bath Accessories	01	RESTROOM	ENTIRE FLOOR	WELDED FRAME MIRROR 18" x 36"	4	5	3	3	5
753	TA-B01000-002	INT	Toilet and Bath Accessories	01	RESTROOM	118	TOP AND BOTTOM FRAME MIRROR 52" X 36"	2	2	2	3	4
754	TA-B01000-003	INT	Toilet and Bath Accessories	01	RESTROOM	106	MIRROR ABOVE SINK COUNTER	4	5	3	3	5

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755	TA-B01000-004	INT	Toilet and Bath Accessories	01	RESTROOM	ENTIRE FLOOR	SURFACE MOUNTED PAPER TOWEL DISPENSER	4	5	3	3	5
756	TA-B01000-005	INT	Toilet and Bath Accessories	01	RESTROOM	106, 118	SURFACE MOUNTED PAPER TOWEL DISPENSER WITH WASTE RECEPTACLE	4	5	3	3	5
757	TA-B01000-006	INT	Toilet and Bath Accessories	01	RESTROOM	106, 118	BABY CHANGING STATION	3	3	3	3	4
758	TA-B01000-007	INT	Toilet and Bath Accessories	01	RESTROOM	106	COUNTER MOUNTED SOAP DISPENSER	4	5			
759	TA-B01000-008	INT	Toilet and Bath Accessories	01	RESTROOM	ENTIRE FLOOR	SURFACE MOUNTED HORIZONTAL SOAP DISPENSER	3	3	3	3	4
760	TA-B01000-009	INT	Toilet and Bath Accessories	01	RESTROOM	106, 118	SURFACE MOUNTED TOUCH FREE SOAP DISPENSER	4	5	3	3	5
761	TA-B01000-010	INT	Toilet and Bath Accessories	01	RESTROOM	ENTIRE FLOOR	SURFACE MOUNTED SEAT COVER DISPENSER	4	5	3	3	5
762	TA-B01000-011	INT	Toilet and Bath Accessories	01	RESTROOM	106, 118	RECESSED MOUNTED SEAT COVER DISPENSER	4	5	3	3	5
763	TA-B01000-012	INT	Toilet and Bath Accessories	01	RESTROOM	106, 118	SURFACE MOUNTED TOILET TISSUE DISPENSER WITH UTILITY SHELF	4	5	3	3	5
764	TA-B01000-013	INT	Toilet and Bath Accessories	01	RESTROOM	118	SURFACE MOUNTED TOILET TISSUE DISPENSER WITH HOODS	2	2	3	3	4
765	TA-B01000-014	INT	Toilet and Bath Accessories	01	RESTROOM	ENTIRE FLOOR	SURFACE MOUNTED SINGLE TOILET TISSUE DISPENSER	4	5	3	3	5
766	TA-B01000-015	INT	Toilet and Bath Accessories	01	RESTROOM	118	42" AND 36" GRAB BAR	4	5	3	3	5
767	TA-B01000-016	INT	Toilet and Bath Accessories	01	RESTROOM	106	L SHAPE GRAB BAR	4	5	3	3	5
768	TA-B01000-017	INT	Toilet and Bath Accessories	01	RESTROOM	106	SURFACE MOUNTED NAPKIN AND TAMPON DISPENSER	4	5	3	3	5
769	TA-B01000-018	INT	Toilet and Bath Accessories	01	RESTROOM	106	RECESSED MOUNTED TOILET DISPENSER AND NAPKIN DISPOSAL	4	5	3	3	5
770	TA-B01000-019	INT	Toilet and Bath Accessories	01	RESTROOM	106	SURFACE MOUNTED TOILET DISPENSER AND NAPKIN DISPOSAL	4	5	3	3	5
771	TA-B01000-020	INT	Toilet and Bath Accessories	01	RESTROOM	106	PARTIITON MOUNTED COMBINATION OF TOILET PAPER AND SEAT COVER DISPENSER WITH NAPKIN DISPOSAL	4	5	3	3	5
772	TA-B01000-021	INT	Toilet and Bath Accessories	01	RESTROOM	106	RECESSED MOUNTED COMBINATION OF TOILET PAPER AND SEAT COVER DISPENSER WITH NAPKIN DISPOSAL	4	5	3	3	5
773	TA-B01000-022	INT	Toilet and Bath Accessories	01	Pantry	123E	PANTRY PAPER TOWEL DISPENSER	4	5	3	3	5
774	TA-B02000-001	INT	Toilet and Bath Accessories	02	RESTROOM	214C, 219C	SHOWER SOAP DISH AND BAR	3	3	3	3	4
775	TA-B02000-002	INT	Toilet and Bath Accessories	02	RESTROOM	228M, 228N	FRAMELESS MIRROR 18" X 36"	4	5	3	3	5
776	TA-B02000-003	INT	Toilet and Bath Accessories	02	RESTROOM	ENTIRE FLOOR	WELDED FRAME MIRROR VARIOUS	4	5	3	3	5
777	TA-B02000-004	INT	Toilet and Bath Accessories	02	RESTROOM	204, 220, 224	WELDED FRAME MIRROR ABOVE RESTROOM COUNTER	4	5	3	3	5
778	TA-B02000-005	INT	Toilet and Bath Accessories	02	RESTROOM	ENTIRE FLOOR	SURFACE MOUNTED PAPER TOWEL DISPENSER	4	5	3	3	5

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779	TA-B02000-006	INT	Toilet and Bath Accessories	02	RESTROOM	204	SURFACE MOUNTED PAPER TOWEL DISPENSER WITH WASTE RECEPTACLE	4	5	3	3	5
780	TA-B02000-007	INT	Toilet and Bath Accessories	02	RESTROOM	220, 224	SEMI-RECESSED MOUNTED PAPER TOWEL DISPENSER WITH WASTE	4	5	3	3	5
781	TA-B02000-008	INT	Toilet and Bath Accessories	02	RESTROOM	228M, 228N	RECESSED LOW CAPACITY PAPER TOWEL DISPENSER WITH WASTE	4	5	3	3	5
782	TA-B02000-009	INT	Toilet and Bath Accessories	02	RESTROOM	204	BABY CHANGING STATION	3	3	3	3	4
783	TA-B02000-010	INT	Toilet and Bath Accessories	02	RESTROOM	204, 220, 228M, 228N	COUNTER MOUNTED SOAP DISPENSER	4	5	3	3	5
784	TA-B02000-011	INT	Toilet and Bath Accessories	02	RESTROOM	ENITRE FLOOR	SURFACE MOUNTED HORIZONTAL SOAP DISPENSER	3	3	3	3	4
785	TA-B02000-012	INT	Toilet and Bath Accessories	02	RESTROOM	204, 220	SURFACE MOUNTED TOUCH FREE SOAP DISPENSER	4	5	3	3	5
786	TA-B02000-013	INT	Toilet and Bath Accessories	02	RESTROOM	ENTIRE FLOOR	SURFACE MOUNTED SEAT COVER DISPENSER	4	5	3	3	5
787	TA-B02000-014	INT	Toilet and Bath Accessories	02	RESTROOM	228M, 228N	RECESSED MOUNTED SEAT COVER DISPENSER	4	5	3	3	5
788	TA-B02000-015	INT	Toilet and Bath Accessories	02	RESTROOM	ENTIRE FLOOR	SURFACE MOUNTED TOILET TISSUE DISPENSER WITH UTILITY SHELF	3	2	3	3	4
789	TA-B02000-016	INT	Toilet and Bath Accessories	02	RESTROOM	220	SURFACE MOUNTED TOILET TISSUE DISPENSER WITH HOODS	3	2	3	3	4
790	TA-B02000-017	INT	Toilet and Bath Accessories	02	RESTROOM	220	RECESSED MOUNTED TOILET TISSUE DISPENSER	4	5	3	3	5
791	TA-B02000-018	INT	Toilet and Bath Accessories	02	RESTROOM	204, 220, 224, 228M, 228N	42" GRAB BAR	4	5	3	3	5
792	TA-B02000-019	INT	Toilet and Bath Accessories	02	RESTROOM	204, 220, 224, 228M, 228N	36" GRAB BAR	4	5	3	3	5
793	TA-B02000-020	INT	Toilet and Bath Accessories	02	RESTROOM	228M, 228N	18" GRAB BAR	4	5	3	3	5
794	TA-B02000-021	INT	Toilet and Bath Accessories	02	RESTROOM	204	RECESSED MOUNTED NAPKIN AND TAMPON DISPENSER	4	5	3	3	5
795	TA-B02000-022	INT	Toilet and Bath Accessories	02	RESTROOM	228M, 228N	RECESSED MOUNTED TOILET DISPENSER AND NAPKIN DISPOSAL	4	5	3	3	5
796	TA-B02000-023	INT	Toilet and Bath Accessories	02	RESTROOM	204	SURFACE MOUNTED TOILET DISPENSER AND NAPKIN DISPOSAL	4	5	3	3	5
797	TA-B02000-024	INT	Toilet and Bath Accessories	02	RESTROOM	204	PARTITION MOUNTED COMBINATION OF TOILET PAPER AND SEAT COVER DISPENSER WITH NAPKIN DISPOSAL	4	5	3	3	5
798	TA-B02000-025	INT	Toilet and Bath Accessories	02	RESTROOM	204, 224	RECESSED MOUNTED COMBINATION OF TOILET PAPER AND SEAT COVER DISPENSER WITH NAPKIN DISPOSAL	4	5	3	3	5
799	TA-B03000-001	INT	Toilet and Bath Accessories	03	RESTROOM	ENTIRE FLOOR	SHOWER SOAP DISH AND BAR	3	3	3	3	4
800	TA-B03000-002	INT	Toilet and Bath Accessories	03	RESTROOM	ENTIRE FLOOR	WELDED FRAME MIRROR VARIOUS SIZES	4	5	3	3	5

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801	TA-B03000-003	INT	Toilet and Bath Accessories	03	RESTROOM	304, 320	FRAMELESS MIRROR ABOVE RESTROOM COUNTER	4	5	3	3	5
802	TA-B03000-004	INT	Toilet and Bath Accessories	03	RESTROOM	ENTIRE FLOOR	SURFACE MOUNTED PAPER TOWEL DISPENSER	4	5	2	3	5
803	TA-B03000-005	INT	Toilet and Bath Accessories	03	RESTROOM	304, 320	SURFACE MOUNTED PAPER TOWEL DISPENSER WITH WASTE RECEPTACLE	4	5	3	3	5
804	TA-B03000-006	INT	Toilet and Bath Accessories	03	RESTROOM	304, 320	SURFACE MOUNTED BABY CHANGING STATION	3	3	3	3	4
805	TA-B03000-007	INT	Toilet and Bath Accessories	03	RESTROOM	304, 320	COUNTER MOUNTED SOAP DISPENSER	3	2	3	3	4
806	TA-B03000-008	INT	Toilet and Bath Accessories	03	RESTROOM	320	SURFACE MOUNTED HORIZONTAL SOAP DISPENSER	4	5	3	3	5
807	TA-B03000-009	INT	Toilet and Bath Accessories	03	RESTROOM	ENTIRE FLOOR	SURFACE MOUNTED HORIZONTAL SOAP DISPENSER	3	3	3	3	4
808	TA-B03000-010	INT	Toilet and Bath Accessories	03	RESTROOM	304, 320	SURFACE MOUNTED TOUCH FREE SOAP DISPENSER	4	5	3	3	5
809	TA-B03000-011	INT	Toilet and Bath Accessories	03	RESTROOM	ENTIRE FLOOR	SURFACE MOUNTED SEAT COVER DISPENSER	4	5	3	3	5
810	TA-B03000-012	INT	Toilet and Bath Accessories	03	RESTROOM	304, 320	RECESSED MOUNTED SEAT COVER DISPENSER	4	5	3	3	5
811	TA-B03000-013	INT	Toilet and Bath Accessories	03	RESTROOM	ENTIRE FLOOR	TOILET TISSUE DISPENSER WITH UTILITY SHELF	4	5	3	3	5
812	TA-B03000-014	INT	Toilet and Bath Accessories	03	RESTROOM	304, 320	42" GRAB BAR	4	5	3	3	5
813	TA-B03000-015	INT	Toilet and Bath Accessories	03	RESTROOM	320	36" GRAB BAR	4	5	3	3	5
814	TA-B03000-016	INT	Toilet and Bath Accessories	03	RESTROOM	304	30" GRAB BAR	4	2	3	3	5
815	TA-B03000-017	INT	Toilet and Bath Accessories	03	RESTROOM	304	RECESSED MOUNTED NAPKIN AND TAMPON DISPENSER	4	5	3	3	5
816	TA-B03000-018	INT	Toilet and Bath Accessories	03	RESTROOM	304	SURFACE MOUNTED COMBINATION OF TOILET PAPER DISPENSER AND NAPKIN DISPOSAL	4	5	3	3	5
817	TA-B03000-019	INT	Toilet and Bath Accessories	03	RESTROOM	304	PARTIITON MOUNTED COMBINATION OF TOILET PAPER AND SEAT COVER DISPENSER WITH NAPKIN DISPOSAL	4	5	3	3	5
818	TA-B03000-020	INT	Toilet and Bath Accessories	03	RESTROOM	304	RECESSED MOUNTED COMBINATION OF TOILET PAPER AND SEAT COVER DISPENSER WITH NAPKIN DISPOSAL	4	5	3	3	5
819	TA-BB1000-001	INT	Toilet and Bath Accessories	B1	RESTROOM	B04, B05	LOCKERS ROOM - ROLL IN SHOWERS	3	1	3	2	4
820	TA-BB1000-002	INT	Toilet and Bath Accessories	B1	RESTROOM	B04	MEN'S LOCKERS ROOM - REGULAR SHOWERS	3	2	3	2	4
821	TA-BB1000-003	INT	Toilet and Bath Accessories	B1	RESTROOM	B04	MEN'S LOCKERS - ADA TOILET COMPARTMENT	3	1	3	2	4
822	TA-BB1000-004	INT	Toilet and Bath Accessories	B1	RESTROOM	B04	MEN'S LOCKERS - SINKS ACCESSORIES SET	4	5	3	2	5
823	TA-BB1000-005	INT	Toilet and Bath Accessories	B1	RESTROOM	B05	WOMEN'S LOCKERS - ADA TOILET COMPARTMENT	3	1	3	2	4
824	TA-BB1000-006	INT	Toilet and Bath Accessories	B1	RESTROOM	B05	WOMEN'S LOCKERS - TOILET COMPARTMENT	4	5	3	2	5
825	TA-BB1000-007	INT	Toilet and Bath Accessories	B1	RESTROOM	B05	WOMEN'S LOCKERS - SINKS ACCESSORIES SET	4	5	3	2	5

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826	TA-BB1000-008	INT	Toilet and Bath Accessories	B1	RESTROOM	B06	MEN'S RESTROOM - ADA TOILET COMPARTMENT	4	5	3	2	5
827	TA-BB1000-009	INT	Toilet and Bath Accessories	B1	RESTROOM	B06	MEN'S RESTROOM - TOILET COMPARTMENT ACCESSORIES SET	4	5	3	2	5
828	TA-BB1000-010	INT	Toilet and Bath Accessories	B1	RESTROOM	B06	MEN'S RESTROOM - SINKS ACCESSORIES SET	4	5	3	2	5
829	TA-BB1000-011	INT	Toilet and Bath Accessories	B1	RESTROOM	SB100	BASEMENT JUDICIAL SECURITY BRANCH - ADA SINGLE	3	2	3	2	5
830	TA-BB1000-012	INT	Toilet and Bath Accessories	B1	RESTROOM	SB100	BASEMENT JUDICIAL SECURITY BRANCH - SHOWER ROOM	3	2	3	2	4
831	TA-BB1000-013	INT	Toilet and Bath Accessories	B1	RESTROOM	B40	ENGINEER'S OFFICE BATHROOM	3	2	3	2	4
832	TA-BB1000-014	INT	Toilet and Bath Accessories	B1	Fitness Center	B02, B03	BASEMENT FITNESS CENTER - PAPER TOWEL DISPENSER	4	5	3	2	5
833	TA-BB1000-015	INT	Toilet and Bath Accessories	B1	Fitness Center	B02, B03	BASEMENT FITNESS CENTER - WIPES DISPENSER	4	5	3	2	5
834	TA-BB1000-016	INT	Toilet and Bath Accessories	B1	Fitness Center	SB112	BASEMENT FITNESS CENTER - HAND SANITIZER DISPENSER	4	5	3	2	5
835	TA-BB1000-017	INT	Toilet and Bath Accessories	B1	RESTROOM	B25	CELL SHARED BATHROOM	2	2	2	1	3
836	TA-BB1000-018	INT	Toilet and Bath Accessories	B1	NURSES STATION	B38	NURSE'S STATION - SOAP DISPENSER	4	5	3	1	4
837	TLFL-B00000-001	INT	Tile Floor Finishes		ELEVATOR - PUBLIC			4	4	3	3	5
838	TLFL-B01000-001	INT	Tile Floor Finishes	01	RESTROOM			4	5	3	2	5
839	TLFL-B02000-001	INT	Tile Floor Finishes	02	RESTROOM		Private restroom	4	3	3	2	5
840	TLFL-B02000-002	INT	Tile Floor Finishes	02	RESTROOM		South private	5	5	3	2	5
841	TLFL-B03000-001	INT	Tile Floor Finishes	03	PRIVATE SHOWERS		Mosaic flooring inside showers	4	4	3	2	5
842	TLFL-B03000-002	INT	Tile Floor Finishes	03	JANITOR CLOSET			4	4	3	1	5
843	TLFL-BB1000-001	INT	Tile Floor Finishes	B1	JANITOR CLOSET		E+W	4	4	3	1	5
844	TLFL-BB1000-002	INT	Tile Floor Finishes	B1	ENGINEER'S OFFICE	20	Shower	4	4	3	1	5
845	TLFL-BB1000-003	INT	Tile Floor Finishes	B1	RESTROOM		Ladies + men	4	4	3	2	5
846	TLWF-B01000-001	INT	Tile and Terrazzo Wall Finishes	01	RESTROOM		All private and public restrooms	3	2	3	3	5
847	TLWF-B02000-001	INT	Tile and Terrazzo Wall Finishes	02	RESTROOM		Men's+ womens	4	5	3	2	5
848	TLWF-B03000-001	INT	Tile and Terrazzo Wall Finishes	03	RESTROOM		Public, both men's and women's	3	1	3	3	5
849	TLWF-B03000-002	INT	Tile and Terrazzo Wall Finishes	03	JANITOR CLOSET			3	4	3	1	5
850	TLWF-BB1000-001	INT	Tile and Terrazzo Wall Finishes	B1	RESTROOM		Men's Locker Room, Women's Locker Room, Engineer's Office Restroom/Shower	4	4	3	2	5
851	TLWF-BB1000-002	INT	Tile and Terrazzo Wall Finishes	B1	JANITOR CLOSET		East, West	3	4	3	1	5
852	TPTN-B01000-001	INT	Compartments, Cubicles, Toilet Partitions	01	RESTROOM	106, 110D, 118, 119D	REGULAR TOILET STALL	4	5	3	3	5
853	TPTN-B01000-002	INT	Compartments, Cubicles, Toilet Partitions	01	RESTROOM	106, 118	ADA TOILET STALL	4	5	3	3	5
854	TPTN-B01000-003	INT	Compartments, Cubicles, Toilet Partitions	01	RESTROOM	110D 118	URINAL SCREEN	4	5	3	3	5
855	TPTN-B02000-002	INT	Compartments, Cubicles, Toilet Partitions	02	RESTROOM	204, 220	ADA TOILET STALL	4	5	3	3	5
856	TPTN-B02000-003	INT	Compartments, Cubicles, Toilet Partitions	02	RESTROOM	204, 220	REGULAR TOILET STALL	4	5	3	3	5
857	TPTN-B02000-004	INT	Compartments, Cubicles, Toilet Partitions	02	RESTROOM	220	URINAL SCREEN	4	5	3	3	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
858	TPTN-B02000-H01	INT	Compartments, Cubicles, Toilet Partitions	02	RESTROOM	214C, 219C	SINGLE BATHROOM WITH SHOWER	2	2	2	2	4
859	TPTN-B03000-002	INT	Compartments, Cubicles, Toilet Partitions	03	RESTROOM	304, 320	ADA TOILET STALL	4	5	3	3	5
860	TPTN-B03000-003	INT	Compartments, Cubicles, Toilet Partitions	03	RESTROOM	304, 320	TOILET STALL	4	5	3	3	5
861	TPTN-B03000-004	INT	Compartments, Cubicles, Toilet Partitions	03	RESTROOM	320	URINAL SCREEN	4	5	3	3	5
862	TPTN-B03000-H01	INT	Compartments, Cubicles, Toilet Partitions	03	RESTROOM	ENTIRE FLOOR	SINGLE BATHROOM WITH SHOWER	2	2	3	2	4
863	TPTN-BB1000-001	INT	Compartments, Cubicles, Toilet Partitions	B1	RESTROOM	B04, B05	LOCKERS ROOM - SHOWER OR TOILET COMPARTMENT DOOR	4	5	3	2	5
864	TPTN-BB1000-002	INT	Compartments, Cubicles, Toilet Partitions	B1	RESTROOM	B06	MEN'S RESTROOM - TOILET PARTITIONS SET	4	5	3	2	5
865	TPTN-BB1000-003	INT	Compartments, Cubicles, Toilet Partitions	B1	RESTROOM	B40	ENGINEER'S OFFICE BATHROOM	4	5	3	2	5
866	TXFL-B01000-H01	INT	Terrazzo Floor Finishes	01	CORRIDOR		Elevator Lobby, Corridors, Vending, Land/Ten Resource, Public Restroom Corridors	5	5	3	3	5
867	TXFL-B02000-H01	INT	Terrazzo Floor Finishes	02	CORRIDOR		Main elev lobby, Side corridors past cased opening + L shaped corridor on N, Men's + womens public restrooms	4	5	3	3	5
868	TXFL-B02000-H02	INT	Terrazzo Floor Finishes	02	RESTROOM		Single occupant restrooms	3	4	3	2	5
869	TXFL-B02000-H03	INT	Terrazzo Floor Finishes	02	STAIR - PUBLIC			4	5	3	3	5
870	TXFL-B03000-H01	INT	Terrazzo Floor Finishes	03	CORRIDOR		Main elev corridor, Public, both men's and women's restroom	4	5	3	3	5
871	TXFL-B03000-H02	INT	Terrazzo Floor Finishes	03	STAIR - PUBLIC		Public stairs	4	5	3	3	5
872	TXFL-B03000-H03	INT	Terrazzo Floor Finishes	03	VESTIBULE		Vestibules to private restrooms, storages within office suites	4	5	3	2	5
873	TXFL-BB1000-001	INT	Terrazzo Floor Finishes	B1	MECH STAIR - PUBLIC		Mechanical Room, West part of holding cells, Holding cell vestibule, Men's Locker Room vestibule and locker area	3	4	3	2	5
874	TXFL-BB1000-H02	INT	Terrazzo Floor Finishes	B1	PUBLIC	E+W		4	4	3	2	5
875	WB-B01000-002	INT	Wall Base Finishes	01	OFFICE			4	4	3	2	
876	WB-B01000-003	INT	Wall Base Finishes	01	OFFICE			4	4	3	2	5
877	WB-B01000-H01	INT	Wall Base Finishes	01	OFFICE			4	4	3	3	5
878	WB-B0200-002	INT	Wall Base Finishes	02				4	4	3	2	5
879	WB-B0200-003	INT	Wall Base Finishes	02				4	4	3	2	5
880	WB-B0200-004	INT	Wall Base Finishes	02				4	4	3	3	5
881	WB-B0200-H01	INT	Wall Base Finishes	02				4	4	3	3	5
882	WB-B0200-H05	INT	Wall Base Finishes	02				4	4	3	3	5
883	WB-B03000-H01	INT	Wall Base Finishes	03				4	3	3	3	5
884	WB-B03000-002	INT	Wall Base Finishes	03				3	3	3	2	5
885	WB-B03000-003	INT	Wall Base Finishes	03				3	3	3	2	5
886	WB-B03000-004	INT	Wall Base Finishes	03				3	3	3	3	5
887	WB-BB1000-001	INT	Wall Base Finishes	B1	CORRIDOR			4	4	3	2	5
888	WB-BB1000-002	INT	Wall Base Finishes	B1	CORRIDOR			3	3	3	2	5
889	WB-BB1000-003	INT	Wall Base Finishes	B1	ENGINEER'S OFFICE	20	Terrazzo Base Office, restroom, adj room	2	2	3	2	5
890	WDWF-B00000-001	INT	Other Wall Finishes		ELEVATOR - PUBLIC		44200	4	3	3	3	5
891	WDWF-B00000-002	INT	Other Wall Finishes		ELEVATOR - OTHER		5, 6	4	4	3	3	5
892	WDWF-B01000-H01	INT	Other Wall Finishes	01		109, 119		3	2	3	3	5

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893	WDWF-B02000-H01	INT	Other Wall Finishes	02	OFFICE	222, 252, 223, 252, 208, 252, 219D, 53, 221		2	2	3	3	5
894	WDWF-B03000-H01	INT	Other Wall Finishes	03	OPEN OFFICE		Small + large offices	3	2	3	2	5
895	WDWF-BB1000-001	INT	Other Wall Finishes	B1	CORRIDOR		2 corridor rooms between Mech and elevator lobby, Storage, vestibule, multipurpose	3	2	3	2	5
896	WNSL-B01000-002	INT	Other Wall Finishes	01	RESTROOM			4	5	3	2	3
897	WNSL-B01000-003	INT	Other Wall Finishes	01				4	5	3	2	3
898	WNSL-B01000-H01	INT	Other Wall Finishes	01				2	2	3	2	3
899	WNSL-B02000-002	INT	Other Wall Finishes	02				4	5	3	2	3
900	WNSL-B02000-H01	INT	Other Wall Finishes	02				2	2	3	2	3
901	WNSL-B03000-002	INT	Other Wall Finishes	03				4	5	3	2	3
902	WNSL-B03000-H01	INT	Other Wall Finishes	03				2	2	3	2	3
903	INTS-B00000-H02	INT	Fittings	01	Elevator Lobbies		Original Wall Metal Clock	2	2			
904	INTS-B00000-H01	INT	Other Interior Specialties		ELEVATOR LOBBY		METAL WALL CLOCK AT FIRST, SECOND AND THIRD FLOOR ELEVATOR LOBBY.	2	2		1	
905	SPDR-B01000-H01	INT	Other Interior Specialty Doors	01	ELEVATOR LOBBY			5	4		3	
906	SPDR-B01000-H02	INT	Other Interior Specialty Doors	01	CORRIDOR			5	4		3	
907	SPDR-B02000-H01	INT	Other Interior Specialty Doors	02	ELEVATOR LOBBY			5	4		3	
908	SPDR-B03000-H01	INT	Other Interior Specialty Doors	03	ELEVATOR LOBBY			5	4		3	
909	INTS-B02000-H02	INT	Other Interior Specialty Doors	02	CORRIDOR			5	4		3	
910	SPDR-B03000-H02	INT	Other Interior Specialty Doors	03	CORRIDOR			5	4		3	
911	INTS-BB1000-003	INT	Other Interior Specialty Doors	B1	CORRIDOR			5	4		3	
912	EFRN-B00SSE-001	LA	Exterior Furnishings	00	Site		Not applicable	1	1	3	3	2
913	EFRN-B00SSE-002	LA	Exterior Furnishings	00								
914	FENC-B00SNE-001	LA	Fencing and Gates	00	Site		Not applicable	5	5	1	1	4
915	FENC-B0SBNE-001	LA	Landscaping	00	Site		Not applicable					
916	PLTG-B00SNE-001	LA	Plantings	00	Site		Not applicable	4	5	1	2	2
917	PLTG-B00SNE-002	LA	Plantings	00	Sote		Not applicable	5	5	3	2	2
918	PLTG-B00SNE-003	LA	Plantings	00	Site		Not applicable	5	5	1	3	2
919	PLTG-B00SNE-004	LA	Plantings	00	Site		Not applicable	4	2	3	3	2
920	PLTG-B00SNE-005	LA	Plantings	00	Site		Not applicable	4	2	3	2	2
921	PLTG-B00SNE-006	LA	Plantings	00	Site		Not applicable	5	3	3	3	2
922	PLTG-B00SNE-007	LA	Landscaping	00				5	3	3	3	2
923	PLTG-B00SNE-008	LA	Plantings	00				5	3	3	2	2
924	PLTG-B00SSE-001	LA	Plantings	00	Site		Level 3 was Landscaping ANS Site Clearing, KL changed to Site Development		2	3	2	2
925	PLTG-B00SSE-002	LA	Plantings	00	Site			4	1	3	3	2
926	PLTG-B00SSE-003	LA	Plantings	00	Site			4	1	3	3	2
927	PLTG-B00SSE-004	LA	Plantings	00	Site			5	3	3	2	2
928	PLTG-B00SSE-005	LA	Plantings	00	Site			5	3	3	2	2

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
929	PLTG-B00SSE-006	LA	Plantings	00				5	3	3	2	2
930	PLTG-B00SSE-007	LA	Plantings	00				5	3	3	2	2
931	PLTG-B00SSE-008	LA	Plantings	00				4	2	3	2	2
932	PLTR-B00SNE-001	LA	Planters	00	Site		Not applicable	3	2	3	3	2
933	SIGN-B00SNE-001	LA	Signage	00	Site		Not applicable	3	1	3	3	2
934	SIGN-B00SSW-001	LA	Signage	00	Site		Not applicable	3	1	3	3	2
935	TPWL-B00SNE-001	LA	Terrace and Perimeter Walls	00	Site		Not applicable	3	2	2	3	2
936	TPWL-B00SSE-001	LA	Terrace and Perimeter Walls	00	Site		Not applicable	3	2	3	3	2
937	TPWL-B00SSE-002	LA	Terrace and Perimeter Walls	00	Site			3	2	3	3	2
938	TPWL-B00SSE-003	LA	Terrace and Perimeter Walls	00				3	2	3	3	2
939	AHU0-BB1000-001	MECH	Air Handling Units	B1	EQUIPMENT ROOM	B19	Room number from drawings	5	5	3	1	4
940	AHU0-BB1000-002	MECH	Air Handling Units	B1	EQUIPMENT ROOM	B19	Room number from drawings	5	5	3	1	4
941	AHU0-BB1000-003	MECH	Air Handling Unit	B1	EQUIPMENT ROOM	B19	Room number from plans	5	5	3	1	4
942	AHU0-BB1SAH-001	MECH	Air Handling Units	B1	EQUIPMENT ROOM	B39	Room number from floor plan	5	5	3	1	2
943	AHU0-BPH000-001	MECH	Air Handling Units	PH	EQUIPMENT ROOM	400A		3	4	3	1	5
944	AHU0-BPH000-002	MECH	Air Handling Units	PH	EQUIPMENT ROOM	400B	AHU-2	3	4	3	1	5
945	AIIN-BR1000-001	MECH	Air Intake	R1	Roof		Not applicable	4	5	3	1	4
946	AS00-BB1000-001	MECH	Air Separators	B1	EQUIPMENT ROOM	B18	Room # from drawing	4	5	3	1	5
947	AS00-BB1000-002	MECH	Air Separators	B1	EQUIPMENT ROOM	B19	PK boiler air separator	4	5	3	1	5
948	BHW0-BB1000-001	MECH	Hot Water Boilers	B1	EQUIPMENT ROOM	B19	B-1 (Steam to hot water boiler. Converted from natural gas.)	4	5	3	1	5
949	BHW0-BB1000-002	MECH	Hot Water Boilers	B1	EQUIPMENT ROOM	B19	B-2 (Steam to hot water boiler. Converted from natural gas)	4	5	3	1	5
950	CHID-BB1000-001	MECH	Chilled Water Pipe Identification	B1				3	4	3	1	5
951	CHID-BPH000-001	MECH	Chilled Water Pipe Identification	PH				5	5	3	1	5
952	CHIN-BB1000-001	MECH	Chilled Water Pipe Insulation	B1				4	5	3	1	5
953	CHIN-BPH000-001	MECH	Chilled Water Pipe Insulation	PH				4	5	3	1	5
954	CHMG-BB1000-001	MECH	Chilled Water Meters, Manual Valves, Gauges	B1				3	4	3	1	5
955	CHMG-BPH000-001	MECH	Chilled Water Meters, Manual Valves, Gauges	PH				4	5	3	1	5
956	CHPF-BB1000-001	MECH	Chilled Water Pipe and Fittings	B1				4	5	3	1	5
957	CHPF-BPH000-001	MECH	Chilled Water Pipe and Fittings	PH				4	5	3	1	5
958	CHW0-BB1000-001	MECH	Chillers	B1	EQUIPMENT ROOM	B18	Room # from plan	3	3	2	1	2
959	CHW0-BB1000-002	MECH	Chillers	B1	EQUIPMENT ROOM	B18	Room # from drawing	3	3	1	1	4
960	CHW0-BB1000-003	MECH	Chillers	B1	EQUIPMENT ROOM	B18	Room # from drawing	1	1	3	1	5
961	CHWP-BB1000-001	MECH	Chilled Water Pumps	B1	EQUIPMENT ROOM	B18	Room # from drawing	3	2	3	1	5
962	CHWP-BB1000-002	MECH	Chilled Water Pumps	B1	EQUIPMENT ROOM	B18	Room # from drawing	2	2	3	1	5
963	CHWP-BB1000-003	MECH	Chilled Water Pumps	B1	EQUIPMENT ROOM	B19	Room # from drawing	2	2	3	1	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
964	CHWP-BB1000-004	MECH	Chilled Water Pumps	B1	EQUIPMENT ROOM	B19	Room # from drawing	3	2	3	1	5
965	CHWP-BB1000-005	MECH	Chilled Water Pumps	B1	EQUIPMENT ROOM	B18	Room # from drawing	1	1	3	1	5
966	CLWT-BB1000-001	MECH	Closed Loop Water Treatment	B1	EQUIPMENT ROOM	B18	Room # from drawing	3	3	3	1	3
967	CP00-B01000-001	MECH	Condensate Pump	01				5	5	3	1	5
968	CP00-BPH000-001	MECH	Condensate Pump	PH	EQUIPMENT ROOM	401		4	5	3	1	5
969	CP00-BPH000-002	MECH	Condensate Pump	PH	EQUIPMENT ROOM	400B	Elevator room condensate pump	4	5	3	1	5
970	CT00-BPH000-001	MECH	Cooling Towers	PH	EQUIPMENT ROOM	404		3	3	2	1	5
971	CT00-BPH000-002	MECH	Cooling Towers	PH	EQUIPMENT ROOM	406		3	3	1	1	5
972	CWID-BB1000-001	MECH	Condenser Water Pipe Identification	B1			Not applicable	4	5	1	1	5
973	CWID-BPH000-001	MECH	Condenser Water Pipe Identification	PH				5	5	3	1	5
974	CWMG-BB1000-001	MECH	Condenser Water Meters, Manual Valves, Gauges	B1	EQ	B18		3	4	2	1	5
975	CWMG-BPH000-001	MECH	Condenser Water Meters, Manual Valves, Gauges	PH				4	5	3	1	5
976	CWPO-BB1000-001	MECH	Condenser Water Pumps	B1	EQUIPMENT ROOM	B18	Room # from drawing	3	2	3	1	5
977	CWPO-BB1000-002	MECH	Condenser Water Pumps	B1	EQUIPMENT ROOM	B18	Room # from drawing	3	2	3	1	5
978	CWPF-BB1000-001	MECH	Condenser Water Pipe & Fittings	B1		B18		4	5	3	1	4
979	CWPF-BPH000-001	MECH	Condenser Water Pipe & Fittings	PH				4	5	3	1	5
980	DAMP-B01000-001	MECH	Control Dampers	01				5	5	3	2	5
981	DAMP-B02000-001	MECH	Control Dampers	02				5	5	3	2	5
982	DAMP-B03000-001	MECH	Control Dampers	03				5	5	3	2	5
983	DAMP-BB1000-001	MECH	Control Dampers	B1	EQUIPMENT ROOM		Not applicable	4	5	3	1	5
984	DAMP-BPH000-001	MECH	Control Dampers	PH				3	2	3	1	4
985	DUCT-B01000-001	MECH	Ductwork and Fittings	01				3	4	3	1	5
986	DUCT-B02000-001	MECH	Ductwork and Fittings	02				4	4	3	2	5
987	DUCT-B03000-001	MECH	Ductwork and Fittings	03				4	4	3	2	5
988	DUCT-BB1000-001	MECH	Ductwork and Fittings	B1	EQUIPMENT ROOM		Not applicable	3	4	3	1	5
989	DUCT-BB1SAH-S01	MECH	Ductwork and Fittings	B1				3	4	3	1	4
990	DUCT-BPH000-001	MECH	Ductwork and Fittings	PH	EQUIPMENT ROOM		Not applicable	4	5	3	1	5
991	DWHS-B02000-001	MECH	Ductwork Hangers & Supports	02				5	5	3	2	5
992	DWHS-B03000-001	MECH	Ductwork Hangers & Supports	03				4	5	3	1	5
993	DWHS-BB1000-001	MECH	Ductwork Hangers & Supports	B1				4	5	3	1	5
994	DWHS-BB1SAH-S01	MECH	Ductwork Hangers & Supports	B1				4	5	3		5
995	DWHS-BPH000-001	MECH	Ductwork Hangers & Supports	PH				5	5	3		5
996	EF00-B02000-001	MECH	Exhaust Fans	02	RESTROOM	228A	Exhaust fan inside men's room	5	5	3	1	5
997	EF00-BB1000-001	MECH	Exhaust Fans	B1	EQUIPMENT ROOM	B18	Room # from drawing	4	4	3	1	3
998	EF00-BB1000-002	MECH	Exhaust Fans	B1	EQUIPMENT ROOM	B09	Located in "CLEANING LOUNGE"	1	1	2	1	5
999	EF00-BB1000-003	MECH	Exhaust Fans	B1	GENERATOR ROOM	B09		4	4	3	1	4
1000	EF00-BB1000-004	MECH	Exhaust Fans	B1	ELEC ROOM			4	5	3	1	5
1001	EF00-BPH000-001	MECH	Exhaust Fans	PH	EQUIPMENT ROOM			3	3	3	1	5
1002	EF00-BPH000-002	MECH	Exhaust Fans	PH	EQUIPMENT ROOM	408	EF-2 Toilet exhaust fan	3	3	3	1	5
1003	EF00-BPH000-003	MECH	Exhaust Fans	PH	EQUIPMENT ROOM	408	EF-12	4	5	3	3	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1004	EF00-BR1000-001	MECH	Exhaust Fans	R1			South exhaust fan-mushroom type	3	3	3	1	4
1005	EF00-BR1000-002	MECH	Exhaust Fans	R1			Central exhaust fan - mushroom type	3	3	3	1	4
1006	EF00-BR1000-003	MECH	Exhaust Fans	R1			North exhaust fan - mushroom type	3	3	3	1	4
1007	ET00-BB1000-001	MECH	Expansion Tanks	B1	EQUIPMENT ROOM	B18	Room # from drawing	4	5	3	1	3
1008	ET00-BB1000-002	MECH	Expansion Tanks	B1	EQUIPMENT ROOM	B19	Hot water expansion tank	4	5	3	1	5
1009	FCU0-BB1000-001	MECH	Fan Coil Units	B1	OFFICE	B17		1	1	3	1	5
1010	FD00-B01000-001	MECH	Fire Dampers	01				5	5	3	1	5
1011	FD00-B02000-001	MECH	Fire Dampers	02				4	5	3	1	5
1012	FD00-B03000-001	MECH	Fire Dampers	03				4	5	3	1	5
1013	FD00-BB1000-001	MECH	Fire Dampers	B1				4	5	3	1	
1014	FD00-BPH000-001	MECH	Fire Dampers	PH				3	3	3		5
1015	FPB0-B01000-001	MECH	Fan Powered VAV Box	01	STORAGE ROOM	124A	VAV-1	5	5	3	2	5
1016	FPB0-B01000-002	MECH	Fan Powered VAV Box	01	OPEN OFFICE	120B	VAV-2	5	5	3	2	5
1017	FPB0-B01000-003	MECH	Fan Powered VAV Box	01	STORAGE ROOM	124A	VAV-3	5	5	3	2	5
1018	FPB0-B01000-004	MECH	Fan Powered VAV Box	01	OPEN OFFICE	120B	VAV-4	5	5	3	2	5
1019	FPB0-B01000-005	MECH	Fan Powered VAV Box	01	OPEN OFFICE	120B	VAV-5	5	5	3	2	5
1020	FPB0-B01000-006	MECH	Fan Powered VAV Box	01	OPEN OFFICE	120B	VAV-6	5	5	3	2	5
1021	FPB0-B01000-007	MECH	Fan Powered VAV Box	01	SECURITY	116	VAV-7	5	5	3	2	5
1022	FPB0-B01000-008	MECH	Fan Powered VAV Box	01	RESTROOM	106A	VAV-8 women's restroom	5	5	3	2	5
1023	FPB0-B01000-009	MECH	Fan Powered VAV Box	01	CONFERENCE ROOM	104	VAV-9	5	5	3	2	5
1024	FPB0-B01000-010	MECH	Fan Powered VAV Box	01	OPEN OFFICE	110B	VAV-10	5	5	3	2	5
1025	FPB0-B01000-011	MECH	Fan Powered VAV Box	01	OPEN OFFICE	110B	VAV-11	5	5	3	2	5
1026	FPB0-B01000-012	MECH	Fan Powered VAV Box	01		110A	VAV-12	5	5	3	2	5
1027	FPB0-B01000-013	MECH	Fan Powered VAV Box	01	OPEN OFFICE	110D	VAV-13	5	5	3	2	5
1028	FPB0-B01000-014	MECH	Fan Powered VAV Box	01	OPEN OFFICE	110D	VAV-14	5	5	3	2	5
1029	FPB0-B01000-015	MECH	Fan Powered VAV Box	01	OPEN OFFICE	114	VAV-15	5	5	3	2	5
1030	FPB0-B01000-016	MECH	Fan Powered VAV Box	01	OPEN OFFICE	110D	VAV-16	5	5	3	2	5
1031	FPB0-B01000-017	MECH	Fan Powered VAV Box	01	OPEN OFFICE	114	VAV-17	5	5	3	2	5
1032	FPB0-B01000-018	MECH	Fan Powered VAV Box	01	OFFICE	113	VAV-18	5	5	3	2	5
1033	FPB0-B01000-019	MECH	Fan Powered VAV Box	01	OFFICE	114	VAV-19	5	5	3	2	5
1034	FPB0-B01000-020	MECH	Fan Powered VAV Box	01		114	VAV-20	5	5	3	2	5
1035	FPB0-B01000-021	MECH	Fan Powered VAV Box	01	OFFICE	114	VAV-22(changed from 21)	5	5	3	2	5
1036	FPB0-B01000-022	MECH	Fan Powered VAV Box	01	OFFICE	111	VAV-22	5	5	3	2	5
1037	FPB0-B01000-023	MECH	Fan Powered VAV Box	01	CONFERENCE ROOM	113.01	VAV-23	5	5	3	2	5
1038	FPB0-B01000-024	MECH	Fan Powered VAV Box	01	COURTROO	109	VAV-24	5	5	3	2	5
1039	FPB0-B01000-025	MECH	Fan Powered VAV Box	01	COURTROO	109	VAV-25	5	5	3	2	5
1040	FPB0-B01000-026	MECH	Fan Powered VAV Box	01	CORRIDOR	115	VAV-26	5	5	2		5
1041	FPB0-B01000-027	MECH	Fan Powered VAV Box	01	COURTROO	119	VAV-27	5	5	3	2	5
1042	FPB0-B01000-028	MECH	Fan Powered VAV Box	01	COURTROO	119	VAV-28	5	5	3	2	5
1043	FPB0-B01000-029	MECH	Fan Powered VAV Box	01	CORRIDOR	121C	VAV-29	5	5	3	2	5
1044	FPB0-B01000-030	MECH	Fan Powered VAV Box	01	OFFICE	123C	VAV-30	5	5	3	2	5
1045	FPB0-B01000-031	MECH	Fan Powered VAV Box	01		123A	VAV-31	5	5	3	2	5
1046	FPB0-B01000-032	MECH	Fan Powered VAV Box	01	CORRIDOR	123A	VAV-32	5	5	3	2	5
1047	FPB0-B01000-033	MECH	Fan Powered VAV Box	01	CORRIDOR	123A	VAV-33	5	5	3	2	5
1048	FPB0-B01000-034	MECH	Fan Powered VAV Box	01	CORRIDOR	123A	VAV-34	5	5	3	2	5
1049	FPB0-B02000-001	MECH	Fan Powered VAV Box	02	OPEN OFFICE	228A	ADD-7	5	5	3	2	5
1050	FPB0-B02000-002	MECH	Fan Powered VAV Box	02	OPEN OFFICE	228A	Add-2	5	5	3	2	5
1051	FPB0-B02000-003	MECH	Fan Powered VAV Box	02	OPEN OFFICE	228A	Add-3	5	5	3	2	5
1052	FPB0-B02000-004	MECH	Fan Powered VAV Box	02	OPEN OFFICE	228A	Add-4	5	5	3	2	5
1053	FPB0-B02000-005	MECH	Fan Powered VAV Box	02	OPEN OFFICE	228A	TAG- ADD-5	5	5	3	2	5
1054	FPB0-B02000-006	MECH	Fan Powered VAV Box	02	OPEN OFFICE	228A	Add-6	5	5	3	2	5
1055	FPB0-B02000-007	MECH	Fan Powered VAV Box	02	ELEVATOR LOBBY	228	Fpb VAV-7	5	4	3	2	5
1056	FPB0-B02000-008	MECH	Fan Powered VAV Box	02	ELEVATOR LOBBY	228	VAV-8	5	4	3	2	5
1057	FPB0-B02000-009	MECH	Fan Powered VAV Box	02	COURTROO	52	VAV-9	5	5	3	2	5
1058	FPB0-B02000-010	MECH	Fan Powered VAV Box	02	OPEN OFFICE	223	VAV-10	5	5	3	2	5
1059	FPB0-B02000-011	MECH	Fan Powered VAV Box	02	COURTROO	53	VAV-11	5	5	3	2	5
1060	FPB0-B02000-012	MECH	Fan Powered VAV Box	02	COURTROO	53	VAV-12	4	5	3	2	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1061	FPB0-B02000-013	MECH	Fan Powered VAV Box	02	OPEN OFFICE	223	VAV-13	5	5	3	2	5
1062	FPB0-B02000-014	MECH	Fan Powered VAV Box	02	COURTROOM	53	VAV-14	3	3	3	2	5
1063	FPB0-B02000-015	MECH	Fan Powered VAV Box	02	COURTROOM	53	VAV-15	5	5	3	2	5
1064	FPB0-B02000-016	MECH	Fan Powered VAV Box	02	OPEN OFFICE	201B	VAV-16	5	5	3	2	5
1065	FPB0-B02000-017	MECH	Fan Powered VAV Box	02	OPEN OFFICE	228A	Add-8	5	5	3	2	5
1066	FPB0-B02000-018	MECH	Fan Powered VAV Box	02	STORAGE ROOM	219G	VAV-18	5	5	3	2	5
1067	FPB0-B02000-019	MECH	Fan Powered VAV Box	02	PRINT ROOM	219A	VAV-19	5	4	3	2	5
1068	FPB0-B02000-020	MECH	Fan Powered VAV Box	02	PRINT ROOM	219A	VAV-20	5	5	3	2	5
1069	FPB0-B02000-021	MECH	Fan Powered VAV Box	02	STORAGE ROOM	206	VAV-21	5	5	3	2	5
1070	FPB0-B02000-022	MECH	Fan Powered VAV Box	02	OPEN OFFICE	208	VAV-22	5	5	3	2	5
1071	FPB0-B02000-023	MECH	Fan Powered VAV Box	02	CORRIDOR	200B	VAV-23	5	5	3	2	5
1072	FPB0-B02000-024	MECH	Fan Powered VAV Box	02	CORRIDOR	200B	VAV-24	4	3	3	2	5
1073	FPB0-B02000-025	MECH	Fan Powered VAV Box	02	OPEN OFFICE	223	VAV-25	5	5	3	2	5
1074	FPB0-B02000-026	MECH	Fan Powered VAV Box	02	STORAGE ROOM	218	VAV-26	5	5	3	2	5
1075	FPB0-B02000-027	MECH	Fan Powered VAV Box	02	CONFERENCE ROOM	216	VAV-27	5	5	3	2	5
1076	FPB0-B02000-028	MECH	Fan Powered VAV Box	02	OFFICE	214B	VAV-28	5	5	3	2	5
1077	FPB0-B02000-029	MECH	Fan Powered VAV Box	02	OPEN OFFICE	228A	ADD-9	5	5	3	2	5
1078	FPB0-B02000-030	MECH	Fan Powered VAV Box	02	OPEN OFFICE	228A	Add-10	5	5	3	2	5
1079	FPB0-B02000-031	MECH	Fan Powered VAV Box	02	OPEN OFFICE	228A	Add-11	5	5	3	2	5
1080	FPB0-B02000-032	MECH	Fan Powered VAV Box	02	OPEN OFFICE	228A	Add-12	5	5	3	2	5
1081	FPB0-B03000-001	MECH	Fan Powered VAV Box	03	OPEN OFFICE	328	VAV-1	5	5	3	2	5
1082	FPB0-B03000-002	MECH	Fan Powered VAV Box	03	CORRIDOR	300E	VAV-2	5	5	3	2	5
1083	FPB0-B03000-003	MECH	Fan Powered VAV Box	03	OPEN OFFICE	322B	VAV-3	5	5	3	2	5
1084	FPB0-B03000-004	MECH	Fan Powered VAV Box	03	OFFICE	322C	VAV-4	5	5	3	2	5
1085	FPB0-B03000-005	MECH	Fan Powered VAV Box	03	OPEN OFFICE	322A	VAV-5	5	5	3	2	5
1086	FPB0-B03000-006	MECH	Fan Powered VAV Box	03	OPEN OFFICE	308	VAV-6	5	5	3	2	5
1087	FPB0-B03000-007	MECH	Fan Powered VAV Box	03	OPEN OFFICE	308	VAV-7	5	5	3	2	5
1088	FPB0-B03000-008	MECH	Fan Powered VAV Box	03	OPEN OFFICE	308	VAV-8	5	5	3	2	5
1089	FPB0-B03000-009	MECH	Fan Powered VAV Box	03		312	VAV-9	5	5	3	2	5
1090	FPB0-B03000-010	MECH	Fan Powered VAV Box	03	OPEN OFFICE	314	VAV-10	5	5	3	2	5
1091	FPB0-B03000-011	MECH	Fan Powered VAV Box	03	OPEN OFFICE	314B	VAV-11	5	5	3	2	5
1092	FPB0-B03000-012	MECH	Fan Powered VAV Box	03	OPEN OFFICE	316	VAV-12	5	5	3	2	5
1093	FPB0-B03000-013	MECH	Fan Powered VAV Box	03	OPEN OFFICE	315	VAV-13	5	5	3	2	5
1094	FPB0-B03000-014	MECH	Fan Powered VAV Box	03	OPEN OFFICE	307B	VAV 14	5	5	3	2	5
1095	FPB0-B03000-015	MECH	Fan Powered VAV Box	03	OPEN OFFICE	307	VAV 15	5	5	3	2	5
1096	FPB0-B03000-016	MECH	Fan Powered VAV Box	03	CONFERENCE ROOM	307	VAV 16	5	5	3	2	5
1097	FPB0-B03000-017	MECH	Fan Powered VAV Box	03	OPEN OFFICE	305	VAV 17	5	5	2	2	5
1098	FPB0-B03000-018	MECH	Fan Powered VAV Box	03	OPEN OFFICE	305	VAV 18	5	5	3	2	5
1099	FPB0-B03000-019	MECH	Fan Powered VAV Box	03	OPEN OFFICE	303	VAV-19	5	5	3	2	5
1100	FPB0-B03000-020	MECH	Fan Powered VAV Box	03	OPEN OFFICE	301	VAV-21	5	5	3	2	5
1101	FPB0-B03000-021	MECH	Fan Powered VAV Box	03	OPEN OFFICE	304	VAV-21	5	5	3	2	5
1102	FPB0-B03000-022	MECH	Fan Powered VAV Box	03	OPEN OFFICE	317B	VAV-22	5	5	3	2	5
1103	FPB0-B03000-023	MECH	Fan Powered VAV Box	03	OPEN OFFICE	317B	VAV-23	5	5	3	2	5
1104	FPB0-B03000-024	MECH	Fan Powered VAV Box	03	OPEN OFFICE	317B	VAV-24	5	5	3	2	5
1105	FPB0-B03000-025	MECH	Fan Powered VAV Box	03	OPEN OFFICE	317C	VAV 25	5	5	3	2	5
1106	FPB0-B03000-026	MECH	Fan Powered VAV Box	03	OPEN OFFICE	317C	VAV 26	5	5	3	2	5
1107	FPB0-B03000-027	MECH	Fan Powered VAV Box	03	CORRIDOR	300E	VAV-27	5	5	3	2	5
1108	FPB0-B03000-028	MECH	Fan Powered VAV Box	03	OFFICE	330	VAV-28	5	5	3	2	5
1109	FTR0-B01000-001	MECH	Fin Tube Radiation	01	OFFICE	123D	Mediation Room 10	3	5	3	2	5
1110	FTR0-B01000-002	MECH	Fin Tube Radiation	01	OFFICE	123E	Mediation Room 9 (Actually a pantry)	4	5	3	2	5
1111	FTR0-B01000-003	MECH	Fin Tube Radiation	01	OFFICE	123A	Small Claims Mediation Center	4	5	3	2	5
1112	FTR0-B01000-004	MECH	Fin Tube Radiation	01	OFFICE	123A	Small Claims Mediation Center	4	5			
1113	FTR0-B01000-005	MECH	Fin Tube Radiation	01	OFFICE	123F	Mediation Room 8	3	5	3	2	5
1114	FTR0-B01000-006	MECH	Fin Tube Radiation	01	OFFICE	119E		4	5			
1115	FTR0-B01000-007	MECH	Fin Tube Radiation	01	RESTROOM	119D		4	5	3	2	5
1116	FTR0-B01000-008	MECH	Fin Tube Radiation	01	COURTROOM	119A		4	5	3	2	5
1117	FTR0-B01000-009	MECH	Fin Tube Radiation	01	COURTROOM	119A		4	5			
1118	FTR0-B01000-010	MECH	Fin Tube Radiation	01	COURTROOM	119A		4	5	3	3	5
1119	FTR0-B01000-011	MECH	Fin Tube Radiation	01	COURTROOM	119A		4	5	3	2	5
1120	FTR0-B01000-012	MECH	Fin Tube Radiation	01	VESTIBULE	100D		4	5			
1121	FTR0-B01000-013	MECH	Fin Tube Radiation	01	STORAGE ROOM	124A		4	5	3	2	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1122	FTR0-B01000-014	MECH	Fin Tube Radiation	01	STORAGE ROOM	124A		4	5			
1123	FTR0-B01000-015	MECH	Fin Tube Radiation	01	STORAGE ROOM	124A		3	5	3	2	5
1124	FTR0-B01000-016	MECH	Fin Tube Radiation	01	STORAGE ROOM	124A		4	5	3	2	5
1125	FTR0-B01000-017	MECH	Fin Tube Radiation	01	OFFICE	120F		4	5			
1126	FTR0-B01000-018	MECH	Fin Tube Radiation	01	OFFICE	120F		4	5	3	2	5
1127	FTR0-B01000-019	MECH	Fin Tube Radiation	01	OFFICE	120E	Couldn't get in	4	5	3	2	5
1128	FTR0-B01000-020	MECH	Fin Tube Radiation	01	RESTROOM	120D		4	5	3	2	5
1129	FTR0-B01000-021	MECH	Fin Tube Radiation	01	OPEN OFFICE	120B		4	5	3	2	5
1130	FTR0-B01000-022	MECH	Fin Tube Radiation	01	OPEN OFFICE	120B		4	5	3	2	5
1131	FTR0-B01000-023	MECH	Fin Tube Radiation	01	OPEN OFFICE	120B		4	5	3	2	5
1132	FTR0-B01000-024	MECH	Fin Tube Radiation	01	OPEN OFFICE	120B		4	5	3	3	5
1133	FTR0-B01000-025	MECH	Fin Tube Radiation	01	RESTROOM	118B		4	5	3	2	5
1134	FTR0-B01000-026	MECH	Fin Tube Radiation	01	STAIR - PUBLIC	STAIR A		1	5	3	3	5
1135	FTR0-B01000-027	MECH	Fin Tube Radiation	01	VESTIBULE	100F		4	5	3	2	5
1136	FTR0-B01000-028	MECH	Fin Tube Radiation	01	VESTIBULE	100F		4	5	3	2	5
1137	FTR0-B01000-029	MECH	Fin Tube Radiation	01	OFFICE	102		4	5			
1138	FTR0-B01000-030	MECH	Fin Tube Radiation	01	OFFICE	117		4	5			
1139	FTR0-B01000-031	MECH	Fin Tube Radiation	01	VESTIBULE	100G		4	5	3	3	5
1140	FTR0-B01000-032	MECH	Fin Tube Radiation	01	VESTIBULE	100G		4	5	3	3	5
1141	FTR0-B01000-033	MECH	Fin Tube Radiation	01	RESTROOM	106B		4	5	3	2	5
1142	FTR0-B01000-034	MECH	Fin Tube Radiation	01	COURTROO	109A		4	5	3	2	5
1143	FTR0-B01000-035	MECH	Fin Tube Radiation	01	COURTROO	109A		4	5	3	2	5
1144	FTR0-B01000-036	MECH	Fin Tube Radiation	01	COURTROO	109A		4	5	3	2	5
1145	FTR0-B01000-037	MECH	Fin Tube Radiation	01	COURTROO	109A		4	5	3	2	5
1146	FTR0-B01000-038	MECH	Fin Tube Radiation	01	COURTROO	109A		4	5	3	2	5
1147	FTR0-B01000-039	MECH	Fin Tube Radiation	01	OPEN OFFICE	110B		4	5	3	2	5
1148	FTR0-B01000-040	MECH	Fin Tube Radiation	01	OPEN OFFICE	110B		4	5	3	2	5
1149	FTR0-B01000-041	MECH	Fin Tube Radiation	01	OPEN OFFICE	110B		4	5	3	2	5
1150	FTR0-B01000-042	MECH	Fin Tube Radiation	01	OPEN OFFICE	110B		4	5	3	2	5
1151	FTR0-B01000-043	MECH	Fin Tube Radiation	01	RESTROOM	110E		4	5	3	2	5
1152	FTR0-B01000-044	MECH	Fin Tube Radiation	01	OFFICE	110F		4	5	3	2	5
1153	FTR0-B01000-045	MECH	Fin Tube Radiation	01	OPEN OFFICE	110D		4	5	3	2	5
1154	FTR0-B01000-046	MECH	Fin Tube Radiation	01	OFFICE	110H		4	5	3	2	5
1155	FTR0-B01000-047	MECH	Fin Tube Radiation	01	OFFICE	110G	Couldn't get in	4	5	3	2	5
1156	FTR0-B01000-048	MECH	Fin Tube Radiation	01	OFFICE	110G	Couldn't get in	4	5	3	2	5
1157	FTR0-B01000-049	MECH	Fin Tube Radiation	01	VESTIBULE	100E		4	5			
1158	FTR0-B01000-050	MECH	Fin Tube Radiation	01	OFFICE	113.07	On floor plan 113B	4	5	3	2	5
1159	FTR0-B01000-051	MECH	Fin Tube Radiation	01	OFFICE	113.06	On floor plan 113C	4	5			
1160	FTR0-B01000-052	MECH	Fin Tube Radiation	01	OFFICE	113.05	On floor plan 113D	4	5			
1161	FTR0-B01000-053	MECH	Fin Tube Radiation	01	OFFICE	113F		4	5			
1162	FTR0-B01000-054	MECH	Fin Tube Radiation	01	OFFICE	113F		4	5			
1163	FTR0-B01000-055	MECH	Fin Tube Radiation	01	OFFICE	113G		4	5			
1164	FTR0-B01000-056	MECH	Fin Tube Radiation	01	OFFICE	109F		4	5			
1165	FTR0-B01000-057	MECH	Fin Tube Radiation	01	RESTROOM	109G		4	5			
1166	FTR0-B02000-001	MECH	Fin Tube Radiation	02	OFFICE	217		4	5			
1167	FTR0-B02000-002	MECH	Fin Tube Radiation	02	OFFICE	217D		4	5			
1168	FTR0-B02000-003	MECH	Fin Tube Radiation	02	OFFICE	217A		3	5	3	2	5
1169	FTR0-B02000-004	MECH	Fin Tube Radiation	02	RESTROOM	217C		4	5	3	1	5
1170	FTR0-B02000-005	MECH	Fin Tube Radiation	02	OFFICE	215A		4	5	3	2	5
1171	FTR0-B02000-006	MECH	Fin Tube Radiation	02	OFFICE	215A		4	5			
1172	FTR0-B02000-007	MECH	Fin Tube Radiation	02	OFFICE	216		4	5	3	2	5
1173	FTR0-B02000-008	MECH	Fin Tube Radiation	02	RESTROOM	214C		3	5	3	2	4
1174	FTR0-B02000-009	MECH	Fin Tube Radiation	02	OFFICE	214D		4	5			
1175	FTR0-B02000-010	MECH	Fin Tube Radiation	02	RESTROOM	214F		4	5	3	2	5
1176	FTR0-B02000-011	MECH	Fin Tube Radiation	02	OFFICE	210		4	5	3	2	5
1177	FTR0-B02000-012	MECH	Fin Tube Radiation	02	OFFICE	208.03		3	5	3	2	5
1178	FTR0-B02000-013	MECH	Fin Tube Radiation	02	OPEN OFFICE	205C		4	5	3	2	4
1179	FTR0-B02000-014	MECH	Fin Tube Radiation	02	OPEN OFFICE	219D		4	5			
1180	FTR0-B02000-015	MECH	Fin Tube Radiation	02	OPEN OFFICE	219D		3	5	3		5
1181	FTR0-B02000-016	MECH	Fin Tube Radiation	02	RESTROOM	204B		4	5	3	2	5
1182	FTR0-B02000-017	MECH	Fin Tube Radiation	02	COURTROO	201A		4	5	3	2	5
1183	FTR0-B02000-018	MECH	Fin Tube Radiation	02	COURTROO	53	201A	4	5	3	2	5
1184	FTR0-B02000-019	MECH	Fin Tube Radiation	02	OFFICE	53	221	4	5	3	2	5
1185	FTR0-B02000-020	MECH	Fin Tube Radiation	02	STAIR - PUBLIC	A-2		4	5	3	2	5
1186	FTR0-B02000-021	MECH	Fin Tube Radiation	02	OPEN OFFICE	223		4	5	3	2	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1187	FTR0-B02000-022	MECH	Fin Tube Radiation	02	OPEN OFFICE	223		4	5	3	2	5
1188	FTR0-B02000-023	MECH	Fin Tube Radiation	02	OPEN OFFICE	223		4	5			
1189	FTR0-B02000-024	MECH	Fin Tube Radiation	02	OFFICE	225		4	5	3	2	5
1190	FTR0-B02000-025	MECH	Fin Tube Radiation	02	CONFERENCE ROOM	JR-52		4	5	2	2	5
1191	FTR0-B02000-026	MECH	Fin Tube Radiation	02	RESTROOM	228W		4	5	3	2	5
1192	FTR0-B02000-027	MECH	Fin Tube Radiation	02	OPEN OFFICE	228		4	5	3	2	5
1193	FTR0-B02000-028	MECH	Fin Tube Radiation	02	OPEN OFFICE	228		4	5	3	2	5
1194	FTR0-B02000-029	MECH	Fin Tube Radiation	02	OPEN OFFICE	228		4	5	3	2	5
1195	FTR0-B02000-030	MECH	Fin Tube Radiation	02	OFFICE	228J		4	5			
1196	FTR0-B02000-031	MECH	Fin Tube Radiation	02	OFFICE	228H		4	5	3	2	5
1197	FTR0-B02000-032	MECH	Fin Tube Radiation	02	OFFICE	217E		4	5			
1198	FTR0-B02000-033	MECH	Fin Tube Radiation	02	OFFICE	214B		3	5	3	2	5
1199	FTR0-B02000-034	MECH	Fin Tube Radiation	02	OFFICE	214B		3	5	3	2	5
1200	FTR0-B02000-035	MECH	Fin Tube Radiation	02	OFFICE	214D		4	5	3	2	5
1201	FTR0-B02000-036	MECH	Fin Tube Radiation	02	STORAGE ROOM	214J		4	5	3	2	5
1202	FTR0-B02000-037	MECH	Fin Tube Radiation	02	OPEN OFFICE	208		4	5	3	2	5
1203	FTR0-B02000-038	MECH	Fin Tube Radiation	02	OPEN OFFICE	208		4	5	3	2	5
1204	FTR0-B02000-039	MECH	Fin Tube Radiation	02	OFFICE	219E		4	5	3	2	5
1205	FTR0-B02000-040	MECH	Fin Tube Radiation	02	RESTROOM	219C		4	5	3	1	5
1206	FTR0-B02000-041	MECH	Fin Tube Radiation	02	CONFERENCE ROOM	202		4	5	3	2	5
1207	FTR0-B02000-042	MECH	Fin Tube Radiation	02	CONFERENCE ROOM	202		4	5	3	2	5
1208	FTR0-B02000-043	MECH	Fin Tube Radiation	02	COURTROO	53		4	5	3	2	5
1209	FTR0-B02000-044	MECH	Fin Tube Radiation	02	COURTROO	53	201A	4	5	3	2	5
1210	FTR0-B02000-045	MECH	Fin Tube Radiation	02	RESTROOM	220B		4	5	3	2	5
1211	FTR0-B02000-046	MECH	Fin Tube Radiation	02	COURTROO	52	222	4	5	3	2	5
1212	FTR0-B02000-047	MECH	Fin Tube Radiation	02	COURTROO	52	222	4	5	3	2	5
1213	FTR0-B02000-048	MECH	Fin Tube Radiation	02	COURTROO	52	222	4	5	2	3	5
1214	FTR0-B02000-049	MECH	Fin Tube Radiation	02	RESTROOM	228M		4	5			
1215	FTR0-B02000-050	MECH	Fin Tube Radiation	02	OFFICE	228L		4	5	3	2	5
1216	FTR0-B02000-051	MECH	Fin Tube Radiation	02	OFFICE	228K		4	5	3	2	5
1217	FTR0-B02000-052	MECH	Fin Tube Radiation	02	OFFICE	228K		4	5	3	2	5
1218	FTR0-B02000-053	MECH	Fin Tube Radiation	02	OFFICE	228I		4	5	3	2	5
1219	FTR0-B02000-054	MECH	Fin Tube Radiation	02	OFFICE	228I		4	5	3	2	5
1220	FTR0-B02000-055	MECH	Fin Tube Radiation	02	OFFICE	228G		4	5	3	2	5
1221	FTR0-B02000-056	MECH	Fin Tube Radiation	02	OFFICE	228G		4	5	3	2	5
1222	FTR0-B02000-057	MECH	Fin Tube Radiation	02	OFFICE	228F		4	5	3	2	5
1223	FTR0-B02000-058	MECH	Fin Tube Radiation	02	OFFICE	228F		4	5	3	2	5
1224	FTR0-B03000-001	MECH	Fin Tube Radiation	03	STAIR - PUBLIC	A3		1	5	3	3	5
1225	FTR0-B03000-002	MECH	Fin Tube Radiation	03	RESTROOM	304A		4	5	3	2	5
1226	FTR0-B03000-003	MECH	Fin Tube Radiation	03	RESTROOM	311D		4	5	3	2	5
1227	FTR0-B03000-004	MECH	Fin Tube Radiation	03	OPEN OFFICE	315A		4	5	3	2	5
1228	FTR0-B03000-005	MECH	Fin Tube Radiation	03	RESTROOM	315C		3	5	3	2	5
1229	FTR0-B03000-006	MECH	Fin Tube Radiation	03	OFFICE	305B		3	5	3	2	5
1230	FTR0-B03000-007	MECH	Fin Tube Radiation	03	OPEN OFFICE	308		3	5	3	2	5
1231	FTR0-B03000-008	MECH	Fin Tube Radiation	03	OPEN OFFICE	308		3	2	3	2	5
1232	FTR0-B03000-009	MECH	Fin Tube Radiation	03	OFFICE	303B		3	5	3	2	5
1233	FTR0-B03000-010	MECH	Fin Tube Radiation	03	OFFICE	302C		3	5	3	2	5
1234	FTR0-B03000-011	MECH	Fin Tube Radiation	03	OPEN OFFICE	301		4	5	3	2	5
1235	FTR0-B03000-012	MECH	Fin Tube Radiation	03	OPEN OFFICE	301		4	5	3	2	5
1236	FTR0-B03000-013	MECH	Fin Tube Radiation	03	OPEN OFFICE	322A		4	5	3	2	5
1237	FTR0-B03000-014	MECH	Fin Tube Radiation	03	OPEN OFFICE	322A		4	5	3	2	5
1238	FTR0-B03000-015	MECH	Fin Tube Radiation	03	OPEN OFFICE	322A		4	5	3	2	5
1239	FTR0-B03000-016	MECH	Fin Tube Radiation	03	OPEN OFFICE	317B		3	5	3	2	5
1240	FTR0-B03000-017	MECH	Fin Tube Radiation	03	OPEN OFFICE	317B		4	5	3	2	5
1241	FTR0-B03000-018	MECH	Fin Tube Radiation	03	OPEN OFFICE	317B		3	5	3	2	5
1242	FTR0-B03000-019	MECH	Fin Tube Radiation	03	RESTROOM	326J		4	5			
1243	FTR0-B03000-020	MECH	Fin Tube Radiation	03	OFFICE	326B		4	5	3	2	5
1244	FTR0-B03000-021	MECH	Fin Tube Radiation	03	RESTROOM	328B		4	5	3	2	5
1245	FTR0-B03000-022	MECH	Fin Tube Radiation	03	OFFICE	230A		4	5	3	2	5
1246	FTR0-B03000-023	MECH	Fin Tube Radiation	03	RESTROOM	330C		4	5	3	2	5
1247	FTR0-B03000-024	MECH	Fin Tube Radiation	03	OFFICE	327F		4	5			
1248	FTR0-B03000-025	MECH	Fin Tube Radiation	03	OFFICE	327F		4	5	3	2	5
1249	FTR0-B03000-026	MECH	Fin Tube Radiation	03	RESTROOM	320B		4	5	3	2	5
1250	FTR0-B03000-027	MECH	Fin Tube Radiation	03	RESTROOM	310D		4	5	3	2	5
1251	FTR0-B03000-028	MECH	Fin Tube Radiation	03	OPEN OFFICE	310A		4	5	3	2	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1252	FTR0-B03000-029	MECH	Fin Tube Radiation	03	OFFICE	314E		3	4	3	2	5
1253	FTR0-B03000-030	MECH	Fin Tube Radiation	03	OFFICE	314F		3	5	3	2	5
1254	FTR0-B03000-031	MECH	Fin Tube Radiation	03	OFFICE	314D		4	4	3	2	5
1255	FTR0-B03000-032	MECH	Fin Tube Radiation	03	RESTROOM	314H		3	5	3	2	5
1256	FTR0-B03000-033	MECH	Fin Tube Radiation	03	RESTROOM	314C		4	5	3	2	5
1257	FTR0-B03000-034	MECH	Fin Tube Radiation	03	OFFICE	314B		4	4	3	2	5
1258	FTR0-B03000-035	MECH	Fin Tube Radiation	03	OFFICE	314B		4	4	3	2	5
1259	FTR0-B03000-036	MECH	Fin Tube Radiation	03	OFFICE	316		3	2	3	2	4
1260	FTR0-B03000-037	MECH	Fin Tube Radiation	03	OFFICE	311C		3	5	3	2	5
1261	FTR0-B03000-038	MECH	Fin Tube Radiation	03	OPEN OFFICE	315A		3	5	3	2	5
1262	FTR0-B03000-039	MECH	Fin Tube Radiation	03	OPEN OFFICE	315A		3	5	3	2	5
1263	FTR0-B03000-040	MECH	Fin Tube Radiation	03	OPEN OFFICE	315A		3	5	3	2	5
1264	FTR0-B03000-041	MECH	Fin Tube Radiation	03	OPEN OFFICE	305A		4	4	3	2	2
1265	FTR0-B03000-042	MECH	Fin Tube Radiation	03	OPEN OFFICE	305A		4	4	3	2	3
1266	FTR0-B03000-043	MECH	Fin Tube Radiation	03	OPEN OFFICE	305A		3	5	3	2	5
1267	FTR0-B03000-044	MECH	Fin Tube Radiation	03	OPEN OFFICE	308		3	5	3	2	5
1268	FTR0-B03000-045	MECH	Fin Tube Radiation	03	OFFICE	302B		4	5	3	2	5
1269	FTR0-B03000-046	MECH	Fin Tube Radiation	03	OPEN OFFICE	301		4	5	3	2	5
1270	FTR0-B03000-047	MECH	Fin Tube Radiation	03	OFFICE	322D		4	5	3	2	5
1271	FTR0-B03000-048	MECH	Fin Tube Radiation	03	OPEN OFFICE	317A		4	5	3	2	5
1272	FTR0-B03000-049	MECH	Fin Tube Radiation	03	OPEN OFFICE	317C		4	5	3	2	5
1273	FTR0-B03000-050	MECH	Fin Tube Radiation	03	OFFICE	326G		4	5	3	2	5
1274	FTR0-B03000-051	MECH	Fin Tube Radiation	03	OFFICE	326F		4	5	2	3	5
1275	FTR0-B03000-052	MECH	Fin Tube Radiation	03	RESTROOM	326E		4	5	3	1	5
1276	FTR0-B03000-053	MECH	Fin Tube Radiation	03	OFFICE	328		4	5	3	2	5
1277	FTR0-B03000-054	MECH	Fin Tube Radiation	03	OFFICE	328		4	5	3	2	5
1278	FTR0-B03000-055	MECH	Fin Tube Radiation	03	OFFICE	330B		4	5	3	2	5
1279	FTR0-B03000-056	MECH	Fin Tube Radiation	03	OFFICE	330B		4	5	3	2	5
1280	FTR0-B03000-057	MECH	Fin Tube Radiation	03	RESTROOM	327H		4	5	3	2	5
1281	FTR0-B03000-058	MECH	Fin Tube Radiation	03	OFFICE	327C		4	5	3	2	5
1282	FTR0-B03000-059	MECH	Fin Tube Radiation	03	RESTROOM	327E		4	5	3	1	5
1283	FTR0-B03000-060	MECH	Fin Tube Radiation	03	OFFICE	311C		4	4			
						STORAGE						
1284	FTR0-BB1000-001	MECH	Fin Tube Radiation	B1	ROOM	B46		2	2	3	1	3
1285	FTR0-BB1000-002	MECH	Fin Tube Radiation	B1	CLASSROOM	B44		2	5	2	2	5
						EQUIPMENT						
1286	FTR0-BPH000-001	MECH	Fin Tube Radiation	PH	ROOM	401		4	5	3	1	5
						EQUIPMENT						
1287	FTR0-BPH000-002	MECH	Fin Tube Radiation	PH	ROOM	405		3	3	1	1	5
						EQUIPMENT						
1288	FTR0-BPH000-003	MECH	Fin Tube Radiation	PH	ROOM	405	Fin tube	3	3	3	1	5
						EQUIPMENT						
1289	FTR0-BPH000-004	MECH	Fin Tube Radiation	PH	ROOM	400B		4	5	3	1	5
1290	GRD0-B01000-001	MECH	Grilles and Diffusers	01				4	5	3	3	5
1291	GRD0-B02000-001	MECH	Grilles and Diffusers	02				5	5	3	2	5
1292	GRD0-B03000-001	MECH	Grilles and Diffusers	03					5			
							Not applicable					
1293	GRD0-BB1SAH-001	MECH	Grilles and Diffusers	B1				3	5	3	2	4
1294	HHID-B01000-001	MECH	Distribution Systems	01				5	5	3	1	5
1295	HHID-B02000-001	MECH	Distribution Systems	02				5	5	3	1	5
1296	HHID-B03000-001	MECH	Distribution Systems	03				5	5	3	1	5
1297	HHID-BB1000-001	MECH	Distribution Systems	B1				5	5	3	1	5
1298	HHID-BHP000-001	MECH	Distribution Systems	PH				5	5	3	1	5
						Heating Hot Water Pipe						
1299	HHIN-B01000-001	MECH	Insulation	01					5			
						Heating Hot Water Pipe						
1300	HHIN-B02000-001	MECH	Insulation	02				5	5	3	1	5
						Heating Hot Water Pipe						
1301	HHIN-B03000-001	MECH	Insulation	03				5	4	3	1	5
						Heating Hot Water Pipe						
1302	HHIN-BB1000-001	MECH	Insulation	B1				5	5	3	1	5
						Heating Hot Water Pipe						
1303	HHIN-BPH000-001	MECH	Insulation	PH				2	2	3	1	5
						Heating Hot Water						
1304	HHMG-B01000-001	MECH	Meters, Manual Valves, Gauges	01				5	5	3	1	5
						Heating Hot Water						
1305	HHMG-B02000-001	MECH	Meters, Manual Valves, Gauges	02				5	5	3	1	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1306	HHMG-B03000-001	MECH	Heating Hot Water Meters, Manual Valves, Gauges	03					5			
1307	HHMG-BB1000-001	MECH	Heating Hot Water Meters, Manual Valves, Gauges	B1				3	4	3	1	5
1308	HHMG-BPH000-001	MECH	Heating Hot Water Meters, Manual Valves, Gauges	PH				4	5	3	1	5
1309	HHPF-B01000-001	MECH	Heating Hot Water Piping and Fittings	01				5	5	3	1	5
1310	HHPF-B02000-001	MECH	Heating Hot Water Piping and Fittings	02				5	5	3	1	5
1311	HHPF-B03000-001	MECH	Heating Hot Water Piping and Fittings	03				5	5	3	1	5
1312	HHPF-BB1000-001	MECH	Heating Hot Water Piping and Fittings	B1	EQUIPMENT ROOM	B19		4	5	3	1	5
1313	HHPF-BHP000-001	MECH	Heating Hot Water Piping and Fittings	PH				4	5	3	1	5
1314	HHPR-B01000-001	MECH	Heating Hot Water Piping - Riser	01					5			
1315	HHPR-B02000-001	MECH	Heating Hot Water Piping - Riser	02					5			
1316	HHPR-B03000-001	MECH	Heating Hot Water Piping - Riser	03					5			
1317	HHPR-BPH000-001	MECH	Heating Hot Water Piping - Riser	PH				4	5	3	1	5
1318	HRRU0-BPH000-001	MECH	Heat Recovery Unit	PH	EQUIPMENT ROOM	Not applicable		3	3	3	1	5
1319	HRRU0-BPH000-002	MECH	Heat Recovery Unit	PH	EQUIPMENT ROOM	408	HRP-2 Air to Air heat exchanger	3	3	3	1	5
1320	HUM0-BB1000-001	MECH	Humidifiers	B1	EQUIPMENT ROOM	B19	Room number from drawings	4	5	3	1	4
1321	HUM0-BPH000-001	MECH	Humidifiers	PH	EQUIPMENT ROOM	400A		2	2	3	1	5
1322	HUM0-BPH000-002	MECH	Humidifiers	PH	EQUIPMENT ROOM	400B	AHU-2 Humidifier	2	2	1	1	5
1323	HWPO-BB1000-001	MECH	Heating Hot Water Pumps	B1	EQUIPMENT ROOM	B19	HWP-1 Hot water pump serving AHU-1, 2 and 3	3	2	3	1	5
1324	HWPO-BB1000-002	MECH	Heating Hot Water Pumps	B1	EQUIPMENT ROOM	B19	HWP-2 Hot water pump serving AHU-1%2C 2 and 3	3	2	3	1	5
1325	HWPO-BB1000-003	MECH	Heating Hot Water Pumps	B1	EQUIPMENT ROOM	B19	SHP-1 Secondary hot water pump serves vav boxes and fin tube radiators	3	2	3	1	5
1326	HWPO-BB1000-004	MECH	Heating Hot Water Pumps	B1	EQUIPMENT ROOM	B19	SHP-2 Secondary hot water pump stand by use-Serving VAV boxes and fin tube radiator	3	2	3	1	5
1327	HWPO-BB1000-005	MECH	Heating Hot Water Pumps	B1	EQUIPMENT ROOM	B19	RCP-3 Hot water circulator pump - serving AHU 3	5	5	3	1	4
1328	HWPO-BPH000-001	MECH	Heating Hot Water Pumps	PH	EQUIPMENT ROOM	400A		3	3	3	1	5
1329	HWPO-BPH000-002	MECH	Heating Hot Water Pumps	PH	EQUIPMENT ROOM	400B		3	3	3	1	5
1330	HX00-BB1000-001	MECH	Heat Exchangers	B1	EQUIPMENT ROOM	B42	HE-1 Steam to water heat exchanger	4	4	3	1	3
1331	IACP-BB1000-001	MECH	Instrument Air Compressors	B1	EQUIPMENT ROOM	B19	Room number from drawing		4			
1332	IACP-BB1000-002	MECH	Instrument Air Compressors	B1	EQUIPMENT ROOM	B19			4			
1333	OLWT-BB1000-001	MECH	Open Loop Water Treatment	B1	EQUIPMENT ROOM	B18	Room # from drawing	5	5	3	1	3
1334	PIHS-B01000-001	MECH	Piping Hangers & Supports	01				5	5	3	1	5
1335	PIHS-B02000-001	MECH	Piping Hangers & Supports	02				5	5	3	1	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1336	PIHS-B03000-001	MECH	Piping Hangers & Supports	03				5	5	3	1	5
1337	PIHS-BB1000-001	MECH	Piping Hangers & Supports	B1				4	5	3	1	5
1338	PIHS-BPH000-001	MECH	Piping Hangers & Supports	PH				4	5	3	1	5
1339	PUID-B01000-001	MECH	Packaged Unit - Indoor	01	SECURITY	116	Split indoor; Existing ID: 01275	5	5	3	1	5
1340	PUID-B01000-002	MECH	Packaged Unit - Indoor	01	SECURITY	116	Split indoor unit	5	5	3	2	5
1341	PUID-B01000-003	MECH	Packaged Unit - Indoor	01			Existing Asset ID: 00137	5	5	3	1	5
1342	PUID-B03000-001	MECH	Packaged Unit - Indoor	03		309	Existing inventory Id 00139	5	5	3	1	5
1343	PUID-B03000-002	MECH	Packaged Unit - Indoor	03	EQUIPMENT ROOM	309	140	5	5	3	1	5
1344	PUID-BPH000-001	MECH	Packaged Unit - Indoor	PH	EQUIPMENT ROOM	405	SPLIT SYSTEM INDOOR UNIT	4	4	3	1	5
1345	PUID-BPH000-002	MECH	Packaged Unit - Indoor	PH	EQUIPMENT ROOM	401		4	4	3	1	5
1346	PUID-BPH000-003	MECH	Packaged Unit - Indoor	PH	EQUIPMENT ROOM	401		3	4	3	1	5
1347	PUOD-B00SSW-001	MECH	Packaged Unit - Outdoor	B1					5			
1348	PUOD-BB1000-001	MECH	Packaged Unit - Outdoor	B1	AIR INTAKE WELL	B18	Air intake well outside B18	4	2	3	1	2
1349	PUOD-BB1000-002	MECH	Other Cooling Generating Systems	B1	AIR INTAKE WELL	B18	In air intake well outside B18	4	4	3	1	2
1350	PUOD-BPH000-001	MECH	Packaged Unit - Outdoor	PH	EQUIPMENT ROOM		Not applicable		5			
1351	PUOD-BPH000-002	MECH	Packaged Unit - Outdoor	PH	EQUIPMENT ROOM	405			5			
1352	PUOD-BPH000-003	MECH	Packaged Unit - Outdoor	PH	EQUIPMENT ROOM	400B	Elevator machine room outdoor unit	3	3	3	1	5
1353	PUOD-BPH000-004	MECH	Other Cooling Generating Systems	PH		400B	Existing Asset ID:00153 Outdoor unit	3	3	3	1	5
1354	PUOD-BPH000-005	MECH	Packaged Unit - Outdoor	PH		400B	Existing assets ID 00152	3	3	3	1	5
1355	PUOD-BPH000-006	MECH	Packaged Unit - Outdoor	PH	EQUIPMENT ROOM	404		4	4	3	1	5
1356	RF00-BB1000-001	MECH	Return Fan	B1	EQUIPMENT ROOM	B19	Room # from drawing	5	5	3	1	4
1357	RF00-BPH000-001	MECH	Return Fan	PH	EQUIPMENT ROOM	400A		4	4	1	1	5
1358	RF00-BPH000-002	MECH	Return Fan	PH	EQUIPMENT ROOM	400B	RF-2 Return fan serving AHU-2	4	4	3	1	5
1359	RFID-B01000-001	MECH	Refrigerant Pipe Identification	01				3	4			
1360	RFID-B03000-001	MECH	Refrigerant Pipe Identification	03				3	4			
1361	RFID-BB1000-001	MECH	Refrigerant Pipe Identification	B1				3	3	1	1	5
1362	RFID-BPH000-001	MECH	Refrigerant Pipe Identification	PH				3	2	3	1	5
1363	RFIN-B01000-001	MECH	Refrigerant Pipe Insulation	01				3	4			
1364	RFIN-B03000-001	MECH	Refrigerant Pipe Insulation	03				3	4			
1365	RFIN-BB1000-001	MECH	Refrigerant Pipe Insulation	B1				3	4	3	1	5
1366	RFIN-BPH000-001	MECH	Refrigerant Pipe Insulation	PH				3	3	3	3	5
1367	RFMG-B01000-001	MECH	Refrigerant Meters, Manual Valves, Gauges	01				5	5			
1368	RFMG-B03000-001	MECH	Refrigerant Meters, Manual Valves, Gauges	03				5	5			
1369	RFMG-BB1000-001	MECH	Refrigerant Meters, Manual Valves, Gauges	B1				4	4	3	1	5
1370	RFMG-BPH000-001	MECH	Refrigerant Meters, Manual Valves, Gauges	PH				3	4	3	1	5
1371	RFPF-B01000-001	MECH	Refrigerant Pipe and Fittings	01				5	5			

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1372	RFPF-B03000-001	MECH	Refrigerant Pipe and Fittings	03				5	5			
1373	RFPF-BB1000-001	MECH	Refrigerant Pipe and Fittings	B1	EQUIPMENT ROOM	B39		4	4	3	1	5
1374	RFPF-BPH000-001	MECH	Refrigerant Pipe and Fittings	PH				4	4	3	1	5
1375	STAT-B01000-001	MECH	Thermostat	01				5	5	3	2	5
1376	STAT-B02000-001	MECH	Thermostat	02				5	5	3	2	5
1377	STAT-B03000-001	MECH	Thermostat	03				4	5	3	1	5
1378	STAT-BPH000-001	MECH	Thermostat	PH				3	4	3	1	4
1379	STCP-BB1000-001	MECH	Steam Condensate Pump	B1	EQUIPMENT ROOM	B42	Condensate pump	1	1	3	1	4
1380	STID-B01000-001	MECH	Steam Pipe Identification	01					5			
1381	STID-B02000-001	MECH	Steam Pipe Identification	02					5			
1382	STID-B03000-001	MECH	Steam Pipe Identification	03					5			
1383	STID-BB1000-001	MECH	Steam Pipe Identification	B1				2	3	3	1	5
1384	STID-BPH000-001	MECH	Steam Pipe Identification	PH				5	5	3	1	5
1385	STIN-B01000-001	MECH	Steam Pipe Insulation	01					5			
1386	STIN-B02000-001	MECH	Steam Pipe Insulation	02					5			
1387	STIN-B03000-001	MECH	Steam Pipe Insulation	03					5			
1388	STIN-BB1000-001	MECH	Steam Pipe Insulation	B1				3	5	3	1	5
1389	STIN-BPH000-001	MECH	Steam Pipe Insulation	PH				4	5	3	1	5
1390	STMG-B01000-001	MECH	Steam Pipe Meters, Manual Valves, Gauges	01					5			
1391	STMG-B02000-001	MECH	Steam Pipe Meters, Manual Valves, Gauges	02					5			
1392	STMG-B03000-001	MECH	Steam Pipe Meters, Manual Valves, Gauges	03					5			
1393	STPF-B01000-001	MECH	Steam Pipe and Fittings	01					5			
1394	STPF-B02000-001	MECH	Steam Pipe and Fittings	02					5			
1395	STPF-B03000-001	MECH	Steam Pipe and Fittings	03					5			
1396	STPF-BB1000-001	MECH	Steam Pipe and Fittings	B1		B19		2	2	2	1	5
1397	STPF-BPH000-001	MECH	Steam Pipe and Fittings	PH				4	5	3	1	5
1398	STTO-B01000-001	MECH	Steam Traps	01					5			
1399	STTO-B02000-001	MECH	Steam Traps	02					5			
1400	STTO-B03000-001	MECH	Steam Traps	03					5			
1401	STTO-BB1000-001	MECH	Steam Traps	B1	EQUIPMENT ROOM	B42	Steam traps	2	3	3	1	5
1402	UH00-BB1000-001	MECH	Unit Heaters	B1	EQUIPMENT ROOM	B18	Room # from drawing	3	2	3	1	5
1403	UH00-BB1000-002	MECH	Unit Heaters	B1	RESTROOM	Near B50			5			
1404	VALV-B01000-001	MECH	Control Valves	01					5			
1405	VALV-B02000-001	MECH	Control Valves	02					5			
1406	VALV-B03000-001	MECH	Control Valves	03					5			
1407	VALV-BPH000-001	MECH	Control Valves	PH				3	4	3	1	5
1408	VAV0-B01000-001	MECH	VAV	01	CONFERENCE ROOM	112	Regular VAV(NO TAG)	5	5	3	2	5
1409	BAS0-B00000-001	MECH	Building Automation Systems	00				3	3		1	4
1410	DUAC-BB1000-001	MECH	Ductwork Accessories	B1				4	4	3	1	5
1411	GRD0-BB1000-001	MECH	Grilles and Diffusers	B1				4	4	4	2	5
1412	DUAC-B01000-001	MECH	Ductwork Accessories	01				4	4	3	1	4
1413	DUAC-B02000-001	MECH	Ductwork Accessories	02				4	4	3	1	5
1414	DUAC-B03000-001	MECH	Ductwork Accessories	03				4	4	3	1	5
1415	DUAC-BB1SAH-S01	MECH	Ductwork Accessories	B1				2	2	3	2	3
1416	DUIIN-BB1SAH-S01	MECH	Ductwork Insulation	B1				2	2	3	2	3
1417	DUIIN-BB1000-001	MECH	Ductwork Insulation	B1				3	3	3	1	4
1418	DUIIN-B01000-001	MECH	Ductwork Insulation	01				4	4	3	1	5
1419	DUIIN-B02000-001	MECH	Distribution Systems	02				4	4	3	1	5
1420	DUIIN-B03000-001	MECH	Distribution Systems	03				4	4	3	1	5
1421	DUAC-BPH000-001	MECH	Ductwork Accessories	PH					4	3	1	4
1422	DUIIN-BPH000-001	MECH	Ductwork Insulation	PH				3	3	3	1	4
1423	VALV-BB1000-001	MECH	Control Valves	B1				4	5	3	1	4
1424	FSD0-BPH000-001	MECH;FP	Fire/Smoke Damper	PH				3	3	3	1	5
1425	RFLA-BB1000-001	MECH;FP	Refrigeration Systems	B1	EQUIPMENT ROOM	B18	Room # from drawing	1	1	3	1	3
1426	DFC0-B01000-001	PLUMB	Drinking Fountains and Coolers	01	RESTROOM			3	2		3	

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1427	DFCO-B01000-H02	PLUMB	Drinking Fountains and Coolers	01	PUBLIC / COMMON SPACE			2	2			
1428	DFCO-B02000-001	PLUMB	Drinking Fountains and Coolers	02	PUBLIC / COMMON SPACE				4			
1429	DFCO-B02000-H02	PLUMB	Drinking Fountains and Coolers	02	PUBLIC / COMMON SPACE			2	2			
1430	DFCO-B03000-H02	PLUMB	Drinking Fountains and Coolers	03	PUBLIC / COMMON SPACE			2	2			
1431	DFCO-BB1000-001	PLUMB	Drinking Fountains and Coolers	B1	RESTROOM			1	1	3	1	4
1432	DFCO-BB1SAH-S01	PLUMB	Drinking Fountains and Coolers	B1				1	1		1	
1433	DFC-B03000-001	PLUMB	Drinking Fountains and Coolers	03	RESTROOM				4			
1434	DHWP-BB1000-001	PLUMB	Domestic Hot Water Pump	B1	EQUIPMENT ROOM	B42		3	4		1	
1435	DWEQ-BB1000-001	PLUMB	Domestic Water Equipment	B1	EQUIPMENT ROOM	B42	Existing tag# 00126	4	5	3	1	
1436	DWID-B01000-001	PLUMB	Identification - Domestic	01					5			
1437	DWID-B02000-001	PLUMB	Identification - Domestic	02					5			
1438	DWID-B03000-001	PLUMB	Identification - Domestic	03					5			
1439	DWID-BB1000-001	PLUMB	Identification - Domestic	B1	EQUIPMENT ROOM				5			
1440	DWID-BPH000-001	PLUMB	Identification - Domestic	PH	EQUIPMENT ROOM				5			
1441	DWIN-B02000-001	PLUMB	Insulation - Domestic	02					5			
1442	DWIN-B03000-001	PLUMB	Insulation - Domestic	03					5			
1443	DWIN-BB1000-001	PLUMB	Insulation - Domestic	B1	EQUIPMENT ROOM		Not applicable	3	3	3	1	
1444	DWM0-BB1000-001	PLUMB	Other Domestic Water Supply	B1	EQUIPMENT ROOM	Stair C	#0070170955 water meter	3	5		1	
1445	DWPF-B02000-001	PLUMB	Pipes and Fittings	02				3	3		1	
1446	DWPF-B03000-001	PLUMB	Pipes and Fittings	03					5			
1447	DWPF-BB1000-001	PLUMB	Pipes and Fittings	B1				4	4	3	1	
1448	DWPF-BB1SAH-S01	PLUMB	Pipes and Fittings	B1			Not applicable	1	1		1	
1449	DWPF-BPH000-001	PLUMB	Pipes and Fittings	PH	EQUIPMENT ROOM				5			
1450	DWVH-B01000-001	PLUMB	Valves and Hydrants	01				3	3		3	
1451	DWVH-B02000-001	PLUMB	Valves and Hydrants	02				3	3		1	
1452	DWVH-B03000-001	PLUMB	Valves and Hydrants	03				3	3		1	
1453	DWVH-BB1000-001	PLUMB	Valves and Hydrants	B1	EQUIPMENT ROOM			3	3	3	1	
1454	DWVH-BPH000-001	PLUMB	Valves and Hydrants	PH	EQUIPMENT ROOM				5			
1455	DWVH-BPHBFP-001	PLUMB	Back Flow Preventor - FP	PH	EQUIPMENT ROOM		BFP	4	5	3	1	5
1456	FLDR-B01000-001	PLUMB	Floor Drains	01	RESTROOM			3	3		3	
1457	FLDR-B02000-001	PLUMB	Floor Drains	02				3	3		3	
1458	FLDR-B03000-001	PLUMB	Floor Drains	03				3	3		3	
1459	FLDR-BB1000-001	PLUMB	Floor Drains	B1	EQUIPMENT ROOM	B19		3	3	3	1	3
1460	GREG-B01000-001	PLUMB	Other Special Plumbing Systems	B1	EQUIPMENT ROOM	B19		3	5		1	
1461	GREG-BB1000-002	PLUMB	Other Special Plumbing Systems	B1				3	5		1	
1462	LAVO-B01000-001	PLUMB	Lavatories	01	RESTROOM			4	3		3	
1463	LAVO-BB1000-001	PLUMB	Lavatories	B1	RESTROOM		Not applicable	4	5	3	1	3
1464	LAVO-BB1000-002	PLUMB	Lavatories	B1	RESTROOM		Stainless steel plumbing fixtures	4	5	3	1	
1465	LAVO-BB1SAH-S01	PLUMB	Lavatories	B1				1	1	3	1	
1466	LAV-B02000-001	PLUMB	Lavatories	02	RESTROOM			3	3		3	
1467	LAV-B03000-001	PLUMB	Lavatories	03	RESTROOM			3	3		3	
1468	LFST-B00000-001	PLUMB	Oil Supply System	00				3	3		1	

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1469	NG00-BB1000-001	PLUMB	Gas Distribution Piping (Natural and Propane)	B1	EQUIPMENT ROOM	B19		1	4	1		
1470	RD00-BR1000-001	PLUMB	Roof Drains	R1				3	3	3	1	5
1471	RWID-BB1000-001	PLUMB	Rain Water Drainage	B1	EQUIPMENT ROOM			5	5			
1472	RWID-BPH000-001	PLUMB	Identification - Domestic	PH	EQUIPMENT ROOM				4			
1473	RWPF-B01000-001	PLUMB	Pipe and Fittings	01				3	4	1		
1474	RWPF-BPH000-001	PLUMB	Pipe and Fittings	PH				3	3	1		
1475	SE00-BB1000-001	PLUMB	Sewage Ejector Pump	B1	EQUIPMENT ROOM	B09	Existing tag #00281	3	3	3	1	
1476	SE00-BB1000-002	PLUMB	Sewage Ejector Pump	B1		SB101	Sewage ejector pump	1	1	1	1	
1477	SHTU-B02000-001	PLUMB	Showers/Tubs	02	RESTROOM	219C			5			
1478	SHTU-B03000-001	PLUMB	Showers/Tubs	03	RESTROOM				5			
1479	SHTU-BB1000-001	PLUMB	Showers/Tubs	B1	RESTROOM		Not applicable	4	5	3	1	5
1480	SINK-B01000-001	PLUMB	Sinks	01				3	3		2	
1481	SINK-B02000-001	PLUMB	Sinks	02				3	3		1	
1482	SINK-B03000-001	PLUMB	Sinks	03				3	3		2	
1483	SINK-BB1000-001	PLUMB	Sinks	B1	EQUIPMENT ROOM			4	5	3	1	
1484	SP00-BB1000-001	PLUMB	Storm Drainage Pump	B1	EQUIPMENT ROOM	B42	Sump pump	3	2	3	1	
1485	SP00-BB1000-002	PLUMB	Storm Drainage Pump	B1	EQUIPMENT ROOM	B18	Existing tag 00108	3	2	3	1	
1486	URIN-B01000-001	PLUMB	Urinals	01	RESTROOM			4	3	3	3	
1487	URIN-B02000-001	PLUMB	Urinals	02	RESTROOM			3	3		3	
1488	URIN-B03000-001	PLUMB	Urinals	03	RESTROOM			3	3		3	
1489	URIN-BB1000-001	PLUMB	Urinals	B1	RESTROOM		Not applicable	4	5	3	3	5
1490	URIN-BB1000-002	PLUMB	Urinals	B1			Stainless steel plumbing fixtures	4	3	3	1	
1491	VPFO-B02000-001	PLUMB	Vent Pipe and Fittings	02				3	3		1	
1492	VPFO-B03000-001	PLUMB	Vent Pipe and Fittings	03				3	3		1	
1493	VPFO-BB1000-001	PLUMB	Vent Pipe and Fittings	B1	EQUIPMENT ROOM				5			
1494	VPFO-BB1SAH-S01	PLUMB	Vent Pipe and Fittings	B1				1	1	3	1	
1495	VPFO-BPH000-001	PLUMB	Vent Pipe and Fittings	PH	EQUIPMENT ROOM				5			
1496	VPFO-BR1000-001	PLUMB	Vent Pipe and Fittings	R1				3	3	3	1	5
1497	WC00-B01000-001	PLUMB	WaterClosets	01	RESTROOM			3	3		3	
1498	WC00-B02000-001	PLUMB	WaterClosets	02	RESTROOM			3	3		1	
1499	WC00-B03000-001	PLUMB	WaterClosets	03	RESTROOM			3	3	3	3	5
1500	WC00-BB1000-001	PLUMB	WaterClosets	B1	RESTROOM		Not applicable	3	4		1	
1501	WC00-BB1000-002	PLUMB	WaterClosets	B1			Stainless steel plumbing fixtures	3	4		1	
1502	WC00-BB1SAH-S01	PLUMB	WaterClosets	B1				1	1	3	1	
1503	WHEL-BB1000-001	PLUMB	Water Heater - Elec	B1		Jan & B42	Existing tag 00277	4	3		1	
1504	WIDO-B02000-001	PLUMB	Identification - Domestic	02					5			
1505	WIDO-B03000-001	PLUMB	Identification - Domestic	03					5			
1506	WIDO-BB1000-001	PLUMB	Identification - Domestic	B1	EQUIPMENT ROOM				5		1	
1507	WIDO-BPH000-001	PLUMB	Identification - Domestic	PH	EQUIPMENT ROOM				5			
1508	WPF0-B01000-001	PLUMB	Identification - Domestic	01				3	3		3	
1509	WPF0-B02000-001	PLUMB	Waste Pipe and fittings	02				3	3		1	
1510	WPF0-B03000-001	PLUMB	Waste Pipe and fittings	03				3	3		1	
1511	WPF0-BB1000-001	PLUMB	Waste Pipe and fittings	B1	EQUIPMENT ROOM				5			
1512	WPF0-BPH000-001	PLUMB	Waste Pipe and fittings	PH	EQUIPMENT ROOM			3	3		1	
1513	WPF0-BB1SAH-S01	PLUMB	Waste Pipe and fittings	B1				3	4		1	
1514	FLDR-BPH000-001	PLUMB	Floor Drains	PH								
1515	DWPF-B01000-001	PLUMB	Domestic Water Distribution	01								
1516	GDPP-BB1000-001	PLUMB;ELEC	Oil Supply System	B1				3	3		1	
1517	PCE0-B00BNW-001	SEC	Parking Control Equipment	00	Site Parking Entrance			4	4	3	3	2

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1518	PCE0-B00SNE-001	SEC	Parking Control Equipment	00	Parking		Control Point	4	4		3	2
1519	SACS-B00BNE-001	SEC	Access Control Systems	00	Site Parking		Entrance					
1520	SACS-B00SNW-001	SEC	Access Control Systems	00	Site Parking		Entrance				Site Parking Entrance	
1521	SACS-B01000-001	SEC	Access Control Systems	01	SECURE VESTIBULE	100	Security Vestibule				Entrance Vestibule	
1522	SACS-B01BNE-001	SEC	Access Control Systems	01	OFFICE		112A					
1523	SACS-B01BNE-002	SEC	Access Control Systems	01	OFFICE		110D					
1524	SACS-B01BNE-003	SEC	Access Control Systems	01	CONFERENCE ROOM		102					
1525	SACS-B01BNW-001	SEC	Access Control Systems	01	EQUIPMENT ROOM		116	4	3	3	2	5
1526	SACS-B01BNW-002	SEC	Access Control Systems	01	EQUIPMENT ROOM		Security Closet				Security Equipment Room	
1527	SACS-B01BNW-003	SEC	Access Control Systems	01	OFFICE		120B					
1528	SACS-B01BNW-004	SEC	Access Control Systems	01	OFFICE		120F					
1529	SACS-B01BNW-005	SEC	Access Control Systems	01	EQUIPMENT ROOM		Security Closet				Security Equipment Closet - Main	
1530	SACS-B01BSE-001	SEC	Access Control Systems	01	COURTROOM		109					
1531	SACS-B01BSE-002	SEC	Access Control Systems	01	COMM		109D					
1532	SACS-B01BSE-003	SEC	Access Control Systems	01	OFFICE		109F					
1533	SACS-B01BSE-004	SEC	Access Control Systems	01	OFFICE		109F					
1534	SACS-B01BSE-005	SEC	Access Control Systems	01	OFFICE		113.4					
1535	SACS-B01BSE-006	SEC	Access Control Systems	01	CONFERENCE ROOM		113D					
1536	SACS-B01BSW-001	SEC	Access Control Systems	01	OFFICE		123A					
1537	SACS-B01BSW-002	SEC	Access Control Systems	01	OFFICE		123A					
1538	SACS-B01BSW-003	SEC	Access Control Systems	01	OFFICE		115B					
1539	SACS-B01BSW-004	SEC	Access Control Systems	01	OFFICE		121					
1540	SACS-B02BNE-001	SEC	Access Control Systems	02	OPEN OFFICE		208					
1541	SACS-B02BNE-002	SEC	Access Control Systems	02	OFFICE		210					
1542	SACS-B02BNW-001	SEC	Access Control Systems	02	OFFICE		226					
1543	SACS-B02BNW-002	SEC	Access Control Systems	02	OFFICE		224					
1544	SACS-B02BNW-003	SEC	Access Control Systems	02	OFFICE		224A					
1545	SACS-B02BNW-004	SEC	Access Control Systems	02	OPEN OFFICE		222					
1546	SACS-B02BNW-005	SEC	Access Control Systems	02			224C					
1547	SACS-B02BSE-001	SEC	Access Control Systems	02	COURTROOM		201A					
1548	SACS-B02BSE-002	SEC	Access Control Systems	02	OFFICE		201B					
1549	SACS-B02BSE-003	SEC	Access Control Systems	02	OFFICE		215					
1550	SACS-B02BSE-004	SEC	Access Control Systems	02	OFFICE		205					
1551	SACS-B02BSE-005	SEC	Access Control Systems	02	OFFICE		225B					
1552	SACS-B02BSW-001	SEC	Access Control Systems	02	OPEN OFFICE		223					
1553	SACS-B02BSW-002	SEC	Access Control Systems	02	COMM		228M					
1554	SACS-B02BSW-003	SEC	Access Control Systems	02	OFFICE		208					
1555	SACS-B03BSE-001	SEC	Access Control Systems	03	OFFICE		311C					
1556	SACS-B03BSE-002	SEC	Access Control Systems	03	COMM						Telcom Room	
1557	SACS-B03BSE-003	SEC	Access Control Systems	03	COMM		316					
1558	SACS-BB1000-001	SEC	Access Control Systems	B1							Corridor leading to Mech Room	
1559	SACS-BB1000-002	SEC	Access Control Systems	B1	CORRIDOR							
1560	SACS-BB1BNE-001	SEC	Access Control Systems	B1	OFFICE							
1561	SACS-BB1BNE-002	SEC	Access Control Systems	B1								
1562	SACS-BB1BNE-003	SEC	Access Control Systems	B1	Building Exit							
1563	SACS-BB1BNE-004	SEC	Access Control Systems	B1	Building Exit							
1564	SACS-BB1BNW-001	SEC	Access Control Systems	B1	OFFICE							
1565	SACS-BB1BNW-002	SEC	Access Control Systems	B1	TRAINING ROOM							
1566	SACS-BB1BNW-003	SEC	Access Control Systems	B1	Fitness Center							
1567	SACS-BB1BNW-004	SEC	Access Control Systems	B1	STORAGE ROOM							
1568	SACS-BB1BSE-001	SEC	Access Control Systems	B1	EQUIPMENT ROOM		Mech Room				Mechanical Room	
1569	SACS-BB1BSW-001	SEC	Access Control Systems	B1	COMM							
1570	SACS-BB1BSW-002	SEC	Access Control Systems	B1								

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1571	SACS-BB1BSW-003	SEC	Access Control Systems	B1	Mens Locker Room							
1572	SACS-BB1BSW-004	SEC	Access Control Systems	B1	Womens Locker Room							
1573	SACS-BB1BSW-005	SEC	Access Control Systems	B1	Building Exit							
1574	SACS-BB1BSW-006	SEC	Access Control Systems	B1	Cleaning Contractor Room							
1575	SCON-B01000-001	SEC	Contraband Detection	01	CORRIDOR	100	Security Desk					
1576	SCON-B01000-002	SEC	Contraband Detection	01	CORRIDOR	100	Security Desk					
1577	SCP-BB1BNE-001	SEC	Control Panels	B1	DETERTION CONTROL ROOM		Detention Control Desk					
1578	SICS-B00SNE-001	SEC	Intercommunications Systems	00	Site Parking Entrance							
1579	SICS-B00SNW-001	SEC	Intercommunications Systems	00			Parking Entrance					
1580	SICS-B01000-001	SEC	Intercommunications Systems	01	CORRIDOR	100		4	5	3	3	5
1581	SICS-B01000-002	SEC	Intercommunications Systems	01	CORRIDOR	100	Security Desk					
1582	SICS-B01BNE-001	SEC	Intercommunications Systems	01	OFFICE	110D						
1583	SICS-B01BNW-001	SEC	Intercommunications Systems	01	OPEN OFFICE	120B						
1584	SICS-B01BSE-001	SEC	Intercommunications Systems	01	COURTROO M	109						
1585	SICS-B01BSE-002	SEC	Intercommunications Systems	01	OFFICE	109F						
1586	SICS-B01BSE-003	SEC	Intercommunications Systems	01	OFFICE	113.03						
1587	SICS-B01BSE-004	SEC	Intercommunications Systems	01	OFFICE	113.4						
1588	SICS-B01BSE-005	SEC	Intercommunications Systems	01	CONFERENCE ROOM	113B, 113.C, 113D						
1589	SICS-B01BSE-006	SEC	Intercommunications Systems	01	CONFERENCE ROOM	113H						
1590	SICS-B01BSW-001	SEC	Intercommunications Systems	01	OFFICE	123A						
1591	SICS-B01BSW-002	SEC	Intercommunications Systems	01	CONFERENCE ROOM	123A	Multiple Conference Rooms					
1592	SICS-B01BSW-003	SEC	Intercommunications Systems	01	OFFICE	119E						
1593	SICS-B01BSW-004	SEC	Intercommunications Systems	01	OFFICE	119B		4	4	3	3	5
1594	SICS-B02BNE-001	SEC	Intercommunications Systems	02	OPEN OFFICE	219D						
1595	SICS-B02BNE-002	SEC	Intercommunications Systems	02	OFFICE	214D	Directors Office					
1596	SICS-B02BNE-003	SEC	Intercommunications Systems	02	OPEN OFFICE	208						
1597	SICS-B02BNE-004	SEC	Intercommunications Systems	02	OPEN OFFICE	208						
1598	SICS-B02BNE-005	SEC	Intercommunications Systems	02	OFFICE	214A						
1599	SICS-B02BNE-006	SEC	Intercommunications Systems	02	OFFICE	214H						
1600	SICS-B02BNW-001	SEC	Intercommunications Systems	02	OFFICE	228D						
1601	SICS-B02BNW-002	SEC	Intercommunications Systems	02	OFFICE		Chambers K & L					
1602	SICS-B02BNW-003	SEC	Intercommunications Systems	02	COURTROO M	222						

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1603	SICS-B02BSE-001	SEC	Intercommunications Systems	02	COURTROOM	201A						
1604	SICS-B02BSE-002	SEC	Intercommunications Systems	02	OFFICE	201B						
1605	SICS-B02BSE-003	SEC	Intercommunications Systems	02	OFFICE	219E						
1606	SICS-B02BSE-004	SEC	Intercommunications Systems	02	OPEN OFFICE	219D						
1607	SICS-B02BSE-005	SEC	Intercommunications Systems	02	OFFICE	217E						
1608	SICS-B02BSE-006	SEC	Intercommunications Systems	02	OPEN OFFICE	217						
1609	SICS-B02BSE-007	SEC	Intercommunications Systems	02	OFFICE	205						
1610	SICS-B02BSW-001	SEC	Intercommunications Systems	02	OPEN OFFICE	221						
1611	SICS-B02BSW-002	SEC	Intercommunications Systems	02	OFFICE	221B						
1612	SICS-B02BSW-003	SEC	Intercommunications Systems	02	OPEN OFFICE	225						
1613	SICS-B02BSW-004	SEC	Intercommunications Systems	02	OPEN OFFICE	228A						
1614	SICS-B02BSW-005	SEC	Intercommunications Systems	02	OFFICE	228H	Chambers F					
1615	SICS-B02BSW-006	SEC	Intercommunications Systems	02			Chambers G, H, I & J					
1616	SICS-B02BSW-007	SEC	Intercommunications Systems	02	OFFICE	228K						
1617	SICS-B03000-001	SEC	Intercommunications Systems	03	CORRIDOR	300						
1618	SICS-B03BNE-001	SEC	Intercommunications Systems	03	OFFICE	314B						
1619	SICS-B03BNW-001	SEC	Intercommunications Systems	03	OPEN OFFICE	322A						
1620	SICS-B03BSE-001	SEC	Intercommunications Systems	03	OFFICE	311C						
1621	SICS-B03BSE-002	SEC	Intercommunications Systems	03	OPEN OFFICE	305A						
1622	SICS-B03BSW-001	SEC	Intercommunications Systems	03	OFFICE	317A						
1623	SICS-B03BSW-002	SEC	Intercommunications Systems	03	OFFICE	330A						
1624	SICS-BB1BNW-001	SEC	Intercommunications Systems	B1	OFFICE							
1625	SICS-BB1BNW-002	SEC	Intercommunications Systems	B1	OFFICE							
1626	SICS-BB1BSW-001	SEC	Intercommunications Systems	B1	Fitness Center							
1627	SIDS-B01BNE-001	SEC	Intrusion Detection Devices	01	Building Perimeter		Building Perimeter Intrusion Detection					
1628	SIDS-B01BNW-001	SEC	Intrusion Detection Devices	01	Building Perimeter		Building Perimeter Intrusion					
1629	SIDS-B01BSE-001	SEC	Intrusion Detection Devices	01	Building Perimeter		Building Perimeter Intrusion Detection					
1630	SIDS-B01BSW-001	SEC	Intrusion Detection Devices	01	Building Perimeter		Building Perimeter Intrusion Detection					
1631	SIDS-B02BNE-001	SEC	Intrusion Detection Devices	02	Building Perimeter		Building Perimeter Intrusion Detection					
1632	SIDS-B02BNW-001	SEC	Intrusion Detection Devices	02	Building Perimeter		Building Perimeter Intrusion Detection					
1633	SIDS-BB1BNW-001	SEC	Intrusion Detection Devices	B1	TRAINING ROOM							
1634	SVMS-B01000-001	SEC	CCTV (Video Management Systems)	01	CORRIDOR	100		2	2	3	3	5
1635	SVMS-B01000-002	SEC	CCTV (Video Management Systems)	01	CORRIDOR	100B		2	2	3	3	5
1636	SVMS-B01000-003	SEC	CCTV (Video Management Systems)	01	SECURE VESTIBULE	100B Security Vestibule	Entrance Vestibule					

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1637	SVMS-B01BNE-001	SEC	CCTV (Video Management Systems)	01	OFFICE	110D						
1638	SVMS-B01BNE-002	SEC	CCTV (Video Management Systems)	01	CORRIDOR	100A						
1639	SVMS-B01BNE-003	SEC	CCTV (Video Management Systems)	01	SECURE VESTIBULE	100A Entrance Vest						
1640	SVMS-B01BNE-004	SEC	CCTV (Video Management Systems)	01	OFFICE	110A						
1641	SVMS-B01BNW-001	SEC	CCTV (Video Management Systems)	01	EQUIPMENT ROOM	116 Security Closet	Security Equipment Room - Main	5	5	3	2	5
1642	SVMS-B01BNW-002	SEC	CCTV (Video Management Systems)	01		116 Security Closet	Security Equipment Room - Main	5	5	3	1	5
1643	SVMS-B01BNW-003	SEC	CCTV (Video Management Systems)	01	EQUIPMENT ROOM	116	Security Equipment Room - Main	2	2	3		5
1644	SVMS-B01BNW-004	SEC	CCTV (Video Management Systems)	01	EQUIPMENT ROOM	116 Security Closet	Security Equipment Room - Main	2	2	3	1	5
1645	SVMS-B01BNW-005	SEC	CCTV (Video Management Systems)	01	EQUIPMENT ROOM	116 Security Closet	Security Equipment Room - Main	2	2	3	1	5
1646	SVMS-B01BNW-006	SEC	CCTV (Video Management Systems)	01	EQUIPMENT ROOM	116 Security Closet	Security Equipment Room - Main	2	2	3	1	5
1647	SVMS-B01BNW-007	SEC	CCTV (Video Management Systems)	01	EQUIPMENT ROOM	116 Security Closet	Security Equipment Room - Main	4	3	3	1	5
1648	SVMS-B01BNW-008	SEC	CCTV (Video Management Systems)	01	OFFICE	120A						
1649	SVMS-B01BNW-009	SEC	CCTV (Video Management Systems)	01	OFFICE	120B						
1650	SVMS-B02000-001	SEC	CCTV (Video Management Systems)	02	CORRIDOR	200	Elevator Lobby					
1651	SVMS-B02BNE-001	SEC	CCTV (Video Management Systems)	02	OPEN OFFICE	210						
1652	SVMS-B02BSE-001	SEC	CCTV (Video Management Systems)	02	ELEC ROOM	215B						
1653	SVMS-B02BSW-001	SEC	CCTV (Video Management Systems)	02	CORRIDOR	228B	Area is marked as waiting Area					
1654	SVMS-B02BSW-002	SEC	CCTV (Video Management Systems)	02	OPEN OFFICE	228A						
1655	SVMS-B02BSW-003	SEC	CCTV (Video Management Systems)	02	OPEN OFFICE	228A						
1656	SVMS-B03000-001	SEC	CCTV (Video Management Systems)	03	CORRIDOR	300						
1657	SVMS-B03000-002	SEC	CCTV (Video Management Systems)	03	CORRIDOR	300A						
1658	SVMS-B03000-003	SEC	CCTV (Video Management Systems)	03	CORRIDOR	300E						
1659	SVMS-B03000-004	SEC	CCTV (Video Management Systems)	03	CORRIDOR	300D						
1660	SVMS-BB1000-001	SEC	CCTV (Video Management Systems)	B1	CORRIDOR							
1661	SVMS-BB1BNE-001	SEC	CCTV (Video Management Systems)	B1	Exit Door							
1662	SVMS-BB1BNE-002	SEC	CCTV (Video Management Systems)	B1	Building Exits							
1663	SVMS-BB1BNW-001	SEC	CCTV (Video Management Systems)	B1	OFFICE							
1664	SVMS-BB1BNW-002	SEC	CCTV (Video Management Systems)	B1	TRAINING ROOM							
1665	SVMS-BB1BSE-001	SEC	CCTV (Video Management Systems)	B1	EQUIPMENT ROOM		Mech Equipment Room					
1666	SVMS-BB1BSE-002	SEC	CCTV (Video Management Systems)	B1	EQUIPMENT ROOM							
1667	SVMS-BB1BSE-003	SEC	CCTV (Video Management Systems)	B1	COMM							

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1668	SVMS-BB1BSE-004	SEC	CCTV (Video Management Systems)	B1	Building Exit							
1669	SVMS-BB1BSW-001	SEC	CCTV (Video Management Systems)	B1								
1670	SVMS-BB1BSW-002	SEC	CCTV (Video Management Systems)	B1	CORRIDOR		Corridor Area around fitness centers					
1671	SVMS-BB1BSW-003	SEC	CCTV (Video Management Systems)	B1								
1672	SVMS-BB1BSW-004	SEC	CCTV (Video Management Systems)	B1	Building Exit							
1673	SVMS-BPHBNE-001	SEC	CCTV (Video Management Systems)	PH								
1674	SVMS-BPHBNW-001	SEC	CCTV (Video Management Systems)	PH								
1675	SVMS-BPHBNW-019	SEC	CCTV (Video Management Systems)	PH	STAIR - OTHER		Stair to Penthouse					
1676	F SOG-B00000-001	STRUCT	Slab on Grade	00			Basement slab	5	5			
1677	SFDN-B00000-002	STRUCT	Special Foundations	00			Grade Beams	5	5			
1678	WFDN-B00000-003	STRUCT	Standard Foundations	00			Wall Foundations	5	5			
1679	CFPC-B00000-004	STRUCT	Standard Foundations	00			Column Foundations and Pile Caps	5	5			
1680	BSWL-B00BNE-001	STRUCT	Basement Wall Construction	00			NE Basement Walls	5	5			
1681	BSWL-B00BNW-001	STRUCT	Basement Wall Construction	00			NW Basement Walls	5	5			
1682	BSWL-B00BSE-001	STRUCT	Basement Wall Construction	00			SE Basement Walls	3	2			
1683	BSWL-B00BSW-001	STRUCT	Basement Wall Construction	00			SW Basement Walls	5	5			
1684	FDSL-B01000-001	STRUCT	Floor Construction	01			1st Floor Slab	5	5			
1685	FDSL-B02000-001	STRUCT	Floor Construction	02			2nd Floor Slab	5	5			
1686	FDSL-B03000-001	STRUCT	Floor Construction	03			3rd Floor Slab	5	5			
1687	FDSL-B04000-001	STRUCT	Floor Decks and Slabs	04			Attic Slab	4	4			
1688	RDSL-BR1000-001	STRUCT	Roof Decks and Slabs	R1			Roof Slab	5	5			
1689	CGCG-B01SNE-001	STRUCT	Pedestrian Paving Curbs and Gutters	01			NE Pedestrian Curbs	2	3			
1690	CGCG-B01SNW-001	STRUCT	Pedestrian Paving Curbs and Gutters	01			NW Pedestrian curbs	5	5			
1691	CGCG-B01SSE-001	STRUCT	Pedestrian Paving Curbs and Gutters	01			SE Pedestrian Curbs	2	3			
1692	CGCG-B01SSW-001	STRUCT	Pedestrian Paving Curbs and Gutters	01			SW pedestrian curbs	5	5			
1693	CUGU-B01000-001	STRUCT	Parking Lots Curbs and Gutters	01			parking lot curbs	2	3			
1694	EXCL-B00ELE-001	STRUCT	Exterior Closure	00			E façade	4	4			
1695	EXCL-B00ELN-001	STRUCT	Exterior Closure	00			N façade	5	5			
1696	EXCL-B00ELS-001	STRUCT	Exterior Closure	00			S façade	5	5			
1697	EXCL-B00ELW-001	STRUCT	Exterior Closure	00			W façade	4	4			
1698	FFRO-B01000-001	STRUCT	Structural Frame - Floor	01			1st Floor Framing	5	5			
1699	FFRO-B02000-001	STRUCT	Structural Frame - Floor	02			2nd Floor Framing	5	5			
1700	FFRO-B03000-001	STRUCT	Structural Frame - Floor	03			3rd Floor Framing	5	5			
1701	FFRO-B04000-001	STRUCT	Structural Frame - Floor	04			Attic Framing	5	5			
1702	FINW-B00000-001	STRUCT	Structural Interior Walls	00			Terracotta Partition Walls	5	5			
1703	PASU-B01000-001	STRUCT	Parking Lots Paved Surfaces	01			parking lot paved surfaces	2	3			
1704	PASU-B01SNE-001	STRUCT	Pedestrian Paving Paved Surfaces	01			NE Pedestrian paved surfaces	2	3			
1705	PASU-B01SNW-001	STRUCT	Pedestrian Paving Paved Surfaces	01			NW pedestrian paved surfaces	5	5			
1706	PASU-B01SSE-001	STRUCT	Pedestrian Paving Paved Surfaces	01			SE Pedestrian paved surfaces	2	3			
1707	PASU-B01SSW-001	STRUCT	Pedestrian Paving Paved Surfaces	01			SW pedestrian paved surfaces	5	5			
1708	RETW-B01SNE-001	STRUCT	Retaining Walls	01			NE retaining walls	3	3			
1709	RETW-B01SNW-001	STRUCT	Retaining Walls	01			NW retaining walls	5	5			
1710	RETW-B01SSE-001	STRUCT	Retaining Walls	01			SE Retaining walls	5	5			
1711	RETW-B01SSW-001	STRUCT	Retaining Walls	01			SW retaining walls	5	5			
1712	RFRO-BR1000-001	STRUCT	Structural Frame - Roof	R1			Roof Framing	4	4			

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1713	NKAL-B01BNE-001	TELE	Structured Cabling / Access	01	COMM	109E		3	3	3	1	5
1714	NKAL-B02BNE-001	TELE	Structured Cabling / Access	02	COMM	215AB		3	3	3	1	5
1715	NKAL-B02BSE-001	TELE	Structured Cabling / Access	02	COMM	229		3	3	3	1	5
1716	NKAL-B03BNE-001	TELE	Structured Cabling / Access	03	COMM	311		3	3	3	1	5
1717	NKAL-B03BSE-001	TELE	Structured Cabling / Access	03	COMM	330		3	3	3	1	5
1718	NKAL-BB1BNW-001	TELE	Structured Cabling / Access	B1	Holding	B021M		3	3	3	1	5
1719	NKAL-BB1BSE-001	TELE	Structured Cabling / Access	B1	COMM	B01		3	3	3	1	5
1720	NKAP-B01000-001	TELE	Wireless Access Points	01	ENTIRE FLOOR	Not applicable	ENTIRE FLOOR	4	3	3	3	5
1721	NKAP-B02000-001	TELE	Wireless Access Points	02	ENTIRE FLOOR	Not applicable	ENTIRE FLOOR	4	3	3	3	5
1722	NKAP-B03000-001	TELE	Wireless Access Points	03	ENTIRE FLOOR	Not applicable	ENTIRE FLOOR	4	3	3	3	5
1723	NKAP-BB1000-001	TELE	Wireless Access Points	B1	ENTIRE FLOOR	Not applicable	ENTIRE LEVEL	4	3	3	3	5
1724	NKCR-B01BNE-001	TELE	Structured Cabling / Core	01	COMM	109E		3	2	3	1	5
1725	NKCR-B02BNE-001	TELE	Structured Cabling / Core	02	COMM	215AB		3	2	3	1	5
1726	NKCR-B02BSE-001	TELE	Structured Cabling / Core	02	COMM	229		3	2	3	1	5
1727	NKCR-B03BNE-001	TELE	Structured Cabling / Core	03	COMM	315		3	2	3	1	5
1728	NKCR-B03BSE-001	TELE	Structured Cabling / Core	03	COMM	330		3	2	3	1	5
1729	NKCR-B03BSE-002	TELE	Structured Cabling / Core	03	COMM	330		3	2	3	1	5
1730	NKCR-BB1BSE-001	TELE	Structured Cabling / Core	B1	COMM	B01		3	2	3	1	5
1731	NKDS-BB1BSE-001	TELE	Structured Cabling / Core	B1	COMM	B01		3	3	3	1	5
1732	NKEQ-B03BSE-001	TELE	Distributed Antenna Systems (DAS)	03	COMM	330		4	3	3	1	5
1733	NKRK-B01BNE-001	TELE	Data Center Servers and Appliances	01	COMM	109C		5	5	2	1	5
1734	NKRK-B01BNE-002	TELE	Network Switches - IT	01	COMM	109C		5	5	2	1	5
1735	NKRK-B01BNE-003	TELE	Network Switches - IT	01	COMM	109E		5	5	3	1	5
1736	NKRK-B02BNE-001	TELE	Network Switches - IT	02	COMM	215AB		5	5	3	1	5
1737	NKRK-B02BSE-001	TELE	Network Switches - IT	02	COMM	229		5	5	3	1	5
1738	NKRK-B03BNE-001	TELE	Network Switches - IT	03	COMM	315		5	5	3	1	5
1739	NKRK-B03BNE-002	TELE	Network Switches - IT	03	COMM	311		5	5	3	1	5
1740	NKRK-B03BSE-001	TELE	Network Switches - IT	03	COMM	330		5	5	3	1	5
1741	NKRK-BB1BSE-001	TELE	Network Switches - IT	B1	COMM	B01		5	5	3	1	5
1742	NKSW-B01BNE-001	TELE	Network Switches - IT	01	COMM	109E		4	3	3	1	5
1743	NKSW-B01BNE-002	TELE	Network Switches - IT	01	COMM	109E		4	3	3	1	5
1744	NKSW-B02BNE-001	TELE	Network Switches - IT	02	COMM	215AB		4	3	3	1	5
1745	NKSW-B02BNE-002	TELE	Network Switches - IT	02	COMM	215AB		4	3	3	1	5
1746	NKSW-B02BSE-001	TELE	Network Switches - IT	02	COMM	229		4	3	3	1	5
1747	NKSW-B02BSE-002	TELE	Network Switches - IT	02	COMM	229		4	3	3	1	5
1748	NKSW-B02BSE-003	TELE	Network Switches - IT	02	COMM	229		4	3	3	1	5
1749	NKSW-B02BSE-004	TELE	Network Switches - IT	02	COMM	229		4	3	3	1	5
1750	NKSW-B02BSE-005	TELE	Network Switches - IT	02	COMM	229		4	3	3	1	5
1751	NKSW-B03BNE-001	TELE	Network Switches - IT	03	COMM	315		4	3	3	1	5
1752	NKSW-B03BNE-002	TELE	Network Switches - IT	03	COMM	315		4	3	3	1	5
1753	NKSW-B03BNE-003	TELE	Network Switches - IT	03	COMM	315		4	3	3	1	5
1754	NKSW-B03BNE-004	TELE	Network Switches - IT	03	COMM	311		4	3	3	1	5
1755	NKSW-B03BNE-005	TELE	Network Switches - IT	03	COMM	311		4	3	3	1	5
1756	NKSW-B03BNE-006	TELE	Network Switches - IT	03	COMM	311		3	2	3	1	5
1757	NKSW-B03BSE-001	TELE	Network Switches - IT	03	COMM	330		3	3	2	1	5
1758	NKSW-B03BSE-002	TELE	Network Switches - IT	03	COMM	330		4	3	3	1	5
1759	NKSW-B03BSE-003	TELE	Network Switches - IT	03	COMM	330		4	3	3	1	5
1760	NKSW-BB1BSE-001	TELE	Network Switches - IT	B1	COMM	B01		4	3	3	1	5
1761	TCCA-B01BNE-001	TELE	Structured Cabling / Coaxial Distribution	01	COMM	109E		3	4	3	1	5
1762	TCCA-B01BSE-001	TELE	Structured Cabling / Coaxial Distribution	01	COMM	121A		3	4	3	1	5
1763	TCCA-B02BNE-001	TELE	Structured Cabling / Coaxial Distribution	02	COMM	215AB		3	4	3	1	5
1764	TCCA-B02BSE-001	TELE	Structured Cabling / Coaxial Distribution	02	COMM	229		3	4	3	1	5

#	ASSET ID	Discipline	LEVEL 4 NAME	Floor	Room	Room Number	Inventory_Notes	Asset Cond. Scale	Asset Priority Scale	Health and Safety	Image	Oper. Env.
1765	TCCA-B03BNE-001	TELE	Structured Cabling / Coaxial Distribution	03	COMM	311		3	4	3	1	5
1766	TCCA-B03BSE-001	TELE	Structured Cabling / Coaxial Distribution	03	COMM	330		3	4	3	1	5
1767	TCCA-BB1BSE-001	TELE	Structured Cabling / Coaxial Distribution	B1	COMM	B01		3	4	3	1	5
1768	TCC-B01BNE-001	TELE	Structured Cabling / Analog	01	COMM	109C		1	2	3	1	5
1769	TCC-B01BNE-002	TELE	Structured Cabling / Analog	01	COMM	109E		2	2	3	1	5
1770	TCC-B01BSE-001	TELE	Structured Cabling / Analog	01	COMM	121A		2	2	3	1	5
1771	TCC-B01BSE-002	TELE	Structured Cabling / Analog	01	COMM	121A		2	2	3	1	5
1772	TCC-B02BNE-001	TELE	Structured Cabling / Analog	02	COMM	215AB		2	2	3	1	5
1773	TCC-B02BSE-001	TELE	Structured Cabling / Analog	02	COMM	229		2	2	3	1	5
1774	TCC-B03BNE-001	TELE	Structured Cabling / Analog	03	COMM	311		2	2	3	1	5
1775	TCC-B03BSE-001	TELE	Structured Cabling / Analog	03	COMM	330		2	2	3	1	5
1776	TCC-BB1BNW-001	TELE	Structured Cabling / Analog	B1	Holding	B021M		2	2	3	2	5
1777	TCEQ-B01BNE-001	TELE	IT - Voice Equipment	01	COMM	109C		4	4	3	1	5
1778	TCEQ-B01BNE-002	TELE	IT - Voice Equipment	01	COMM	109C		4	4	3	1	5
1779	TCEQ-BB1BNW-001	TELE	IT - Voice Equipment	B1	Holding	B021M		3	3	3	2	5
1780	AUXP-BPH000-002	VT	Auxiliary Panels and Cabinets	PH	ELEVATOR - OTHER	5	EMR 5	3	5	3	1	5
1781	ELCT-BPH000-002	VT	Elevator Controls	PH	ELEVATOR - PUBLIC	Not applicable		3	5	3	3	5
1782	ELCT-BPH000-006	VT	Elevator Controls	PH	ELEVATOR - PUBLIC	Not applicable		1	2	2	1	2
1783	ELCT-BPH000-008	VT	Elevator Controls	PH	ELEVATOR - PUBLIC			3	5	3	3	5
1784	ELEV-BPH000-005	VT	Other Elevators	PH	ELEVATOR - PUBLIC	Not applicable		3	5	3	3	5
1785	ELEV-BPH000-007	VT	Passenger Elevators	PH	ELEVATOR - PUBLIC	Not applicable		3	5	3	3	5
1786	ELEV-BPH000-H01	VT	Passenger Elevators	PH	ELEVATOR - PUBLIC	Not applicable		3	5	3	3	5
1787	ELEV-BPH000-H03	VT	Passenger Elevators	PH	ELEVATOR - PUBLIC	Not applicable		3	5	3	3	5
1788	ELSW-BB1000-001	VT	Passenger Elevators	B1	ELEVATOR - OTHER			1	2	2	1	2

4.3.17 COST ESTIMATE w/ CORRECTIVE ACTIONS

See the following pages for the Cost Estimate with Corrective Actions with reference to Building B. The cost estimate outlines each asset with a noted corrective action and categorizes the cost based on the assets' priority code(s). The estimate also provides a list of the assets' corrective actions as repair, replace, upgrade, etc. with the recommendations to address.



DC Courts Building B FCA DRAFT Estimate Report

**Estimate Date: 05/12/2021
Version 2.01**

Prepared for:

SMITHGROUP

Prepared by:





DC Courts Building B FCA

Sections

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Basis of Estimate

Uniformat Level 2 Summary

Uniformat Level 3 Summary

Level 3 Asset Summary

Level 2 Corrective Action Summary

Estimate Details



BASIS OF ESTIMATE

Introduction

APR's adopted standard of practice for preparing estimates follows industry practices established by the American Association of Cost Engineers International (ACEI). For this project, the estimating team has collaborated with the SmithGroup's A/E team and their consultants for technical input from which we have prepared the estimated cost of the defined assets. As the assets were tagged our role was to determine deferred maintenance, regular maintenance, repair renewal/replacement, Out of Service (Obsolete) and of the facility. In addition, the estimating team associated prioritization of each action item from the A/E Team to align with annual budgets.

COVID-19 Impact Statement

APR at this time makes no specific adjustments, nor assumptions, regarding the impact the global pandemic, COVID-19 (Corona Virus), may have on future unit costs, material availability, labor demand, or schedule of this project.

Qualification

APR has prepared this estimate in accordance with generally accepted cost estimating and practices and standards. This opinion of probable costs of construction is provided based on company staff experience, qualifications, and best judgment. This estimate is an opinion of probable cost based on fair market value and is not necessarily a prediction of the anticipated low bid or Guaranteed Maximum Price (GMP). APR cannot, and does not, guarantee that proposed bid or actual construction costs will not vary from this or subsequent estimates. APR has no control over the cost of labor and materials, the Prime Contractor's or any Subcontractor's method of determining their price offerings at the specific time and condition of this project bid.



Estimate Parameters

Estimating Team	
Firm(s):	Aguirre Project Resources LLC
Principal Estimator:	C. Aguirre
Estimating Project Manager:	A. Pridham
Estimators:	J. Otts, L. Harrod, F. Rizopoulos, K. Yager, A. Lizarazo, A. Pridham, C. Watson (general)
Quality Review:	C. Aguirre, A. Pridham
Project Information	
A/E:	SmithGroup
Owner:	DC Courts
Project Location:	Washington D.C.
Date of Report:	05/12/2021
Method of Measurement:	Standard/Imperial
Currency:	U.S. Dollar
Project Wide Cost Factors	
Sales Tax	N/A
Escalation Rates	
PRIORITY 1. Action as soon as possible	0.00%
PRIORITY 2. 1-2 years	4.00%
PRIORITY 3. 3-5 years	10.00%
PRIORITY 4. 6-10 years	28.00%
Contractor Markups By Requirement Type	
Repair	Replace
Design Contingency 20.00%	Design Contingency 20.00%
General Conditions/General Requirements 17.00%	General Conditions/General Requirements 20.00%
Insurance & Bonds 2.00%	Insurance & Bonds 2.00%
Profit 5.00%	Profit 5.00%
Remove	Upgrade
Design Contingency 15.00%	Design Contingency 20.00%
General Conditions/General Requirements 17.00%	General Conditions/General Requirements 20.00%
Insurance & Bonds 2.00%	Insurance & Bonds 2.00%
Profit 5.00%	Profit 5.50%



DC Courts Building B FCA

Line #	Uniformat / Asset ID	Description	2021 Cost	COSTS BY PRIORITY			
				IMMEDIATE 1	1-2 YEARS 2	3-5 YEARS 3	6-10 YEARS 4
1		DC Courts Building B FCA	\$13,867,787	\$1,458,986	\$2,587,102	\$7,897,231	\$3,509,634
2	A	Substructure	\$133,076	\$0	\$138,399	\$0	\$0
3	A20	Basement Construction	\$133,076	\$0	\$138,399	\$0	\$0
10	B	Shell	\$792,285	\$17,478	\$174,122	\$304,973	\$422,571
11	B10	Superstructure	\$1,128	\$0	\$0	\$0	\$1,444
22	B20	Exterior Enclosure	\$673,250	\$17,478	\$165,771	\$298,899	\$287,552
420	B30	Roofing	\$117,907	\$0	\$8,351	\$6,074	\$133,575
444	C	Interiors	\$3,224,266	\$699,035	\$1,123,295	\$1,290,269	\$348,374
445	C10	Interior Construction	\$1,240,706	\$547,129	\$44,063	\$703,987	\$14,364
1075	C20	Stairs	\$96,804	\$7,128	\$81,902	\$11,852	\$192
1138	C30	Interior Finishes	\$1,886,755	\$144,778	\$997,331	\$574,430	\$333,818
1334	D	Services	\$8,380,915	\$739,397	\$1,119,494	\$4,898,594	\$2,703,122
1335	D10	Conveying	\$92,534	\$0	\$96,236	\$0	\$0
1341	D20	Plumbing	\$2,271,256	\$204,353	\$55,695	\$1,890,365	\$377,390
1569	D30	HVAC	\$6,017,124	\$535,044	\$967,563	\$3,008,229	\$2,325,731
3325	E	Equipment & Furnishings	\$305,456	\$0	\$7,218	\$328,368	\$0
3326	E10	Equipment	\$254,932	\$0	\$7,218	\$272,791	\$0
3530	E20	Furnishings	\$50,524	\$0	\$0	\$55,576	\$0
3547	G	Sitework	\$1,031,789	\$3,077	\$24,574	\$1,075,027	\$35,566
3548	G20	Site Improvements	\$1,031,789	\$3,077	\$24,574	\$1,075,027	\$35,566





DC Courts Building B FCA

Line #	Uniformat / Asset ID	Description	2021 Cost	COSTS BY PRIORITY			
				IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
				1	2	3	4
1		DC Courts Building B FCA	\$13,867,787	\$1,458,986	\$2,587,102	\$7,897,231	\$3,509,634
2	A	Substructure	\$133,076	\$0	\$138,399	\$0	\$0
3	A20	Basement Construction	\$133,076	\$0	\$138,399	\$0	\$0
4	A2020	Basement Walls	\$133,076	\$0	\$138,399	\$0	\$0
10	B	Shell	\$792,285	\$17,478	\$174,122	\$304,973	\$422,571
11	B10	Superstructure	\$1,128	\$0	\$0	\$0	\$1,444
12	B1010	Floor Construction	\$601	\$0	\$0	\$0	\$770
17	B1020	Roof Construction	\$526	\$0	\$0	\$0	\$674
22	B20	Exterior Enclosure	\$673,250	\$17,478	\$165,771	\$298,899	\$287,552
23	B2010	Exterior Walls	\$357,021	\$9,298	\$13,393	\$121,215	\$287,552
192	B2020	Exterior Windows	\$283,872	\$4,627	\$135,771	\$163,566	\$0
348	B2030	Exterior Doors	\$32,357	\$3,554	\$16,608	\$14,117	\$0
420	B30	Roofing	\$117,907	\$0	\$8,351	\$6,074	\$133,575
421	B3010	Roof Coverings	\$117,907	\$0	\$8,351	\$6,074	\$133,575
444	C	Interiors	\$3,224,266	\$699,035	\$1,123,295	\$1,290,269	\$348,374
445	C10	Interior Construction	\$1,240,706	\$547,129	\$44,063	\$703,987	\$14,364
446	C1010	Partitions	\$180,997	\$173,695	\$0	\$8,032	\$0
479	C1020	Interior Doors	\$824,883	\$371,928	\$0	\$486,321	\$13,882
885	C1030	Fittings	\$234,826	\$1,507	\$44,063	\$209,633	\$481
1075	C20	Stairs	\$96,804	\$7,128	\$81,902	\$11,852	\$192
1076	C2010	Stair Construction	\$96,804	\$7,128	\$81,902	\$11,852	\$192
1138	C30	Interior Finishes	\$1,886,755	\$144,778	\$997,331	\$574,430	\$333,818
1139	C3010	Wall Finishes	\$1,210,625	\$87,214	\$976,801	\$39,322	\$189,994
1221	C3020	Floor Finishes	\$580,968	\$7,094	\$5,560	\$501,782	\$143,824
1288	C3030	Ceiling Finishes	\$95,162	\$50,470	\$14,971	\$33,327	\$0
1334	D	Services	\$8,380,915	\$739,397	\$1,119,494	\$4,898,594	\$2,703,122
1335	D10	Conveying	\$92,534	\$0	\$96,236	\$0	\$0
1336	D1010	Elevators & Lifts	\$92,534	\$0	\$96,236	\$0	\$0
1341	D20	Plumbing	\$2,271,256	\$204,353	\$55,695	\$1,890,365	\$377,390
1342	D2010	Plumbing Fixtures	\$369,601	\$55,521	\$54,052	\$240,864	\$55,219
1422	D2020	Domestic Water Distribution	\$734,566	\$109,959	\$0	\$440,823	\$286,540
1468	D2030	Sanitary Waste	\$1,082,111	\$38,874	\$0	\$1,116,940	\$35,632
1545	D2040	Rain Water Drainage	\$84,632	\$0	\$1,283	\$91,738	\$0
1561	D2090	Other Plumbing Systems	\$346	\$0	\$360	\$0	\$0
1569	D30	HVAC	\$6,017,124	\$535,044	\$967,563	\$3,008,229	\$2,325,731
1570	D3020	Heat Generating Systems	\$3,609	\$3,609	\$0	\$0	\$0
1578	D3030	Cooling Generating Systems	\$912,304	\$26,242	\$12,703	\$961,232	\$0
1621	D3040	Distribution Systems	\$1,030,319	\$57,153	\$514,088	\$235,509	\$338,882
1791	D3050	Terminal & Package Units	\$1,822,617	\$305,395	\$11,963	\$7,634	\$1,918,438
2733	D	Services	\$2,248,275	\$142,645	\$428,809	\$1,803,854	\$68,411
3325	E	Equipment & Furnishings	\$305,456	\$0	\$7,218	\$328,368	\$0
3326	E10	Equipment	\$254,932	\$0	\$7,218	\$272,791	\$0
3327	E	Equipment & Furnishings	\$254,932	\$0	\$7,218	\$272,791	\$0
3530	E20	Furnishings	\$50,524	\$0	\$0	\$55,576	\$0
3531	E2010	Fixed Furnishings	\$50,524	\$0	\$0	\$55,576	\$0
3547	G	Sitework	\$1,031,789	\$3,077	\$24,574	\$1,075,027	\$35,566
3548	G20	Site Improvements	\$1,031,789	\$3,077	\$24,574	\$1,075,027	\$35,566
3549	G	Sitework	\$1,031,789	\$3,077	\$24,574	\$1,075,027	\$35,566





DC Courts Building B FCA

Line #	Parent Location	Uniformat / Asset ID	Description	2021 Cost	COSTS BY PRIORITY			
					IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
					1	2	3	4
0			DC Courts Building B FCA	\$13,867,787	\$1,458,986	\$2,587,102	\$7,897,231	\$3,509,634
2	Estimate Tree	A	Substructure	\$133,076	\$0	\$138,399	\$0	\$0
3	Substructure	A20	Basement Construction	\$133,076	\$0	\$138,399	\$0	\$0
4	Basement Construction	A2020	Basement Walls	\$133,076	\$0	\$138,399	\$0	\$0
6	Basement Wall Construction	BSWL-00BSE-001	Basement Wall Construction	\$133,076	\$0	\$138,399	\$0	\$0
10	Estimate Tree	B	Shell	\$792,285	\$17,478	\$174,122	\$304,973	\$422,571
11	Shell	B10	Superstructure	\$1,128	\$0	\$0	\$0	\$1,444
12	Superstructure	B1010	Floor Construction	\$601	\$0	\$0	\$0	\$770
14	Floor Decks and Slabs	FDSL-B04000-001	Floor Decks and Slabs	\$601	\$0	\$0	\$0	\$770
17	Superstructure	B1020	Roof Construction	\$526	\$0	\$0	\$0	\$674
19	Structural Frame - Roof	RFRO-BR1000-001	Structural Frame - Roof	\$526	\$0	\$0	\$0	\$674
22	Shell	B20	Exterior Enclosure	\$673,250	\$17,478	\$165,771	\$298,899	\$287,552
23	Exterior Enclosure	B2010	Exterior Walls	\$357,021	\$9,298	\$13,393	\$121,215	\$287,552
25	Exterior Closure	EXCL-B00ELE-H01	Exterior Closure	\$6,767	\$0	\$0	\$0	\$8,661
29	Exterior Closure	EXCL-B00ELW-001	Exterior Closure	\$1,729	\$0	\$0	\$0	\$2,213
34	Exterior Closure Materials	EXLS-B00ELE-001	Exterior Closure Materials	\$812	\$0	\$0	\$893	\$0
37	Exterior Closure Materials	EXLS-B00ELE-H01	Exterior Closure Materials	\$1,353	\$0	\$0	\$0	\$1,732
40	Exterior Closure Materials	EXLS-B00ELN-001	Exterior Closure Materials	\$541	\$0	\$0	\$595	\$0
43	Exterior Closure Materials	EXLS-B00ELN-H01	Exterior Closure Materials	\$1,353	\$0	\$0	\$0	\$1,732
46	Exterior Closure Materials	EXLS-B00ELS-001	Exterior Closure Materials	\$135	\$0	\$0	\$149	\$0
49	Exterior Closure Materials	EXLS-B00ELS-H01	Exterior Closure Materials	\$1,353	\$0	\$0	\$0	\$1,732
52	Exterior Closure Materials	EXLS-B00ELW-001	Exterior Closure Materials	\$406	\$0	\$0	\$447	\$0
55	Exterior Closure Materials	EXLS-B00ELW-H01	Exterior Closure Materials	\$1,353	\$0	\$0	\$0	\$1,732
59	Parapets	PRPT-B00ELE-H01	Parapets	\$9,473	\$0	\$0	\$10,421	\$0
63	Parapets	PRPT-B00ELN-H01	Parapets	\$3,609	\$0	\$0	\$3,970	\$0
67	Parapets	PRPT-B00ELS-H01	Parapets	\$3,609	\$0	\$0	\$3,970	\$0
71	Parapets	PRPT-B00ELW-H01	Parapets	\$9,473	\$0	\$0	\$10,421	\$0
76	Exterior Louvers and Screens	EXSO-B00ELN-H01	Exterior Louvers and Screens	\$1,316	\$0	\$0	\$0	\$1,684
80	Exterior Louvers and Screens	EXSO-B00ELE-H01	Exterior Louvers and Screens	\$2,331	\$0	\$0	\$0	\$2,983
84	Exterior Louvers and Screens	EXSO-B00ELS-H01	Exterior Louvers and Screens	\$1,316	\$0	\$0	\$0	\$1,684
88	Exterior Louvers and Screens	EXSO-B00ELW-H01	Exterior Louvers and Screens	\$2,331	\$0	\$0	\$0	\$2,983
92	Exterior Louvers and Screens	JNTS-B00ELE-001	Exterior Louvers and Screens	\$11,220	\$0	\$0	\$12,342	\$0
97	Exterior Louvers and Screens	JNTS-B00ELN-001	Exterior Louvers and Screens	\$18,328	\$0	\$0	\$20,161	\$0
103	Exterior Louvers and Screens	JNTS-B00ELS-001	Exterior Louvers and Screens	\$5,244	\$0	\$5,453	\$0	\$0
108	Exterior Louvers and Screens	JNTS-B00ELW-001	Exterior Louvers and Screens	\$14,651	\$0	\$0	\$16,116	\$0
114	Balcony Walls and Railings	BAWR-B00ELW-H01	Balcony Walls and Railings	\$10,200	\$9,298	\$0	\$992	\$0
121	Balcony Walls and Railings	BAWR-B00ELW-H02	Balcony Walls and Railings	\$4,511	\$0	\$0	\$4,962	\$0
124	Balcony Walls and Railings	BAWR-B00ELW-H03	Balcony Walls and Railings	\$2,256	\$0	\$0	\$2,481	\$0
128	Exterior Soffits	MTRL-B00ELE-H01	Exterior Soffits	\$72,628	\$0	\$0	\$0	\$92,964
131	Exterior Soffits	MTRL-B00ELE-H02	Exterior Soffits	\$4,962	\$0	\$0	\$5,458	\$0
134	Exterior Soffits	MTRL-B00ELN-H01	Exterior Soffits	\$28,420	\$0	\$0	\$0	\$36,377
137	Exterior Soffits	MTRL-B00ELN-H02	Exterior Soffits	\$1,714	\$0	\$0	\$1,886	\$0
141	Joint Sealant	MTRL-B00ELS-H01	Joint Sealant	\$26,164	\$0	\$0	\$0	\$33,490
144	Joint Sealant	MTRL-B00ELS-H02	Joint Sealant	\$1,714	\$0	\$0	\$1,886	\$0
147	Joint Sealant	MTRL-B00ELW-H01	Joint Sealant	\$76,237	\$0	\$0	\$0	\$97,583
150	Joint Sealant	MTRL-B00ELW-H02	Joint Sealant	\$4,962	\$0	\$0	\$5,458	\$0
154	Other Exterior Walls	OTWL-B00ELE-001	Other Exterior Walls	\$3,374	\$0	\$1,299	\$2,337	\$0
161	Other Exterior Walls	OTWL-B00ELE-002	Other Exterior Walls	\$3,144	\$0	\$1,299	\$2,084	\$0
168	Other Exterior Walls	OTWL-B00ELN-001	Other Exterior Walls	\$10,338	\$0	\$3,128	\$8,064	\$0
175	Other Exterior Walls	OTWL-B00ELN-002	Other Exterior Walls	\$379	\$0	\$0	\$417	\$0
178	Other Exterior Walls	OTWL-B00ELS-001	Other Exterior Walls	\$954	\$0	\$289	\$744	\$0
185	Other Exterior Walls	OTWL-B00ELW-001	Other Exterior Walls	\$6,362	\$0	\$1,925	\$4,962	\$0
192	Exterior Enclosure	B2020	Exterior Windows	\$283,872	\$4,627	\$135,771	\$163,566	\$0
194	Windows	WIND-B00ELE-H01	Windows	\$18,704	\$0	\$9,443	\$10,586	\$0
201	Windows	WIND-B00ELE-H02	Windows	\$15,072	\$0	\$5,666	\$10,586	\$0
208	Windows	WIND-B00ELE-H03	Windows	\$18,892	\$0	\$9,383	\$10,857	\$0
215	Windows	WIND-B00ELE-H04	Windows	\$18,216	\$0	\$8,679	\$10,857	\$0
222	Windows	WIND-B00ELE-H05	Windows	\$12,238	\$0	\$6,568	\$6,514	\$0
229	Windows	WIND-B00ELE-H06	Windows	\$7,557	\$0	\$3,753	\$4,343	\$0
236	Windows	WIND-B00ELE-H07	Windows	\$17,003	\$0	\$8,445	\$9,772	\$0
243	Windows	WIND-B00ELN-H01	Windows	\$11,335	\$0	\$5,630	\$6,514	\$0
250	Windows	WIND-B00ELN-H02	Windows	\$11,335	\$0	\$5,630	\$6,514	\$0
257	Windows	WIND-B00ELN-H03	Windows	\$1,889	\$0	\$938	\$1,086	\$0
264	Windows	WIND-B00ELN-H04	Windows	\$13,225	\$0	\$6,568	\$7,600	\$0
271	Windows	WIND-B00ELS-H01	Windows	\$11,222	\$1,388	\$4,222	\$6,352	\$0
278	Windows	WIND-B00ELS-H02	Windows	\$11,222	\$1,388	\$4,222	\$6,352	\$0
285	Windows	WIND-B00ELS-H03	Windows	\$13,092	\$1,619	\$4,926	\$7,410	\$0
292	Windows	WIND-B00ELS-H04	Windows	\$1,870	\$291	\$704	\$1,059	\$0
299	Windows	WIND-B00ELW-H01	Windows	\$18,704	\$0	\$9,443	\$10,586	\$0
306	Windows	WIND-B00ELW-H02	Windows	\$14,963	\$0	\$7,555	\$8,469	\$0
313	Windows	WIND-B00ELW-H03	Windows	\$14,963	\$0	\$7,555	\$8,469	\$0
320	Windows	WIND-B00ELW-H04	Windows	\$16,833	\$0	\$8,499	\$9,527	\$0
327	Windows	WIND-B00ELW-H05	Windows	\$11,222	\$0	\$5,666	\$6,352	\$0
334	Windows	WIND-B00ELW-H06	Windows	\$7,481	\$0	\$3,777	\$4,234	\$0
341	Windows	WIND-B00ELW-H07	Windows	\$16,833	\$0	\$8,499	\$9,527	\$0
348	Exterior Enclosure	B2030	Exterior Doors	\$32,357	\$3,554	\$16,608	\$14,117	\$0
350	Solid Doors	SODR-B00ELE-H01	Solid Doors	\$1,579	\$0	\$1,642	\$0	\$0
353	Solid Doors	SODR-B00ELN-H01	Solid Doors	\$526	\$0	\$547	\$0	\$0
356	Solid Doors	SODR-B00ELN-H02	Solid Doors	\$955	\$429	\$547	\$0	\$0
363	Solid Doors	SODR-B00ELS-H01	Solid Doors	\$526	\$526	\$0	\$0	\$0
366	Solid Doors	SODR-B00ELW-001	Solid Doors	\$180	\$0	\$188	\$0	\$0
369	Solid Doors	SODR-B00ELW-002	Solid Doors	\$361	\$0	\$375	\$0	\$0
372	Solid Doors	SODR-B00ELW-H01	Solid Doors	\$271	\$0	\$281	\$0	\$0
375	Solid Doors	SODR-B00ELW-H02	Solid Doors	\$271	\$0	\$281	\$0	\$0





DC Courts Building B FCA

Line #	Parent Location	Uniformat / Asset ID	Description	2021 Cost	COSTS BY PRIORITY			
					IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
					1	2	3	4
379	Glazed Doors	GLDR-B00ELW-H01	Glazed Doors	\$677	\$0	\$704	\$0	\$0
383	Gates	GAT-B00ELE-001	Gates	\$2,819	\$0	\$0	\$3,101	\$0
386	Gates	GAT-B00ELW-001	Gates	\$1,880	\$0	\$0	\$2,068	\$0
390	Exterior Door Hardware	EXDH-B00ELE-001	Exterior Door Hardware	\$2,361	\$0	\$0	\$2,597	\$0
393	Exterior Door Hardware	EXDH-B00ELE-002	Exterior Door Hardware	\$4,962	\$0	\$5,161	\$0	\$0
396	Exterior Door Hardware	EXDH-B00ELN-001	Exterior Door Hardware	\$1,696	\$1,696	\$0	\$0	\$0
399	Exterior Door Hardware	EXDH-B00ELN-002	Exterior Door Hardware	\$1,654	\$0	\$1,720	\$0	\$0
402	Exterior Door Hardware	EXDH-B00ELS-001	Exterior Door Hardware	\$1,654	\$0	\$1,720	\$0	\$0
405	Exterior Door Hardware	EXDH-B00ELW-001	Exterior Door Hardware	\$2,361	\$0	\$0	\$2,597	\$0
408	Exterior Door Hardware	EXDH-B00ELW-002	Exterior Door Hardware	\$1,759	\$0	\$0	\$1,935	\$0
411	Exterior Door Hardware	EXDH-B00ELW-003	Exterior Door Hardware	\$3,308	\$0	\$3,440	\$0	\$0
414	Exterior Door Hardware	EXDH-B00ELW-004	Exterior Door Hardware	\$1,654	\$0	\$0	\$1,819	\$0
417	Exterior Door Hardware	EXDH-B00ELW-005	Exterior Door Hardware	\$902	\$902	\$0	\$0	\$0
420	Shell	B30	Roofing	\$117,907	\$0	\$8,351	\$6,074	\$133,575
421	Roofing	B3010	Roof Coverings	\$117,907	\$0	\$8,351	\$6,074	\$133,575
423	High Slope Roof Coverings	HSRC-BR2000-001	High Slope Roof Coverings	\$104,765	\$0	\$0	\$6,074	\$127,031
431	Low Slope Membrane Systems	LSMS-BR1000-001	Low Slope Membrane Systems	\$2,797	\$0	\$2,909	\$0	\$0
434	Low Slope Membrane Systems	LSMS-BR2000-001	Low Slope Membrane Systems	\$5,233	\$0	\$5,442	\$0	\$0
438	Flashings and Trim	FLTR-BR1000-001	Flashings and Trim	\$2,346	\$0	\$0	\$0	\$3,003
441	Flashings and Trim	FLTR-BR2000-001	Flashings and Trim	\$2,767	\$0	\$0	\$0	\$3,541
444	Estimate Tree	C	Interiors	\$3,224,266	\$699,035	\$1,123,295	\$1,290,269	\$348,374
445	Interiors	C10	Interior Construction	\$1,240,706	\$547,129	\$44,063	\$703,987	\$14,364
446	Interior Construction	C1010	Partitions	\$180,997	\$173,695	\$0	\$8,032	\$0
448	Fixed Partitions	FPRT-B01000-001	Fixed Partitions	\$37,592	\$37,592	\$0	\$0	\$0
451	Fixed Partitions	FPRT-B01000-002	Fixed Partitions	\$1,786	\$0	\$0	\$1,965	\$0
454	Fixed Partitions	FPRT-B01000-003	Fixed Partitions	\$1,786	\$0	\$0	\$1,965	\$0
457	Fixed Partitions	FPRT-B02000-001	Fixed Partitions	\$60,147	\$60,147	\$0	\$0	\$0
460	Fixed Partitions	FPRT-B02000-002	Fixed Partitions	\$1,624	\$0	\$0	\$1,786	\$0
463	Fixed Partitions	FPRT-B02000-003	Fixed Partitions	\$1,053	\$0	\$0	\$1,158	\$0
466	Fixed Partitions	FPRT-B02000-004	Fixed Partitions	\$1,053	\$0	\$0	\$1,158	\$0
469	Fixed Partitions	FPRT-B03000-001	Fixed Partitions	\$60,147	\$60,147	\$0	\$0	\$0
472	Fixed Partitions	FPRT-BB1000-001	Fixed Partitions	\$15,037	\$15,037	\$0	\$0	\$0
476	Interior Windows	INWD-B01000-001	Interior Windows	\$771	\$771	\$0	\$0	\$0
479	Interior Construction	C1020	Interior Doors	\$824,883	\$371,928	\$0	\$486,313	\$13,882
481	Standard Interior Doors	INDR-B01000-001	Standard Interior Doors	\$42,103	\$0	\$0	\$46,313	\$0
484	Standard Interior Doors	INDR-B01000-H02	Standard Interior Doors	\$10,526	\$0	\$0	\$11,578	\$0
487	Standard Interior Doors	INDR-B01000-H03	Standard Interior Doors	\$1,203	\$0	\$0	\$1,323	\$0
490	Standard Interior Doors	INDR-B01000-H04	Standard Interior Doors	\$1,504	\$0	\$0	\$1,654	\$0
493	Standard Interior Doors	INDR-B01000-H05	Standard Interior Doors	\$1,203	\$0	\$0	\$1,323	\$0
496	Standard Interior Doors	INDR-B02000-001	Standard Interior Doors	\$25,563	\$0	\$0	\$28,119	\$0
499	Standard Interior Doors	INDR-B02000-004	Standard Interior Doors	\$3,609	\$0	\$0	\$3,970	\$0
502	Standard Interior Doors	INDR-B02000-H02	Standard Interior Doors	\$32,480	\$0	\$0	\$35,728	\$0
505	Standard Interior Doors	INDR-B02000-H03	Standard Interior Doors	\$2,406	\$0	\$0	\$2,646	\$0
508	Standard Interior Doors	INDR-B02000-H04	Standard Interior Doors	\$226	\$0	\$0	\$248	\$0
511	Standard Interior Doors	INDR-B03000-001	Standard Interior Doors	\$40,599	\$0	\$0	\$44,659	\$0
514	Standard Interior Doors	INDR-B03000-H02	Standard Interior Doors	\$48,118	\$0	\$0	\$52,930	\$0
517	Standard Interior Doors	INDR-B03000-H04	Standard Interior Doors	\$451	\$0	\$0	\$496	\$0
520	Standard Interior Doors	INDR-BB1000-001	Standard Interior Doors	\$133,250	\$0	\$0	\$146,574	\$0
523	Standard Interior Doors	INDR-BB1000-002	Standard Interior Doors	\$6,169	\$0	\$0	\$6,786	\$0
527	Fire Doors	FRDR-B01000-001	Fire Doors	\$2,677	\$2,677	\$0	\$0	\$0
532	Fire Doors	FRDR-B01000-002	Fire Doors	\$2,677	\$2,677	\$0	\$0	\$0
537	Fire Doors	FRDR-B01000-003	Fire Doors	\$2,677	\$2,677	\$0	\$0	\$0
542	Fire Doors	FRDR-B01000-005	Fire Doors	\$2,677	\$2,677	\$0	\$0	\$0
547	Fire Doors	FRDR-B01000-006	Fire Doors	\$2,677	\$2,677	\$0	\$0	\$0
552	Fire Doors	FRDR-B01000-008	Fire Doors	\$5,353	\$5,353	\$0	\$0	\$0
561	Fire Doors	FRDR-B01000-010	Fire Doors	\$2,677	\$2,677	\$0	\$0	\$0
566	Fire Doors	FRDR-B01000-011	Fire Doors	\$2,729	\$2,729	\$0	\$0	\$0
573	Fire Doors	FRDR-B01000-013	Fire Doors	\$3,030	\$3,030	\$0	\$0	\$0
581	Fire Doors	FRDR-B01000-014	Fire Doors	\$9,392	\$9,392	\$0	\$0	\$67
592	Fire Doors	FRDR-B01000-015	Fire Doors	\$2,677	\$2,677	\$0	\$0	\$0
597	Fire Doors	FRDR-B01000-017	Fire Doors	\$53	\$53	\$0	\$0	\$67
600	Fire Doors	FRDR-B01000-018	Fire Doors	\$9,392	\$9,392	\$0	\$0	\$67
611	Fire Doors	FRDR-B01000-019	Fire Doors	\$2,677	\$2,677	\$0	\$0	\$0
616	Fire Doors	FRDR-B01000-020	Fire Doors	\$2,677	\$2,677	\$0	\$0	\$0
621	Fire Doors	FRDR-B01000-022	Fire Doors	\$2,677	\$2,677	\$0	\$0	\$0
626	Fire Doors	FRDR-B01000-024	Fire Doors	\$2,745	\$2,745	\$0	\$0	\$0
631	Fire Doors	FRDR-B01000-H04	Fire Doors	\$14,852	\$14,852	\$0	\$0	\$0
641	Fire Doors	FRDR-B01000-H16	Fire Doors	\$14,852	\$14,852	\$0	\$0	\$0
651	Fire Doors	FRDR-B01000-H21	Fire Doors	\$14,852	\$14,852	\$0	\$0	\$0
661	Fire Doors	FRDR-B02000-002	Fire Doors	\$2,677	\$2,677	\$0	\$0	\$0
666	Fire Doors	FRDR-B02000-005	Fire Doors	\$2,677	\$2,677	\$0	\$0	\$0
671	Fire Doors	FRDR-B02000-006	Fire Doors	\$180	\$180	\$0	\$0	\$0
674	Fire Doors	FRDR-B02000-007	Fire Doors	\$14,275	\$14,275	\$0	\$0	\$0
683	Fire Doors	FRDR-B02000-009	Fire Doors	\$185	\$185	\$0	\$0	\$0
686	Fire Doors	FRDR-B02000-011	Fire Doors	\$2,745	\$2,745	\$0	\$0	\$0
691	Fire Doors	FRDR-B02000-013	Fire Doors	\$54	\$54	\$0	\$0	\$69
694	Fire Doors	FRDR-B02000-014	Fire Doors	\$2,745	\$2,745	\$0	\$0	\$0
699	Fire Doors	FRDR-B02000-015	Fire Doors	\$54	\$54	\$0	\$0	\$69
702	Fire Doors	FRDR-B02000-018	Fire Doors	\$54	\$54	\$0	\$0	\$69
705	Fire Doors	FRDR-B02000-H04	Fire Doors	\$14,852	\$14,852	\$0	\$0	\$0
715	Fire Doors	FRDR-B02000-H10	Fire Doors	\$14,852	\$14,852	\$0	\$0	\$0
725	Fire Doors	FRDR-B02000-H21	Fire Doors	\$14,852	\$14,852	\$0	\$0	\$0
735	Fire Doors	FRDR-B03000-H01	Fire Doors	\$14,852	\$14,852	\$0	\$0	\$0
745	Fire Doors	FRDR-B03000-H02	Fire Doors	\$14,852	\$14,852	\$0	\$0	\$0





DC Courts Building B FCA

Line #	Parent Location	Uniformat / Asset ID	Description	2021 Cost	COSTS BY PRIORITY			
					IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
					1	2	3	4
755	Fire Doors	FRDR-B03000-H03	Fire Doors	\$14,852	\$14,852	\$0	\$0	\$0
765	Fire Doors	FRDR-BB1000-002	Fire Doors	\$4,526	\$4,526	\$0	\$0	\$0
772	Fire Doors	FRDR-BB1000-003	Fire Doors	\$5,955	\$5,955	\$0	\$0	\$0
779	Fire Doors	FRDR-BB1000-004	Fire Doors	\$54	\$54	\$0	\$0	\$0
782	Fire Doors	FRDR-BB1000-005	Fire Doors	\$54	\$54	\$0	\$0	\$0
785	Fire Doors	FRDR-BB1000-H01	Fire Doors	\$14,852	\$14,852	\$0	\$0	\$0
795	Fire Doors	FRDR-BB1000-H07	Fire Doors	\$14,852	\$14,852	\$0	\$0	\$0
805	Fire Doors	FRDR-BPH000-001	Fire Doors	\$14,275	\$14,275	\$0	\$0	\$0
814	Fire Doors	FRDR-BPH000-002	Fire Doors	\$8,337	\$8,337	\$0	\$0	\$0
822	Fire Doors	FRDR-BPH000-003	Fire Doors	\$16,675	\$16,675	\$0	\$0	\$0
838	Sliding and Folding Doors	DLDR-BB1000-001	Sliding and Folding Doors	\$1,504	\$0	\$0	\$1,654	\$0
842	Interior Gates	INGT-B01000-001	Interior Gates	\$2,256	\$0	\$0	\$2,481	\$0
845	Interior Gates	INGT-B02000-001	Interior Gates	\$3,383	\$0	\$0	\$3,722	\$0
849	Interior Door Hardware	DRHD-B01000-001	Interior Door Hardware	\$5,579	\$5,579	\$0	\$0	\$0
852	Interior Door Hardware	DRHD-B02000-001	Interior Door Hardware	\$7,438	\$7,438	\$0	\$0	\$0
855	Interior Door Hardware	DRHD-B02000-003	Interior Door Hardware	\$2,468	\$2,468	\$0	\$0	\$0
859	Other Interior Specialty Doors	INTS-BB1000-003	Other Interior Specialty Doors	\$30,074	\$19,548	\$0	\$0	\$13,473
864	Other Interior Specialty Doors	SPDR-B01000-H01	Other Interior Specialty Doors	\$21,052	\$0	\$0	\$23,157	\$0
867	Other Interior Specialty Doors	SPDR-B01000-H02	Other Interior Specialty Doors	\$10,526	\$0	\$0	\$11,578	\$0
870	Other Interior Specialty Doors	SPDR-B02000-H01	Other Interior Specialty Doors	\$21,052	\$0	\$0	\$23,157	\$0
873	Other Interior Specialty Doors	SPDR-B03000-H01	Other Interior Specialty Doors	\$21,052	\$0	\$0	\$23,157	\$0
876	Other Interior Specialty Doors	SPDR-B03000-H02	Other Interior Specialty Doors	\$10,526	\$0	\$0	\$11,578	\$0
879	Other Interior Specialty Doors	SPDR-BB1000-001	Other Interior Specialty Doors	\$1,353	\$0	\$0	\$1,489	\$0
882	Other Interior Specialty Doors	SPDR-BB1000-002	Other Interior Specialty Doors	\$38,864	\$38,864	\$0	\$0	\$0
885	Interior Construction	C1030	Fittings	\$234,826	\$1,507	\$44,063	\$209,633	\$481
887	Compartments, Cubicles, Toilet Partitions	TPTN-B02000-H01	Compartments, Cubicles, Toilet Partitions	\$3,609	\$0	\$3,753	\$0	\$0
890	Compartments, Cubicles, Toilet Partitions	TPTN-B03000-H01	Compartments, Cubicles, Toilet Partitions	\$6,616	\$0	\$6,881	\$0	\$0
894	Toilet and Bath Accessories	TA-B01000-002	Toilet and Bath Accessories	\$771	\$0	\$802	\$0	\$0
897	Toilet and Bath Accessories	TA-B01000-006	Toilet and Bath Accessories	\$3,099	\$0	\$0	\$3,409	\$0
900	Toilet and Bath Accessories	TA-B01000-008	Toilet and Bath Accessories	\$501	\$0	\$0	\$551	\$0
903	Toilet and Bath Accessories	TA-B01000-013	Toilet and Bath Accessories	\$100	\$100	\$0	\$0	\$0
906	Toilet and Bath Accessories	TA-B02000-001	Toilet and Bath Accessories	\$139	\$0	\$0	\$153	\$0
909	Toilet and Bath Accessories	TA-B02000-009	Toilet and Bath Accessories	\$3,099	\$0	\$0	\$3,409	\$0
912	Toilet and Bath Accessories	TA-B02000-015	Toilet and Bath Accessories	\$902	\$902	\$0	\$0	\$0
915	Toilet and Bath Accessories	TA-B02000-016	Toilet and Bath Accessories	\$200	\$200	\$0	\$0	\$0
918	Toilet and Bath Accessories	TA-B03000-001	Toilet and Bath Accessories	\$279	\$0	\$0	\$307	\$0
921	Toilet and Bath Accessories	TA-B03000-006	Toilet and Bath Accessories	\$3,084	\$0	\$0	\$3,393	\$0
924	Toilet and Bath Accessories	TA-B03000-007	Toilet and Bath Accessories	\$406	\$0	\$422	\$0	\$0
927	Toilet and Bath Accessories	TA-B03000-009	Toilet and Bath Accessories	\$504	\$203	\$0	\$331	\$0
932	Toilet and Bath Accessories	TA-BB1000-001	Toilet and Bath Accessories	\$775	\$0	\$806	\$0	\$0
935	Toilet and Bath Accessories	TA-BB1000-002	Toilet and Bath Accessories	\$139	\$0	\$145	\$0	\$0
938	Toilet and Bath Accessories	TA-BB1000-003	Toilet and Bath Accessories	\$372	\$101	\$282	\$0	\$0
943	Toilet and Bath Accessories	TA-BB1000-005	Toilet and Bath Accessories	\$271	\$0	\$282	\$0	\$0
946	Toilet and Bath Accessories	TA-BB1000-011	Toilet and Bath Accessories	\$542	\$0	\$564	\$0	\$0
949	Toilet and Bath Accessories	TA-BB1000-012	Toilet and Bath Accessories	\$70	\$0	\$73	\$0	\$0
952	Toilet and Bath Accessories	TA-BB1000-013	Toilet and Bath Accessories	\$170	\$0	\$177	\$0	\$0
957	Toilet and Bath Accessories	TA-BB1000-017	Toilet and Bath Accessories	\$349	\$0	\$363	\$0	\$0
961	Identifying Devices	IDD-B01000-001	Identifying Devices	\$11,049	\$0	\$11,490	\$0	\$0
964	Identifying Devices	IDD-BB1000-001	Identifying Devices	\$1,426	\$0	\$1,483	\$0	\$0
968	Lockers	LCKR-BB1000-001	Lockers	\$4,143	\$0	\$0	\$4,557	\$0
972	Shelving	SHLV-B01000-001	Shelving	\$200	\$0	\$209	\$0	\$0
975	Shelving	SHLV-B02000-002	Shelving	\$1,388	\$0	\$1,444	\$0	\$0
978	Shelving	SHLV-B03000-001	Shelving	\$200	\$0	\$209	\$0	\$0
981	Shelving	SHLV-BB1000-001	Shelving	\$401	\$0	\$417	\$0	\$0
985	Counters	CTR-B01000-001	Counters	\$2,441	\$0	\$0	\$2,685	\$0
988	Counters	CTR-B01000-002	Counters	\$1,674	\$0	\$1,740	\$0	\$0
991	Counters	CTR-B01000-003	Counters	\$2,092	\$0	\$0	\$2,301	\$0
994	Counters	CTR-B01000-004	Counters	\$30,682	\$0	\$0	\$33,750	\$0
997	Counters	CTR-B01000-006	Counters	\$1,278	\$0	\$0	\$1,406	\$0
1000	Counters	CTR-B02000-001	Counters	\$376	\$0	\$0	\$0	\$481
1003	Counters	CTR-B02000-002	Counters	\$5,811	\$0	\$0	\$6,392	\$0
1007	Counters	CTR-B03000-001	Counters	\$2,557	\$0	\$0	\$2,812	\$0
1011	Counters	CTR-BB1000-002	Counters	\$83	\$0	\$0	\$91	\$0
1014	Counters	CTR-BB1000-003	Counters	\$45	\$0	\$0	\$50	\$0
1018	Casework	CSW-B01000-001	Casework	\$1,053	\$0	\$0	\$1,158	\$0
1021	Casework	CSW-B01000-002	Casework	\$1,824	\$0	\$0	\$2,006	\$0
1026	Casework	CSW-B01000-003	Casework	\$771	\$0	\$0	\$848	\$0
1029	Casework	CSW-B01000-005	Casework	\$116,219	\$0	\$0	\$127,841	\$0
1032	Casework	CSW-B02000-002	Casework	\$1,824	\$0	\$0	\$2,006	\$0
1037	Casework	CSW-B02000-003	Casework	\$1,824	\$0	\$0	\$2,006	\$0
1042	Casework	CSW-B02000-005	Casework	\$1,627	\$0	\$1,692	\$0	\$0
1045	Casework	CSW-B03000-003	Casework	\$128	\$0	\$0	\$141	\$0
1048	Casework	CSW-B03000-004	Casework	\$1,627	\$0	\$1,692	\$0	\$0
1051	Casework	CSW-BB1000-001	Casework	\$3,874	\$0	\$4,029	\$0	\$0
1054	Casework	CSW-BB1000-002	Casework	\$1,550	\$0	\$1,612	\$0	\$0
1057	Casework	CSW-BB1000-003	Casework	\$1,860	\$0	\$1,934	\$0	\$0
1060	Casework	CSW-BB1000-004	Casework	\$1,504	\$0	\$1,564	\$0	\$0
1066	Other Interior Specialties	INTS-B01000-002	Other Interior Specialties	\$226	\$0	\$0	\$248	\$0
1069	Other Interior Specialties	INTS-BB1000-001	Other Interior Specialties	\$135	\$0	\$0	\$149	\$0
1072	Other Interior Specialties	INTS-BB1000-002	Other Interior Specialties	\$6,940	\$0	\$0	\$7,634	\$0
1075	Interiors	C20	Stairs	\$96,804	\$7,128	\$81,902	\$11,852	\$192
1076	Stairs	C2010	Stair Construction	\$96,804	\$7,128	\$81,902	\$11,852	\$192
1078	Interior Stair Construction	ISTW-B00000-001	Interior Stair Construction	\$1,317	\$0	\$1,370	\$0	\$0
1081	Interior Stair Construction	ISTW-B00000-002	Interior Stair Construction	\$2,010	\$0	\$1,048	\$1,103	\$0





DC Courts Building B FCA

Line #	Parent Location	Uniformat / Asset ID	Description	2021 Cost	COSTS BY PRIORITY			
					IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
					1	2	3	4
1086	Interior Stair Construction	ISTW-B00000-003	Interior Stair Construction	\$542	\$0	\$564	\$0	\$0
1089	Interior Stair Construction	ISTW-B04000-001	Interior Stair Construction	\$540	\$0	\$0	\$594	\$0
1092	Interior Stair Construction	ISTW-BB1000-001	Interior Stair Construction	\$1,317	\$0	\$1,370	\$0	\$0
1096	Exterior Stair Construction	ESTW-B00ELE-001	Exterior Stair Construction	\$22,733	\$0	\$22,198	\$1,527	\$0
1103	Exterior Stair Construction	ESTW-B00ELE-H01	Exterior Stair Construction	\$150	\$0	\$0	\$0	\$192
1106	Exterior Stair Construction	ESTW-B00ELN-001	Exterior Stair Construction	\$14,106	\$0	\$13,413	\$1,330	\$0
1115	Exterior Stair Construction	ESTW-B00ELN-H01	Exterior Stair Construction	\$771	\$0	\$802	\$0	\$0
1118	Exterior Stair Construction	ESTW-B00ELS-H01	Exterior Stair Construction	\$8,373	\$0	\$5,560	\$3,329	\$0
1125	Exterior Stair Construction	ESTW-B00ELW-001	Exterior Stair Construction	\$4,135	\$0	\$4,301	\$0	\$0
1131	Exterior Ramps	ERMP-B00ELN-001	Exterior Ramps	\$40,811	\$7,128	\$31,277	\$3,970	\$0
1138	Interiors	C30	Interior Finishes	\$1,886,755	\$144,778	\$997,331	\$574,430	\$333,818
1139	Interior Finishes	C3010	Wall Finishes	\$1,210,625	\$87,234	\$976,801	\$39,322	\$189,994
1141	Gypsum Wallboard Finishes	GBF-B01000-001	Gypsum Wallboard Finishes	\$219,914	\$0	\$228,710	\$0	\$0
1144	Gypsum Wallboard Finishes	GBF-B0200-001	Gypsum Wallboard Finishes	\$34,585	\$0	\$35,968	\$0	\$0
1147	Gypsum Wallboard Finishes	GBF-B03000-001	Gypsum Wallboard Finishes	\$10,375	\$0	\$10,790	\$0	\$0
1150	Gypsum Wallboard Finishes	GBF-BB1000-001	Gypsum Wallboard Finishes	\$17,292	\$0	\$17,984	\$0	\$0
1154	Tile and Terrazzo Wall Finishes	TLWF-B01000-001	Tile and Terrazzo Wall Finishes	\$63,155	\$63,155	\$0	\$0	\$0
1157	Tile and Terrazzo Wall Finishes	TLWF-B03000-001	Tile and Terrazzo Wall Finishes	\$24,059	\$24,059	\$0	\$0	\$0
1160	Tile and Terrazzo Wall Finishes	TLWF-B03000-002	Tile and Terrazzo Wall Finishes	\$3,886	\$0	\$0	\$0	\$4,975
1163	Tile and Terrazzo Wall Finishes	TLWF-BB1000-002	Tile and Terrazzo Wall Finishes	\$8,637	\$0	\$0	\$0	\$11,055
1167	Other Wall Finishes	STWF-B01000-H01	Other Wall Finishes	\$158,496	\$0	\$32,512	\$0	\$162,861
1172	Other Wall Finishes	STWF-B01000-H02	Other Wall Finishes	\$34,402	\$0	\$17,734	\$19,085	\$0
1177	Other Wall Finishes	STWF-B02000-H01	Other Wall Finishes	\$29,990	\$0	\$22,167	\$0	\$11,104
1182	Other Wall Finishes	STWF-B02000-H02	Other Wall Finishes	\$13,262	\$0	\$13,793	\$0	\$0
1185	Other Wall Finishes	STWF-B03000-H03	Other Wall Finishes	\$16,104	\$0	\$16,749	\$0	\$0
1188	Other Wall Finishes	STWF-B03000-H04	Other Wall Finishes	\$10,421	\$0	\$10,837	\$0	\$0
1191	Other Wall Finishes	WDWF-B01000-H01	Other Wall Finishes	\$77,112	\$0	\$80,196	\$0	\$0
1194	Other Wall Finishes	WDWF-B02000-H01	Other Wall Finishes	\$117,210	\$0	\$121,899	\$0	\$0
1197	Other Wall Finishes	WDWF-B03000-H01	Other Wall Finishes	\$240,628	\$0	\$250,253	\$0	\$0
1202	Other Wall Finishes	WDWF-BB1000-001	Other Wall Finishes	\$112,699	\$0	\$117,207	\$0	\$0
1207	Other Wall Finishes	WNSL-B01000-003	Other Wall Finishes	\$578	\$0	\$0	\$636	\$0
1210	Other Wall Finishes	WNSL-B01000-H01	Other Wall Finishes	\$7,218	\$0	\$0	\$7,939	\$0
1213	Other Wall Finishes	WNSL-B02000-H01	Other Wall Finishes	\$5,639	\$0	\$0	\$6,203	\$0
1218	Other Wall Finishes	WNSL-B03000-H01	Other Wall Finishes	\$4,962	\$0	\$0	\$5,458	\$0
1221	Interior Finishes	C3020	Floor Finishes	\$580,968	\$7,094	\$5,560	\$501,782	\$143,824
1223	Terrazzo Floor Finishes	TXFL-B02000-H01	Terrazzo Floor Finishes	\$106,010	\$0	\$0	\$0	\$135,692
1226	Terrazzo Floor Finishes	TXFL-B02000-H02	Terrazzo Floor Finishes	\$6,353	\$0	\$0	\$0	\$8,132
1230	Resilient Floor Finishes	RSFF-B01000-001	Resilient Floor Finishes	\$7,094	\$7,094	\$0	\$0	\$0
1234	Carpeting	CPT-B03000-001	Carpeting	\$94,025	\$0	\$5,560	\$97,547	\$0
1239	Carpeting	CPT-B03000-002	Carpeting	\$36,243	\$0	\$0	\$39,867	\$0
1242	Carpeting	CPT-BB1000-001	Carpeting	\$28,917	\$0	\$0	\$31,809	\$0
1246	Wall Base Finishes	WB-B01000-002	Wall Base Finishes	\$4,339	\$0	\$0	\$4,773	\$0
1249	Wall Base Finishes	WB-B01000-003	Wall Base Finishes	\$46	\$0	\$0	\$51	\$0
1252	Wall Base Finishes	WB-B01000-H01	Wall Base Finishes	\$33,382	\$0	\$0	\$36,720	\$0
1255	Wall Base Finishes	WB-B0200-002	Wall Base Finishes	\$5,424	\$0	\$0	\$5,966	\$0
1258	Wall Base Finishes	WB-B0200-003	Wall Base Finishes	\$2,479	\$0	\$0	\$2,727	\$0
1261	Wall Base Finishes	WB-B0200-004	Wall Base Finishes	\$4,511	\$0	\$0	\$4,962	\$0
1264	Wall Base Finishes	WB-B0200-H01	Wall Base Finishes	\$111,273	\$0	\$0	\$122,400	\$0
1267	Wall Base Finishes	WB-B0200-H05	Wall Base Finishes	\$2,406	\$0	\$0	\$2,646	\$0
1270	Wall Base Finishes	WB-B03000-002	Wall Base Finishes	\$5,424	\$0	\$0	\$5,966	\$0
1273	Wall Base Finishes	WB-B03000-003	Wall Base Finishes	\$2,479	\$0	\$0	\$2,727	\$0
1276	Wall Base Finishes	WB-B03000-004	Wall Base Finishes	\$5,263	\$0	\$0	\$5,789	\$0
1279	Wall Base Finishes	WB-B03000-H01	Wall Base Finishes	\$111,273	\$0	\$0	\$122,400	\$0
1282	Wall Base Finishes	WB-BB1000-002	Wall Base Finishes	\$2,045	\$0	\$0	\$2,250	\$0
1285	Wall Base Finishes	WB-BB1000-003	Wall Base Finishes	\$11,983	\$0	\$0	\$13,182	\$0
1288	Interior Finishes	C3030	Ceiling Finishes	\$95,162	\$50,470	\$14,971	\$33,327	\$0
1290	Exposed Concrete Finishes	GBCL-B02000-H02	Exposed Concrete Finishes	\$21,746	\$21,746	\$0	\$0	\$0
1294	Plaster Ceiling Finishes	PLCL-B01000-H01	Plaster Ceiling Finishes	\$376	\$0	\$391	\$0	\$0
1298	Gypsum Wallboard Ceiling Finishes	GBCL-B03000-H02	Gypsum Wallboard Ceiling Finishes	\$22,208	\$22,208	\$0	\$0	\$0
1301	Gypsum Wallboard Ceiling Finishes	GBCL-BB1000-001	Gypsum Wallboard Ceiling Finishes	\$29,773	\$0	\$0	\$32,750	\$0
1305	Acoustical Ceiling Tiles and Panels	ACT-B01000-002	Acoustical Ceiling Tiles and Panels	\$4,010	\$0	\$4,170	\$0	\$0
1308	Acoustical Ceiling Tiles and Panels	ACT-B02000-002	Acoustical Ceiling Tiles and Panels	\$4,010	\$0	\$4,170	\$0	\$0
1311	Acoustical Ceiling Tiles and Panels	ACT-B02000-005	Acoustical Ceiling Tiles and Panels	\$77	\$0	\$80	\$0	\$0
1314	Acoustical Ceiling Tiles and Panels	ACT-B02000-006	Acoustical Ceiling Tiles and Panels	\$2,082	\$2,082	\$0	\$0	\$0
1317	Acoustical Ceiling Tiles and Panels	ACT-B03000-002	Acoustical Ceiling Tiles and Panels	\$6,632	\$2,776	\$4,010	\$0	\$0
1322	Acoustical Ceiling Tiles and Panels	ACT-B03000-003	Acoustical Ceiling Tiles and Panels	\$1,658	\$1,658	\$0	\$0	\$0
1325	Acoustical Ceiling Tiles and Panels	ACT-BB1000-001	Acoustical Ceiling Tiles and Panels	\$1,542	\$0	\$1,604	\$0	\$0
1328	Acoustical Ceiling Tiles and Panels	ACT-BB1000-002	Acoustical Ceiling Tiles and Panels	\$524	\$0	\$545	\$0	\$0
1331	Acoustical Ceiling Tiles and Panels	ACT-BB1000-003	Acoustical Ceiling Tiles and Panels	\$524	\$0	\$0	\$577	\$0
1334	Estimate Tree	D	Services	\$8,380,915	\$739,397	\$1,119,494	\$4,898,594	\$2,703,122
1335	Services	D10	Conveying	\$92,534	\$0	\$96,236	\$0	\$0
1336	Conveying	D1010	Elevators & Lifts	\$92,534	\$0	\$96,236	\$0	\$0
1338	Passenger Elevators	ELSW-BB1000-001	Passenger Elevators	\$92,534	\$0	\$96,236	\$0	\$0
1341	Services	D20	Plumbing	\$2,271,256	\$204,353	\$55,695	\$1,890,365	\$377,390
1342	Plumbing	D2010	Plumbing Fixtures	\$369,601	\$55,521	\$54,052	\$240,864	\$55,219
1344	WaterClosets	WC00-B01000-001	WaterClosets	\$33,880	\$0	\$0	\$37,268	\$0
1348	WaterClosets	WC00-B02000-001	WaterClosets	\$38,115	\$0	\$0	\$41,926	\$0
1352	WaterClosets	WC00-B03000-001	WaterClosets	\$40,232	\$0	\$0	\$44,256	\$0
1356	WaterClosets	WC00-BB1000-001	WaterClosets	\$14,822	\$0	\$0	\$0	\$18,973
1360	WaterClosets	WC00-BB1000-002	WaterClosets	\$28,317	\$0	\$0	\$0	\$36,246
1364	WaterClosets	WC00-BB1SAH-501	WaterClosets	\$40,869	\$0	\$42,504	\$0	\$0
1369	Urinals	URIN-B01000-001	Urinals	\$5,089	\$0	\$0	\$5,598	\$0
1374	Urinals	URIN-B03000-001	Urinals	\$5,089	\$0	\$0	\$5,598	\$0
1379	Urinals	URIN-BB1000-001	Urinals	\$5,089	\$0	\$0	\$5,598	\$0





DC Courts Building B FCA

Line #	Parent Location	Uniformat / Asset ID	Description	2021 Cost	COSTS BY PRIORITY			
					IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
					1	2	3	4
1385	Lavatories	LAV0-B01000-001	Lavatories	\$23,750	\$0	\$0	\$26,126	\$0
1389	Lavatories	LAV0-BB1SAH-001	Lavatories	\$46,576	\$46,576	\$0	\$0	\$0
1394	Lavatories	LAV-B02000-001	Lavatories	\$25,447	\$0	\$0	\$27,992	\$0
1398	Lavatories	LAV-B03000-001	Lavatories	\$33,929	\$0	\$0	\$37,322	\$0
1403	Drinking Fountains and Coolers	DFCO-B01000-001	Drinking Fountains and Coolers	\$11,104	\$0	\$11,548	\$0	\$0
1408	Drinking Fountains and Coolers	DFCO-B01000-H02	Drinking Fountains and Coolers	\$2,782	\$0	\$0	\$3,060	\$0
1411	Drinking Fountains and Coolers	DFCO-B02000-H02	Drinking Fountains and Coolers	\$2,782	\$0	\$0	\$3,060	\$0
1414	Drinking Fountains and Coolers	DFCO-B03000-H02	Drinking Fountains and Coolers	\$2,782	\$0	\$0	\$3,060	\$0
1417	Drinking Fountains and Coolers	DFCO-BB1000-001	Drinking Fountains and Coolers	\$8,945	\$8,945	\$0	\$0	\$0
1422	Plumbing	D2020	Domestic Water Distribution	\$734,566	\$109,959	\$0	\$440,823	\$286,540
1424	Pipes and Fittings	DWPF-B02000-001	Pipes and Fittings	\$141,240	\$0	\$0	\$155,364	\$0
1428	Pipes and Fittings	DWPF-BB1000-001	Pipes and Fittings	\$177,740	\$0	\$0	\$0	\$227,507
1432	Pipes and Fittings	DWPF-BB1SAH-001	Pipes and Fittings	\$109,959	\$109,959	\$0	\$0	\$0
1437	Valves and Hydrants	DWVH-B01000-001	Valves and Hydrants	\$46,119	\$0	\$0	\$50,731	\$0
1440	Valves and Hydrants	DWVH-B02000-001	Valves and Hydrants	\$36,648	\$0	\$0	\$40,313	\$0
1443	Valves and Hydrants	DWVH-B03000-001	Valves and Hydrants	\$36,648	\$0	\$0	\$40,313	\$0
1446	Valves and Hydrants	DWVH-BB1000-001	Valves and Hydrants	\$46,119	\$0	\$0	\$0	\$59,033
1450	Domestic Water Equipment	DWEQ-BB1000-001	Domestic Water Equipment	\$65,530	\$0	\$0	\$72,083	\$0
1455	Domestic Hot Water Pump	DHWP-BB1000-001	Domestic Hot Water Pump	\$2,930	\$0	\$0	\$3,223	\$0
1459	Insulation - Domestic	DWIN-BB1000-001	Insulation - Domestic	\$6,103	\$0	\$0	\$6,713	\$0
1464	Water Heater - Elec	WHEL-BB1000-001	Water Heater - Elec	\$65,530	\$0	\$0	\$72,083	\$0
1468	Plumbing	D2030	Sanitary Waste	\$1,082,111	\$38,874	\$0	\$1,116,940	\$35,632
1470	Waste Pipe and fittings	WPFO-B01000-001	Waste Pipe and fittings	\$176,704	\$0	\$0	\$194,374	\$0
1474	Waste Pipe and fittings	WPFO-B02000-001	Waste Pipe and fittings	\$140,416	\$0	\$0	\$154,458	\$0
1478	Waste Pipe and fittings	WPFO-B03000-001	Waste Pipe and fittings	\$317,120	\$0	\$0	\$348,832	\$0
1485	Waste Pipe and fittings	WPFO-BB1SAH-001	Waste Pipe and fittings	\$27,837	\$0	\$0	\$0	\$35,632
1489	Waste Pipe and fittings	WPFO-BPH000-001	Waste Pipe and fittings	\$140,416	\$0	\$0	\$154,458	\$0
1494	Vent Pipe and Fittings	VPFO-B02000-001	Vent Pipe and Fittings	\$15,634	\$0	\$0	\$17,197	\$0
1498	Vent Pipe and Fittings	VPFO-B03000-001	Vent Pipe and Fittings	\$16,251	\$0	\$0	\$17,876	\$0
1502	Vent Pipe and Fittings	VPFO-BB1SAH-001	Vent Pipe and Fittings	\$37,177	\$37,177	\$0	\$0	\$0
1510	Floor Drains	FLDR-B01000-001	Floor Drains	\$27,413	\$0	\$0	\$30,155	\$0
1514	Floor Drains	FLDR-B02000-001	Floor Drains	\$39,597	\$0	\$0	\$43,557	\$0
1518	Floor Drains	FLDR-B03000-001	Floor Drains	\$45,689	\$0	\$0	\$50,258	\$0
1522	Floor Drains	FLDR-BB1000-001	Floor Drains	\$60,918	\$0	\$0	\$67,010	\$0
1526	Floor Drains	FLDR-BPH000-001	Floor Drains	\$27,413	\$0	\$0	\$30,155	\$0
1531	Identification - Sanitary	WIDO-BB1000-001	Identification - Sanitary	\$6,132	\$0	\$0	\$6,745	\$0
1536	Sewage Ejector Pump	SE00-BB1000-001	Sewage Ejector Pump	\$1,465	\$0	\$0	\$1,612	\$0
1539	Sewage Ejector Pump	SE00-BB1000-002	Sewage Ejector Pump	\$1,928	\$1,696	\$0	\$254	\$0
1545	Plumbing	D2040	Rain Water Drainage	\$84,632	\$0	\$1,283	\$91,738	\$0
1547	Pipe and Fittings	RWPF-B01000-001	Pipe and Fittings	\$77,266	\$0	\$0	\$84,993	\$0
1552	Storm Drainage Pipe	SP00-BB1000-001	Storm Drainage Pipe	\$1,234	\$0	\$1,283	\$0	\$0
1557	Identification - Rain	RWID-BB1000-001	Identification - Rain	\$6,132	\$0	\$0	\$6,745	\$0
1561	Plumbing	D2090	Other Plumbing Systems	\$346	\$0	\$360	\$0	\$0
1563	Other Special Plumbing Systems	GREG-B01000-001	Other Special Plumbing Systems	\$173	\$0	\$180	\$0	\$0
1566	Other Special Plumbing Systems	GREG-BB1000-002	Other Special Plumbing Systems	\$173	\$0	\$180	\$0	\$0
1569	Services	D30	HVAC	\$6,017,124	\$535,044	\$967,563	\$3,008,229	\$2,325,731
1570	HVAC	D3020	Heat Generating Systems	\$3,609	\$3,609	\$0	\$0	\$0
1572	Hot Water Boilers	BHW0-BB1000-001	Hot Water Boilers	\$1,804	\$1,804	\$0	\$0	\$0
1575	Hot Water Boilers	BHW0-BB1000-002	Hot Water Boilers	\$1,804	\$1,804	\$0	\$0	\$0
1578	HVAC	D3030	Cooling Generating Systems	\$912,304	\$26,242	\$12,703	\$961,232	\$0
1580	Chillers	CHW0-BB1000-001	Chillers	\$169,646	\$0	\$0	\$186,611	\$0
1583	Chillers	CHW0-BB1000-002	Chillers	\$169,646	\$0	\$0	\$186,611	\$0
1586	Chillers	CHW0-BB1000-003	Chillers	\$2,190	\$2,190	\$0	\$0	\$0
1590	Condenser Water Pumps	CWPO-BB1000-001	Condenser Water Pumps	\$6,107	\$0	\$6,352	\$0	\$0
1593	Condenser Water Pumps	CWPO-BB1000-002	Condenser Water Pumps	\$6,107	\$0	\$6,352	\$0	\$0
1597	Closed Loop Water Treatment	CLWT-BB1000-001	Closed Loop Water Treatment	\$1,496	\$1,496	\$0	\$0	\$0
1602	Condenser Water Pipe & Fittings	CWPF-BB1000-001	Condenser Water Pipe & Fittings	\$67,809	\$0	\$0	\$74,590	\$0
1606	Condenser Water Pipe & Fittings	CWPF-BPH000-001	Condenser Water Pipe & Fittings	\$4,073	\$0	\$0	\$4,481	\$0
1611	Cooling Towers	CT00-BPH000-001	Cooling Towers	\$242,614	\$11,278	\$0	\$254,470	\$0
1616	Cooling Towers	CT00-BPH000-002	Cooling Towers	\$242,614	\$11,278	\$0	\$254,470	\$0
1621	HVAC	D3040	Distribution Systems	\$1,030,319	\$57,153	\$514,088	\$235,509	\$338,882
1623	Ductwork and Fittings	DUCT-B01000-001	Ductwork and Fittings	\$101,947	\$0	\$106,025	\$0	\$0
1628	Ductwork and Fittings	DUCT-B02000-001	Ductwork and Fittings	\$93,455	\$0	\$97,194	\$0	\$0
1633	Ductwork and Fittings	DUCT-B03000-001	Ductwork and Fittings	\$93,455	\$0	\$97,194	\$0	\$0
1638	Ductwork and Fittings	DUCT-BB1000-001	Ductwork and Fittings	\$54,443	\$0	\$56,621	\$0	\$0
1643	Ductwork and Fittings	DUCT-BB1SAH-001	Ductwork and Fittings	\$33,929	\$0	\$35,286	\$0	\$0
1646	Ductwork and Fittings	DUCT-BPH000-001	Ductwork and Fittings	\$27,481	\$0	\$28,580	\$0	\$0
1652	Grilles and Diffusers	GRD0-B01000-001	Grilles and Diffusers	\$20,062	\$2,789	\$0	\$19,000	\$0
1657	Grilles and Diffusers	GRD0-B02000-001	Grilles and Diffusers	\$20,062	\$2,789	\$0	\$19,000	\$0
1662	Grilles and Diffusers	GRD0-B03000-001	Grilles and Diffusers	\$32,154	\$2,789	\$0	\$32,301	\$0
1669	Grilles and Diffusers	GRD0-BB1000-001	Grilles and Diffusers	\$24,381	\$2,789	\$0	\$23,750	\$0
1674	Grilles and Diffusers	GRD0-BB1SAH-001	Grilles and Diffusers	\$8,748	\$2,789	\$0	\$6,555	\$0
1680	Humidifiers	HUM0-BB1000-001	Humidifiers	\$4,565	\$0	\$4,748	\$0	\$0
1683	Humidifiers	HUM0-BPH000-001	Humidifiers	\$4,565	\$0	\$4,748	\$0	\$0
1686	Humidifiers	HUM0-BPH000-002	Humidifiers	\$4,565	\$0	\$4,748	\$0	\$0
1690	Steam Pipe and Fittings	STPF-B01000-001	Steam Pipe and Fittings	\$38,844	\$0	\$0	\$0	\$49,721
1694	Steam Traps	STTO-B01000-001	Steam Traps	\$38,710	\$0	\$0	\$0	\$49,549
1700	Steam Condensate Pump	STCP-BB1000-001	Steam Condensate Pump	\$12,107	\$0	\$12,591	\$0	\$0
1704	Steam Pipe Insulation	STIN-B01000-001	Steam Pipe Insulation	\$21,823	\$0	\$0	\$0	\$27,933
1708	Steam Pipe Identification	STID-B01000-001	Steam Pipe Identification	\$10,086	\$0	\$0	\$0	\$12,910
1712	Steam Pipe Meters, Manual Valves, Gauges	STMG-B01000-001	Steam Pipe Meters, Manual Valves, Gauges	\$38,844	\$38,844	\$0	\$0	\$0
1716	Heat Exchangers	HX00-BB1000-001	Heat Exchangers	\$11,567	\$0	\$0	\$0	\$14,806
1720	Heating Hot Water Pump	HWPO-BB1000-001	Heating Hot Water Pump	\$46,488	\$0	\$0	\$51,136	\$0
1723	Heating Hot Water Pump	HWPO-BB1000-002	Heating Hot Water Pump	\$46,488	\$0	\$0	\$51,136	\$0





DC Courts Building B FCA

Line #	Parent Location	Uniformat / Asset ID	Description	2021 Cost	COSTS BY PRIORITY			
					IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
					1	2	3	4
1727	Chilled Water Pumps	CHWP-BB1000-001	Chilled Water Pumps	\$10,765	\$0	\$11,195	\$0	\$0
1730	Chilled Water Pumps	CHWP-BB1000-002	Chilled Water Pumps	\$10,626	\$0	\$11,051	\$0	\$0
1733	Chilled Water Pumps	CHWP-BB1000-003	Chilled Water Pumps	\$106,245	\$0	\$0	\$0	\$135,993
1736	Chilled Water Pumps	CHWP-BB1000-004	Chilled Water Pumps	\$11,567	\$0	\$0	\$0	\$14,806
1739	Chilled Water Pumps	CHWP-BB1000-005	Chilled Water Pumps	\$1,124	\$1,124	\$0	\$0	\$0
1743	Exhaust Fans	EF00-BB1000-001	Exhaust Fans	\$3,239	\$0	\$0	\$0	\$4,146
1746	Exhaust Fans	EF00-BB1000-003	Exhaust Fans	\$3,239	\$0	\$0	\$3,563	\$0
1749	Exhaust Fans	EF00-BB1000-004	Exhaust Fans	\$3,239	\$3,239	\$0	\$0	\$0
1752	Exhaust Fans	EF00-BPH000-001	Exhaust Fans	\$6,477	\$0	\$0	\$0	\$8,291
1757	Exhaust Fans	EF00-BPH000-002	Exhaust Fans	\$3,239	\$0	\$0	\$0	\$4,146
1760	Exhaust Fans	EF00-BPH000-003	Exhaust Fans	\$3,239	\$0	\$0	\$0	\$4,146
1763	Exhaust Fans	EF00-BR1000-001	Exhaust Fans	\$3,239	\$0	\$0	\$0	\$4,146
1766	Exhaust Fans	EF00-BR1000-002	Exhaust Fans	\$3,239	\$0	\$0	\$0	\$4,146
1769	Exhaust Fans	EF00-BR1000-003	Exhaust Fans	\$3,239	\$0	\$0	\$0	\$4,146
1773	Air Handling Units	AHU0-BB1000-002	Air Handling Units	\$1,162	\$0	\$0	\$1,278	\$0
1777	Ductwork Hangers & Supports	DWHS-BB15AH-501	Ductwork Hangers & Supports	\$23,442	\$0	\$24,380	\$0	\$0
1781	Ductwork Insulation	DUIN-BB1000-001	Ductwork Insulation	\$25,262	\$0	\$0	\$27,788	\$0
1784	Ductwork Insulation	DUIN-BB15AH-501	Ductwork Insulation	\$9,485	\$0	\$9,864	\$0	\$0
1788	Ductwork Accessories	DUAC-BB15AH-501	Ductwork Accessories	\$9,485	\$0	\$9,864	\$0	\$0
1791	HVAC	D3050	Terminal & Package Units	\$1,822,617	\$305,395	\$11,963	\$7,634	\$1,918,438
1793	Unit Heaters	UH00-BB1000-002	Unit Heaters	\$8,174	\$0	\$0	\$0	\$10,463
1797	Fin Tube Radiation	FTRO-B01000-001	Fin Tube Radiation	\$8,745	\$1,804	\$0	\$0	\$8,883
1802	Fin Tube Radiation	FTRO-B01000-002	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1805	Fin Tube Radiation	FTRO-B01000-003	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1808	Fin Tube Radiation	FTRO-B01000-004	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1811	Fin Tube Radiation	FTRO-B01000-005	Fin Tube Radiation	\$6,767	\$6,767	\$0	\$0	\$0
1814	Fin Tube Radiation	FTRO-B01000-006	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1817	Fin Tube Radiation	FTRO-B01000-007	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1820	Fin Tube Radiation	FTRO-B01000-008	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1823	Fin Tube Radiation	FTRO-B01000-009	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1826	Fin Tube Radiation	FTRO-B01000-010	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1829	Fin Tube Radiation	FTRO-B01000-011	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1832	Fin Tube Radiation	FTRO-B01000-012	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1835	Fin Tube Radiation	FTRO-B01000-013	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1838	Fin Tube Radiation	FTRO-B01000-014	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1841	Fin Tube Radiation	FTRO-B01000-015	Fin Tube Radiation	\$8,745	\$0	\$0	\$0	\$11,193
1846	Fin Tube Radiation	FTRO-B01000-016	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1849	Fin Tube Radiation	FTRO-B01000-017	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1852	Fin Tube Radiation	FTRO-B01000-018	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1855	Fin Tube Radiation	FTRO-B01000-019	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1858	Fin Tube Radiation	FTRO-B01000-020	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1861	Fin Tube Radiation	FTRO-B01000-021	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1864	Fin Tube Radiation	FTRO-B01000-022	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1867	Fin Tube Radiation	FTRO-B01000-023	Fin Tube Radiation	\$694	\$0	\$0	\$0	\$888
1870	Fin Tube Radiation	FTRO-B01000-024	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1873	Fin Tube Radiation	FTRO-B01000-025	Fin Tube Radiation	\$6,940	\$6,940	\$0	\$0	\$0
1876	Fin Tube Radiation	FTRO-B01000-026	Fin Tube Radiation	\$6,940	\$6,940	\$0	\$0	\$0
1879	Fin Tube Radiation	FTRO-B01000-027	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1882	Fin Tube Radiation	FTRO-B01000-028	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1885	Fin Tube Radiation	FTRO-B01000-029	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1888	Fin Tube Radiation	FTRO-B01000-030	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1891	Fin Tube Radiation	FTRO-B01000-031	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1894	Fin Tube Radiation	FTRO-B01000-032	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1897	Fin Tube Radiation	FTRO-B01000-033	Fin Tube Radiation	\$6,940	\$6,940	\$0	\$0	\$0
1900	Fin Tube Radiation	FTRO-B01000-034	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1903	Fin Tube Radiation	FTRO-B01000-035	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1906	Fin Tube Radiation	FTRO-B01000-036	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1909	Fin Tube Radiation	FTRO-B01000-037	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1912	Fin Tube Radiation	FTRO-B01000-038	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1915	Fin Tube Radiation	FTRO-B01000-039	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1918	Fin Tube Radiation	FTRO-B01000-040	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1921	Fin Tube Radiation	FTRO-B01000-041	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1924	Fin Tube Radiation	FTRO-B01000-042	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1927	Fin Tube Radiation	FTRO-B01000-043	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1930	Fin Tube Radiation	FTRO-B01000-044	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1933	Fin Tube Radiation	FTRO-B01000-045	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1936	Fin Tube Radiation	FTRO-B01000-046	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1939	Fin Tube Radiation	FTRO-B01000-047	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1942	Fin Tube Radiation	FTRO-B01000-048	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1945	Fin Tube Radiation	FTRO-B01000-049	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1948	Fin Tube Radiation	FTRO-B01000-050	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1951	Fin Tube Radiation	FTRO-B01000-051	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1954	Fin Tube Radiation	FTRO-B01000-052	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1957	Fin Tube Radiation	FTRO-B01000-053	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1960	Fin Tube Radiation	FTRO-B01000-054	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1963	Fin Tube Radiation	FTRO-B01000-055	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1966	Fin Tube Radiation	FTRO-B01000-056	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1969	Fin Tube Radiation	FTRO-B01000-057	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1972	Fin Tube Radiation	FTRO-B02000-001	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1975	Fin Tube Radiation	FTRO-B02000-002	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1978	Fin Tube Radiation	FTRO-B02000-003	Fin Tube Radiation	\$6,940	\$0	\$0	\$7,634	\$0
1981	Fin Tube Radiation	FTRO-B02000-004	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1984	Fin Tube Radiation	FTRO-B02000-005	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1987	Fin Tube Radiation	FTRO-B02000-006	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
1990	Fin Tube Radiation	FTRO-B02000-007	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883





DC Courts Building B FCA

Line #	Parent Location	Uniformat / Asset ID	Description	2021 Cost	COSTS BY PRIORITY			
					IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
					1	2	3	4
2260	Fin Tube Radiation	FTRO-B03000-036	Fin Tube Radiation	\$8,791	\$0	\$1,925	\$0	\$8,883
2265	Fin Tube Radiation	FTRO-B03000-037	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2268	Fin Tube Radiation	FTRO-B03000-038	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2271	Fin Tube Radiation	FTRO-B03000-039	Fin Tube Radiation	\$8,745	\$1,804	\$0	\$0	\$8,883
2276	Fin Tube Radiation	FTRO-B03000-040	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2279	Fin Tube Radiation	FTRO-B03000-041	Fin Tube Radiation	\$8,745	\$1,804	\$0	\$0	\$8,883
2284	Fin Tube Radiation	FTRO-B03000-042	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2287	Fin Tube Radiation	FTRO-B03000-043	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2290	Fin Tube Radiation	FTRO-B03000-044	Fin Tube Radiation	\$8,745	\$1,804	\$0	\$0	\$8,883
2295	Fin Tube Radiation	FTRO-B03000-045	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2298	Fin Tube Radiation	FTRO-B03000-046	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2301	Fin Tube Radiation	FTRO-B03000-047	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2304	Fin Tube Radiation	FTRO-B03000-048	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2307	Fin Tube Radiation	FTRO-B03000-049	Fin Tube Radiation	\$9,652	\$0	\$2,820	\$0	\$8,883
2312	Fin Tube Radiation	FTRO-B03000-050	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2315	Fin Tube Radiation	FTRO-B03000-051	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2318	Fin Tube Radiation	FTRO-B03000-052	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2321	Fin Tube Radiation	FTRO-B03000-053	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2324	Fin Tube Radiation	FTRO-B03000-054	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2327	Fin Tube Radiation	FTRO-B03000-055	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2330	Fin Tube Radiation	FTRO-B03000-056	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2333	Fin Tube Radiation	FTRO-B03000-057	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2336	Fin Tube Radiation	FTRO-B03000-058	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2339	Fin Tube Radiation	FTRO-B03000-059	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2342	Fin Tube Radiation	FTRO-B03000-060	Fin Tube Radiation	\$6,940	\$0	\$0	\$0	\$8,883
2345	Fin Tube Radiation	FTRO-BB1000-001	Fin Tube Radiation	\$6,940	\$6,940	\$0	\$0	\$0
2348	Fin Tube Radiation	FTRO-BPH000-001	Fin Tube Radiation	\$6,940	\$6,940	\$0	\$0	\$0
2351	Fin Tube Radiation	FTRO-BPH000-002	Fin Tube Radiation	\$6,940	\$6,940	\$0	\$0	\$0
2354	Fin Tube Radiation	FTRO-BPH000-003	Fin Tube Radiation	\$6,940	\$6,940	\$0	\$0	\$0
2357	Fin Tube Radiation	FTRO-BPH000-004	Fin Tube Radiation	\$6,940	\$6,940	\$0	\$0	\$0
2361	Packaged Unit - Indoor	PUID-B01000-001	Packaged Unit - Indoor	\$12,029	\$0	\$0	\$0	\$15,398
2364	Packaged Unit - Indoor	PUID-B01000-002	Packaged Unit - Indoor	\$12,029	\$0	\$0	\$0	\$15,398
2367	Packaged Unit - Indoor	PUID-B01000-003	Packaged Unit - Indoor	\$12,029	\$0	\$0	\$0	\$15,398
2370	Packaged Unit - Indoor	PUID-B03000-001	Packaged Unit - Indoor	\$12,029	\$0	\$0	\$0	\$15,398
2373	Packaged Unit - Indoor	PUID-B03000-002	Packaged Unit - Indoor	\$12,029	\$0	\$0	\$0	\$15,398
2376	Packaged Unit - Indoor	PUID-BPH000-001	Packaged Unit - Indoor	\$12,029	\$0	\$0	\$0	\$15,398
2379	Packaged Unit - Indoor	PUID-BPH000-002	Packaged Unit - Indoor	\$12,029	\$0	\$0	\$0	\$15,398
2382	Packaged Unit - Indoor	PUID-BPH000-003	Packaged Unit - Indoor	\$12,029	\$0	\$0	\$0	\$15,398
2386	Packaged Unit - Outdoor	PUOD-B00SNE-001	Packaged Unit - Outdoor	\$27,452	\$0	\$0	\$0	\$35,138
2389	Packaged Unit - Outdoor	PUOD-B00SSW-001	Packaged Unit - Outdoor	\$27,452	\$0	\$0	\$0	\$35,138
2392	Packaged Unit - Outdoor	PUOD-BB1000-001	Packaged Unit - Outdoor	\$27,452	\$0	\$0	\$0	\$35,138
2395	Packaged Unit - Outdoor	PUOD-BB1000-002	Packaged Unit - Outdoor	\$27,452	\$0	\$0	\$0	\$35,138
2398	Packaged Unit - Outdoor	PUOD-BPH000-001	Packaged Unit - Outdoor	\$27,452	\$0	\$0	\$0	\$35,138
2401	Packaged Unit - Outdoor	PUOD-BPH000-002	Packaged Unit - Outdoor	\$27,452	\$0	\$0	\$0	\$35,138
2404	Packaged Unit - Outdoor	PUOD-BPH000-003	Packaged Unit - Outdoor	\$27,452	\$0	\$0	\$0	\$35,138
2407	Packaged Unit - Outdoor	PUOD-BPH000-004	Packaged Unit - Outdoor	\$27,452	\$0	\$0	\$0	\$35,138
2410	Packaged Unit - Outdoor	PUOD-BPH000-005	Packaged Unit - Outdoor	\$27,452	\$0	\$0	\$0	\$35,138
2413	Packaged Unit - Outdoor	PUOD-BPH000-006	Packaged Unit - Outdoor	\$27,452	\$0	\$0	\$0	\$35,138
2417	Fan Powered VAV Box	FPBO-B01000-002	Fan Powered VAV Box	\$4,494	\$4,494	\$0	\$0	\$0
2420	Fan Powered VAV Box	FPBO-B01000-003	Fan Powered VAV Box	\$4,494	\$4,494	\$0	\$0	\$0
2423	Fan Powered VAV Box	FPBO-B01000-004	Fan Powered VAV Box	\$4,494	\$4,494	\$0	\$0	\$0
2426	Fan Powered VAV Box	FPBO-B01000-005	Fan Powered VAV Box	\$4,494	\$4,494	\$0	\$0	\$0
2429	Fan Powered VAV Box	FPBO-B01000-006	Fan Powered VAV Box	\$4,494	\$4,494	\$0	\$0	\$0
2432	Fan Powered VAV Box	FPBO-B01000-007	Fan Powered VAV Box	\$4,494	\$4,494	\$0	\$0	\$0
2435	Fan Powered VAV Box	FPBO-B01000-008	Fan Powered VAV Box	\$4,494	\$4,494	\$0	\$0	\$0
2438	Fan Powered VAV Box	FPBO-B01000-009	Fan Powered VAV Box	\$4,494	\$4,494	\$0	\$0	\$0
2441	Fan Powered VAV Box	FPBO-B01000-010	Fan Powered VAV Box	\$4,494	\$4,494	\$0	\$0	\$0
2444	Fan Powered VAV Box	FPBO-B01000-011	Fan Powered VAV Box	\$4,494	\$4,494	\$0	\$0	\$0
2447	Fan Powered VAV Box	FPBO-B01000-013	Fan Powered VAV Box	\$4,494	\$4,494	\$0	\$0	\$0
2450	Fan Powered VAV Box	FPBO-B01000-014	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2455	Fan Powered VAV Box	FPBO-B01000-015	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2458	Fan Powered VAV Box	FPBO-B01000-016	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2461	Fan Powered VAV Box	FPBO-B01000-017	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2464	Fan Powered VAV Box	FPBO-B01000-018	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2467	Fan Powered VAV Box	FPBO-B01000-019	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2470	Fan Powered VAV Box	FPBO-B01000-020	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2473	Fan Powered VAV Box	FPBO-B01000-021	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2476	Fan Powered VAV Box	FPBO-B01000-022	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2481	Fan Powered VAV Box	FPBO-B01000-023	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2486	Fan Powered VAV Box	FPBO-B01000-024	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2491	Fan Powered VAV Box	FPBO-B01000-025	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2494	Fan Powered VAV Box	FPBO-B01000-026	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2497	Fan Powered VAV Box	FPBO-B01000-027	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2502	Fan Powered VAV Box	FPBO-B01000-028	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2505	Fan Powered VAV Box	FPBO-B01000-029	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2508	Fan Powered VAV Box	FPBO-B01000-030	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2511	Fan Powered VAV Box	FPBO-B01000-031	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2514	Fan Powered VAV Box	FPBO-B01000-032	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2517	Fan Powered VAV Box	FPBO-B01000-033	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2520	Fan Powered VAV Box	FPBO-B01000-034	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2523	Fan Powered VAV Box	FPBO-B02000-001	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2526	Fan Powered VAV Box	FPBO-B02000-002	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2529	Fan Powered VAV Box	FPBO-B02000-003	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2532	Fan Powered VAV Box	FPBO-B02000-004	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2535	Fan Powered VAV Box	FPBO-B02000-005	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0





DC Courts Building B FCA

Line #	Parent Location	Uniformat / Asset ID	Description	2021 Cost	COSTS BY PRIORITY			
					IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
					1	2	3	4
2538	Fan Powered VAV Box	FPBO-B02000-006	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2541	Fan Powered VAV Box	FPBO-B02000-007	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2546	Fan Powered VAV Box	FPBO-B02000-008	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2551	Fan Powered VAV Box	FPBO-B02000-009	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2554	Fan Powered VAV Box	FPBO-B02000-010	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2557	Fan Powered VAV Box	FPBO-B02000-011	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2560	Fan Powered VAV Box	FPBO-B02000-012	Fan Powered VAV Box	\$4,818	\$4,818	\$0	\$0	\$0
2567	Fan Powered VAV Box	FPBO-B02000-013	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2570	Fan Powered VAV Box	FPBO-B02000-014	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2575	Fan Powered VAV Box	FPBO-B02000-015	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2578	Fan Powered VAV Box	FPBO-B02000-016	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2581	Fan Powered VAV Box	FPBO-B02000-017	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2584	Fan Powered VAV Box	FPBO-B02000-018	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2587	Fan Powered VAV Box	FPBO-B02000-019	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2592	Fan Powered VAV Box	FPBO-B02000-020	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2595	Fan Powered VAV Box	FPBO-B02000-021	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2598	Fan Powered VAV Box	FPBO-B02000-022	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2601	Fan Powered VAV Box	FPBO-B02000-023	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2604	Fan Powered VAV Box	FPBO-B02000-024	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2609	Fan Powered VAV Box	FPBO-B02000-025	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2612	Fan Powered VAV Box	FPBO-B02000-026	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2615	Fan Powered VAV Box	FPBO-B02000-027	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2620	Fan Powered VAV Box	FPBO-B02000-028	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2623	Fan Powered VAV Box	FPBO-B02000-029	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2626	Fan Powered VAV Box	FPBO-B02000-030	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2629	Fan Powered VAV Box	FPBO-B02000-031	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2632	Fan Powered VAV Box	FPBO-B02000-032	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2635	Fan Powered VAV Box	FPBO-B03000-001	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2638	Fan Powered VAV Box	FPBO-B03000-002	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2641	Fan Powered VAV Box	FPBO-B03000-003	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2644	Fan Powered VAV Box	FPBO-B03000-004	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2649	Fan Powered VAV Box	FPBO-B03000-005	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2654	Fan Powered VAV Box	FPBO-B03000-006	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2657	Fan Powered VAV Box	FPBO-B03000-007	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2660	Fan Powered VAV Box	FPBO-B03000-008	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2663	Fan Powered VAV Box	FPBO-B03000-009	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2666	Fan Powered VAV Box	FPBO-B03000-010	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2671	Fan Powered VAV Box	FPBO-B03000-011	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2674	Fan Powered VAV Box	FPBO-B03000-012	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2677	Fan Powered VAV Box	FPBO-B03000-013	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2680	Fan Powered VAV Box	FPBO-B03000-014	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2683	Fan Powered VAV Box	FPBO-B03000-015	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2686	Fan Powered VAV Box	FPBO-B03000-016	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2689	Fan Powered VAV Box	FPBO-B03000-017	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2694	Fan Powered VAV Box	FPBO-B03000-018	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2699	Fan Powered VAV Box	FPBO-B03000-019	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2702	Fan Powered VAV Box	FPBO-B03000-020	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2705	Fan Powered VAV Box	FPBO-B03000-021	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2708	Fan Powered VAV Box	FPBO-B03000-022	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2711	Fan Powered VAV Box	FPBO-B03000-023	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2716	Fan Powered VAV Box	FPBO-B03000-024	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2719	Fan Powered VAV Box	FPBO-B03000-025	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2722	Fan Powered VAV Box	FPBO-B03000-026	Fan Powered VAV Box	\$3,013	\$3,013	\$0	\$0	\$0
2727	Fan Powered VAV Box	FPBO-B03000-027	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2730	Fan Powered VAV Box	FPBO-B03000-028	Fan Powered VAV Box	\$1,209	\$1,209	\$0	\$0	\$0
2733	HVAC	D	Services	\$2,248,275	\$142,645	\$428,809	\$1,803,854	\$68,411
2735	Control Dampers	DAMP-BPH000-001	Control Dampers	\$1,804	\$1,804	\$0	\$0	\$0
2739	Instrument Air Compressors	IACP-BB1000-001	Instrument Air Compressors	\$1,729	\$1,729	\$0	\$0	\$0
2742	Instrument Air Compressors	IACP-BB1000-002	Instrument Air Compressors	\$1,729	\$1,729	\$0	\$0	\$0
2746	Dry Pipe	DPS-BPH000-001	Dry Pipe	\$30,186	\$16,335	\$8,541	\$0	\$7,218
2758	Wet Pipe	WPS-B01000-001	Wet Pipe	\$13,617	\$13,617	\$0	\$0	\$0
2761	Wet Pipe	WPS-B02000-001	Wet Pipe	\$12,847	\$12,847	\$0	\$0	\$0
2764	Wet Pipe	WPS-B03000-001	Wet Pipe	\$12,847	\$12,847	\$0	\$0	\$0
2767	Wet Pipe	WPS-BB1000-001	Wet Pipe	\$16,168	\$16,168	\$0	\$0	\$0
2771	Fire Pump	FP-BB1000-001	Fire Pump	\$56,292	\$0	\$58,543	\$0	\$0
2775	Pressure Maintenance Pump (Jockey Pump)	PMP-BB1000-001	Pressure Maintenance Pump (Jockey Pump)	\$14,189	\$0	\$14,756	\$0	\$0
2779	Fire Pump Controller	FP-C-BB1000-001	Fire Pump Controller	\$56,292	\$0	\$58,543	\$0	\$0
2783	Jockey Pump Controller	JPC-BB1000-001	Jockey Pump Controller	\$14,189	\$0	\$14,756	\$0	\$0
2787	Portable Fire Extinguishers	PFE-B01000-004	Portable Fire Extinguishers	\$173	\$173	\$0	\$0	\$0
2790	Portable Fire Extinguishers	PFE-B02000-008	Portable Fire Extinguishers	\$270	\$0	\$281	\$0	\$0
2793	Portable Fire Extinguishers	PFE-B03000-006	Portable Fire Extinguishers	\$609	\$609	\$0	\$0	\$0
2796	Portable Fire Extinguishers	PFE-B03000-007	Portable Fire Extinguishers	\$609	\$609	\$0	\$0	\$0
2799	Portable Fire Extinguishers	PFE-BPH000-003	Portable Fire Extinguishers	\$263	\$0	\$274	\$0	\$0
2802	Portable Fire Extinguishers	PFE-BPH000-004	Portable Fire Extinguishers	\$270	\$0	\$281	\$0	\$0
2806	Main Switchboards	SWBD-BB1000-001	Main Switchboards	\$1,550	\$0	\$1,612	\$0	\$0
2810	Interior Distribution Transformers	TDIS-BPH000-003	Interior Distribution Transformers	\$1,662	\$113	\$1,612	\$0	\$0
2815	Interior Distribution Transformers	TDIS-BPH000-004	Interior Distribution Transformers	\$113	\$113	\$0	\$0	\$0
2818	Interior Distribution Transformers	TDIS-BPH000-005	Interior Distribution Transformers	\$1,550	\$0	\$1,612	\$0	\$0
2822	Panels	PNLO-B01000-001	Panels	\$150	\$150	\$0	\$0	\$0
2825	Panels	PNLO-B01000-003	Panels	\$3,437	\$263	\$3,301	\$0	\$0
2836	Panels	PNLO-B03000-003	Panels	\$150	\$150	\$0	\$0	\$0
2841	Panels	PNLO-B03000-006	Panels	\$1,813	\$263	\$1,612	\$0	\$0
2848	Panels	PNLO-B03000-007	Panels	\$3,362	\$263	\$3,223	\$0	\$0
2857	Panels	PNLO-BB1000-001	Panels	\$526	\$226	\$313	\$0	\$0
2864	Panels	PNLO-BB1000-002	Panels	\$3,460	\$3,460	\$0	\$0	\$0





DC Courts Building B FCA

Line #	Parent Location	Uniformat / Asset ID	Description	2021 Cost	COSTS BY PRIORITY			
					IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
					1	2	3	4
2871	Panels	PNLO-BB1000-003	Panels	\$6,044	\$4,495	\$1,612	\$0	\$0
2882	Panels	PNLO-BB1000-004	Panels	\$150	\$150	\$0	\$0	\$0
2885	Panels	PNLO-BB1000-005	Panels	\$6,225	\$5,849	\$391	\$0	\$0
2898	Panels	PNLO-BB1000-006	Panels	\$6,270	\$4,720	\$1,612	\$0	\$0
2911	Panels	PNLO-BB1000-007	Panels	\$4,576	\$4,576	\$0	\$0	\$0
2916	Panels	PNLO-BB1000-008	Panels	\$113	\$113	\$0	\$0	\$0
2919	Panels	PNLO-BB1000-009	Panels	\$150	\$150	\$0	\$0	\$0
2922	Panels	PNLO-BB1000-010	Panels	\$150	\$150	\$0	\$0	\$0
2925	Panels	PNLO-BB1000-011	Panels	\$1,700	\$150	\$1,612	\$0	\$0
2930	Panels	PNLO-BB1000-012	Panels	\$7,173	\$5,623	\$1,612	\$0	\$0
2939	Panels	PNLO-BB1000-013	Panels	\$7,474	\$5,548	\$1,612	\$414	\$0
2948	Panels	PNLO-BB1000-014	Panels	\$150	\$150	\$0	\$0	\$0
2951	Panels	PNLO-BB1000-015	Panels	\$150	\$150	\$0	\$0	\$0
2954	Panels	PNLO-BPH000-001	Panels	\$188	\$113	\$0	\$0	\$96
2959	Panels	PNLO-BPH000-002	Panels	\$3,856	\$3,856	\$0	\$0	\$0
2963	Enclosed Circuit Breakers	ECB0-BB1000-001	Enclosed Circuit Breakers	\$3,476	\$2,313	\$1,209	\$0	\$0
2968	Enclosed Circuit Breakers	ECB0-BB1000-002	Enclosed Circuit Breakers	\$3,476	\$2,313	\$1,209	\$0	\$0
2974	Disconnect Switches	D500-BB1000-001	Disconnect Switches	\$1,542	\$1,542	\$0	\$0	\$0
2977	Disconnect Switches	D500-BB1000-005	Disconnect Switches	\$775	\$0	\$806	\$0	\$0
2980	Disconnect Switches	D500-BB1000-006	Disconnect Switches	\$775	\$0	\$806	\$0	\$0
2983	Disconnect Switches	D500-BB1000-007	Disconnect Switches	\$775	\$0	\$806	\$0	\$0
2986	Disconnect Switches	D500-BB1000-008	Disconnect Switches	\$775	\$0	\$806	\$0	\$0
2989	Disconnect Switches	D500-BB1000-009	Disconnect Switches	\$891	\$116	\$806	\$0	\$0
2994	Disconnect Switches	D500-BB1000-010	Disconnect Switches	\$113	\$113	\$0	\$0	\$0
2997	Disconnect Switches	D500-BB1000-011	Disconnect Switches	\$108	\$108	\$0	\$0	\$0
3000	Disconnect Switches	D500-BB1000-012	Disconnect Switches	\$775	\$0	\$806	\$0	\$0
3003	Disconnect Switches	D500-BB1000-013	Disconnect Switches	\$775	\$0	\$806	\$0	\$0
3006	Disconnect Switches	D500-BB1000-014	Disconnect Switches	\$775	\$0	\$806	\$0	\$0
3009	Disconnect Switches	D500-BB1000-015	Disconnect Switches	\$775	\$0	\$806	\$0	\$0
3012	Disconnect Switches	D500-BB1000-020	Disconnect Switches	\$2,313	\$2,313	\$0	\$0	\$0
3015	Disconnect Switches	D500-BB1000-027	Disconnect Switches	\$775	\$0	\$806	\$0	\$0
3018	Disconnect Switches	D500-BB1000-028	Disconnect Switches	\$775	\$0	\$806	\$0	\$0
3021	Disconnect Switches	D500-BB1000-030	Disconnect Switches	\$2,313	\$2,313	\$0	\$0	\$0
3024	Disconnect Switches	D500-BB1000-031	Disconnect Switches	\$2,313	\$2,313	\$0	\$0	\$0
3027	Disconnect Switches	D500-BB1000-032	Disconnect Switches	\$963	\$188	\$806	\$0	\$0
3034	Disconnect Switches	D500-BB1000-033	Disconnect Switches	\$775	\$0	\$806	\$0	\$0
3037	Disconnect Switches	D500-BPH000-006	Disconnect Switches	\$1,550	\$0	\$1,612	\$0	\$0
3042	Disconnect Switches	D500-BPH000-007	Disconnect Switches	\$925	\$0	\$962	\$0	\$0
3047	Disconnect Switches	D500-BPH000-008	Disconnect Switches	\$925	\$0	\$962	\$0	\$0
3052	Disconnect Switches	D500-BPH000-013	Disconnect Switches	\$775	\$0	\$806	\$0	\$0
3055	Disconnect Switches	D500-BPH000-026	Disconnect Switches	\$888	\$113	\$806	\$0	\$0
3060	Disconnect Switches	D500-BPH000-029	Disconnect Switches	\$113	\$113	\$0	\$0	\$0
3063	Disconnect Switches	D500-BPH000-030	Disconnect Switches	\$113	\$113	\$0	\$0	\$0
3067	VFDs	VFD0-BB1000-003	VFDs	\$775	\$0	\$806	\$0	\$0
3070	VFDs	VFD0-BPH000-004	VFDs	\$4,627	\$4,627	\$0	\$0	\$0
3074	Lighting Fixtures	LTGO-B00ELE-003	Lighting Fixtures	\$784	\$694	\$94	\$0	\$0
3079	Lighting Fixtures	LTGO-B00ELN-002	Lighting Fixtures	\$784	\$694	\$94	\$0	\$0
3084	Lighting Fixtures	LTGO-B00ELS-002	Lighting Fixtures	\$784	\$694	\$94	\$0	\$0
3089	Lighting Fixtures	LTGO-B00ELW-003	Lighting Fixtures	\$90	\$0	\$0	\$99	\$0
3092	Lighting Fixtures	LTGO-B00ELW-004	Lighting Fixtures	\$784	\$694	\$94	\$0	\$0
3097	Lighting Fixtures	LTGO-B01000-002	Lighting Fixtures	\$347	\$0	\$0	\$0	\$444
3102	Lighting Fixtures	LTGO-B01000-003	Lighting Fixtures	\$116	\$0	\$0	\$0	\$148
3105	Lighting Fixtures	LTGO-B01000-H04	Lighting Fixtures	\$77	\$0	\$0	\$0	\$99
3108	Lighting Fixtures	LTGO-B02000-002	Lighting Fixtures	\$347	\$0	\$0	\$0	\$444
3113	Lighting Fixtures	LTGO-B02000-003	Lighting Fixtures	\$116	\$0	\$0	\$0	\$148
3116	Lighting Fixtures	LTGO-B03000-002	Lighting Fixtures	\$347	\$0	\$0	\$0	\$444
3121	Lighting Fixtures	LTGO-B03000-003	Lighting Fixtures	\$116	\$0	\$0	\$0	\$148
3124	Lighting Fixtures	LTGO-BB1000-001	Lighting Fixtures	\$694	\$694	\$0	\$0	\$0
3128	Fire Alarm Systems	FAS-BPH000-001	Fire Alarm Systems	\$339	\$231	\$112	\$0	\$0
3136	Structured Cabling / Access	NKAL-B01BNE-001	Structured Cabling / Access	\$173,502	\$0	\$0	\$190,852	\$0
3139	Structured Cabling / Access	NKAL-B02BNE-001	Structured Cabling / Access	\$86,751	\$0	\$0	\$95,426	\$0
3142	Structured Cabling / Access	NKAL-B02BSE-001	Structured Cabling / Access	\$86,751	\$0	\$0	\$95,426	\$0
3145	Structured Cabling / Access	NKAL-B03BNE-001	Structured Cabling / Access	\$86,751	\$0	\$0	\$95,426	\$0
3148	Structured Cabling / Access	NKAL-B03BSE-001	Structured Cabling / Access	\$86,751	\$0	\$0	\$95,426	\$0
3151	Structured Cabling / Access	NKAL-BB1BNW-001	Structured Cabling / Access	\$86,751	\$0	\$0	\$95,426	\$0
3154	Structured Cabling / Access	NKAL-BB1BSE-001	Structured Cabling / Access	\$86,751	\$0	\$0	\$95,426	\$0
3158	Structured Cabling / Core	NKCR-B01BNE-001	Structured Cabling / Core	\$23,134	\$0	\$24,059	\$0	\$0
3161	Structured Cabling / Core	NKCR-B02BNE-001	Structured Cabling / Core	\$23,134	\$0	\$24,059	\$0	\$0
3164	Structured Cabling / Core	NKCR-B02BSE-001	Structured Cabling / Core	\$23,134	\$0	\$24,059	\$0	\$0
3167	Structured Cabling / Core	NKCR-B03BNE-001	Structured Cabling / Core	\$23,134	\$0	\$24,059	\$0	\$0
3170	Structured Cabling / Core	NKCR-B03BSE-001	Structured Cabling / Core	\$23,134	\$0	\$24,059	\$0	\$0
3173	Structured Cabling / Core	NKCR-B03BSE-002	Structured Cabling / Core	\$23,134	\$0	\$24,059	\$0	\$0
3176	Structured Cabling / Core	NKCR-BB1BSE-001	Structured Cabling / Core	\$23,134	\$0	\$24,059	\$0	\$0
3179	Structured Cabling / Core	NKDS-BB1BSE-001	Structured Cabling / Core	\$539,784	\$0	\$0	\$593,762	\$0
3183	Structured Cabling / Analog	TCC-B01BNE-001	Structured Cabling / Analog	\$3,856	\$0	\$4,010	\$0	\$0
3186	Structured Cabling / Analog	TCC-B01BNE-002	Structured Cabling / Analog	\$3,856	\$0	\$4,010	\$0	\$0
3189	Structured Cabling / Analog	TCC-B01BSE-001	Structured Cabling / Analog	\$3,856	\$0	\$4,010	\$0	\$0
3192	Structured Cabling / Analog	TCC-B01BSE-002	Structured Cabling / Analog	\$3,856	\$0	\$4,010	\$0	\$0
3195	Structured Cabling / Analog	TCC-B02BNE-001	Structured Cabling / Analog	\$3,856	\$0	\$4,010	\$0	\$0
3198	Structured Cabling / Analog	TCC-B02BSE-001	Structured Cabling / Analog	\$3,856	\$0	\$4,010	\$0	\$0
3201	Structured Cabling / Analog	TCC-B03BNE-001	Structured Cabling / Analog	\$3,856	\$0	\$4,010	\$0	\$0
3204	Structured Cabling / Analog	TCC-B03BSE-001	Structured Cabling / Analog	\$3,856	\$0	\$4,010	\$0	\$0
3207	Structured Cabling / Analog	TCC-BB1BNW-001	Structured Cabling / Analog	\$3,856	\$0	\$4,010	\$0	\$0
3211	Network Switches - IT	NKSW-B01BNE-001	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3214	Network Switches - IT	NKSW-B01BNE-002	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0





DC Courts Building B FCA

Line #	Parent Location	Uniformat / Asset ID	Description	2021 Cost	COSTS BY PRIORITY			
					IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
					1	2	3	4
3217	Network Switches - IT	NKSW-B02BNE-001	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3220	Network Switches - IT	NKSW-B02BNE-002	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3223	Network Switches - IT	NKSW-B02BSE-001	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3226	Network Switches - IT	NKSW-B02BSE-002	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3229	Network Switches - IT	NKSW-B02BSE-003	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3232	Network Switches - IT	NKSW-B02BSE-004	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3235	Network Switches - IT	NKSW-B02BSE-005	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3238	Network Switches - IT	NKSW-B03BNE-001	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3241	Network Switches - IT	NKSW-B03BNE-002	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3244	Network Switches - IT	NKSW-B03BNE-003	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3247	Network Switches - IT	NKSW-B03BNE-004	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3250	Network Switches - IT	NKSW-B03BNE-005	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3253	Network Switches - IT	NKSW-B03BNE-006	Network Switches - IT	\$26,218	\$0	\$27,267	\$0	\$0
3256	Network Switches - IT	NKSW-B03BSE-001	Network Switches - IT	\$4,627	\$0	\$0	\$5,089	\$0
3259	Network Switches - IT	NKSW-B03BSE-002	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3262	Network Switches - IT	NKSW-B03BSE-003	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3265	Network Switches - IT	NKSW-BB1BSE-001	Network Switches - IT	\$18,507	\$0	\$0	\$20,358	\$0
3269	Wireless Access Points	NKAP-B01000-001	Wireless Access Points	\$13,880	\$0	\$0	\$15,268	\$0
3272	Wireless Access Points	NKAP-B02000-001	Wireless Access Points	\$13,880	\$0	\$0	\$15,268	\$0
3275	Wireless Access Points	NKAP-B03000-001	Wireless Access Points	\$13,880	\$0	\$0	\$15,268	\$0
3278	Wireless Access Points	NKAP-BB1000-001	Wireless Access Points	\$13,880	\$0	\$0	\$15,268	\$0
3282	Distributed Antenna Systems (DAS)	NKEQ-B03BSE-001	Distributed Antenna Systems (DAS)	\$23,134	\$0	\$0	\$25,447	\$0
3286	Structured Cabling / Coaxial Distribution	TCCA-B01BNE-001	Structured Cabling / Coaxial Distribution	\$3,084	\$0	\$0	\$0	\$3,948
3289	Structured Cabling / Coaxial Distribution	TCCA-B01BSE-001	Structured Cabling / Coaxial Distribution	\$3,084	\$0	\$0	\$0	\$3,948
3292	Structured Cabling / Coaxial Distribution	TCCA-B02BNE-001	Structured Cabling / Coaxial Distribution	\$3,084	\$0	\$0	\$0	\$3,948
3295	Structured Cabling / Coaxial Distribution	TCCA-B02BSE-001	Structured Cabling / Coaxial Distribution	\$3,084	\$0	\$0	\$0	\$3,948
3298	Structured Cabling / Coaxial Distribution	TCCA-B03BNE-001	Structured Cabling / Coaxial Distribution	\$3,084	\$0	\$0	\$0	\$3,948
3301	Structured Cabling / Coaxial Distribution	TCCA-B03BSE-001	Structured Cabling / Coaxial Distribution	\$3,084	\$0	\$0	\$0	\$3,948
3304	Structured Cabling / Coaxial Distribution	TCCA-BB1BSE-001	Structured Cabling / Coaxial Distribution	\$3,084	\$0	\$0	\$0	\$3,948
3308	IT - Voice Equipment	TCEQ-B01BNE-001	IT - Voice Equipment	\$12,338	\$0	\$0	\$0	\$15,793
3311	IT - Voice Equipment	TCEQ-B01BNE-002	IT - Voice Equipment	\$12,338	\$0	\$0	\$0	\$15,793
3314	IT - Voice Equipment	TCEQ-BB1BNW-001	IT - Voice Equipment	\$7,711	\$0	\$0	\$8,482	\$0
3318	Emergency Battery Pack Lights	EBAT-BPH000-001	Emergency Battery Pack Lights	\$771	\$771	\$0	\$0	\$0
3322	Exit Signs	EXIT-BPH000-001	Exit Signs	\$308	\$308	\$0	\$0	\$0
3325	Estimate Tree	E	Equipment & Furnishings	\$305,456	\$0	\$7,218	\$328,368	\$0
3326	Equipment & Furnishings	E10	Equipment	\$254,932	\$0	\$7,218	\$272,791	\$0
3327	Equipment	E	Equipment & Furnishings	\$254,932	\$0	\$7,218	\$272,791	\$0
3329	Courtroom Recording Systems	AVCR-B01BNE-001	Courtroom Recording Systems	\$7,711	\$0	\$0	\$8,482	\$0
3332	Courtroom Recording Systems	AVCR-B01BSE-001	Courtroom Recording Systems	\$7,711	\$0	\$0	\$8,482	\$0
3335	Courtroom Recording Systems	AVCR-B02BNE-001	Courtroom Recording Systems	\$7,711	\$0	\$0	\$8,482	\$0
3338	Courtroom Recording Systems	AVCR-B02BSE-001	Courtroom Recording Systems	\$7,711	\$0	\$0	\$8,482	\$0
3341	Courtroom Recording Systems	AVCR-B02BSW-001	Courtroom Recording Systems	\$7,711	\$0	\$0	\$8,482	\$0
3344	Courtroom Recording Systems	AVCR-B03BNE-001	Courtroom Recording Systems	\$7,711	\$0	\$0	\$8,482	\$0
3347	Courtroom Recording Systems	AVCR-B03BNE-002	Courtroom Recording Systems	\$7,711	\$0	\$0	\$8,482	\$0
3350	Courtroom Recording Systems	AVCR-B03BNE-003	Courtroom Recording Systems	\$7,711	\$0	\$0	\$8,482	\$0
3353	Courtroom Recording Systems	AVCR-B03BNE-004	Courtroom Recording Systems	\$7,711	\$0	\$0	\$8,482	\$0
3357	Displays / Projection Screens	AVPS-BB1BSW-001	Displays / Projection Screens	\$3,856	\$0	\$3,208	\$0	\$0
3361	Displays / Flat Panel Monitor	AVFP-B01BNE-001	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3364	Displays / Flat Panel Monitor	AVFP-B01BNE-002	Displays / Flat Panel Monitor	\$3,856	\$0	\$4,010	\$0	\$0
3367	Displays / Flat Panel Monitor	AVFP-B01BNW-001	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3370	Displays / Flat Panel Monitor	AVFP-B01BNW-002	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3373	Displays / Flat Panel Monitor	AVFP-B01BNW-003	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3376	Displays / Flat Panel Monitor	AVFP-B01BSE-001	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3379	Displays / Flat Panel Monitor	AVFP-B01BSE-002	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3382	Displays / Flat Panel Monitor	AVFP-B01BSE-003	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3385	Displays / Flat Panel Monitor	AVFP-B01BSW-001	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3388	Displays / Flat Panel Monitor	AVFP-B02BNE-001	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3391	Displays / Flat Panel Monitor	AVFP-B02BNE-002	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3394	Displays / Flat Panel Monitor	AVFP-B02BNW-001	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3397	Displays / Flat Panel Monitor	AVFP-B02BNW-002	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3400	Displays / Flat Panel Monitor	AVFP-B02BNW-003	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3403	Displays / Flat Panel Monitor	AVFP-B02BSE-001	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3406	Displays / Flat Panel Monitor	AVFP-B02BSE-002	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3409	Displays / Flat Panel Monitor	AVFP-B02BSE-003	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3412	Displays / Flat Panel Monitor	AVFP-B02BSE-004	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3415	Displays / Flat Panel Monitor	AVFP-B03BNW-001	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3418	Displays / Flat Panel Monitor	AVFP-B03BSW-001	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3421	Displays / Flat Panel Monitor	AVFP-BB1BNW-001	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3424	Displays / Flat Panel Monitor	AVFP-BB1BSW-001	Displays / Flat Panel Monitor	\$3,856	\$0	\$0	\$4,241	\$0
3428	Displays / Projectors	AVPJ-BB1BSW-001	Displays / Projectors	\$6,169	\$0	\$0	\$6,786	\$0
3432	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-001	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3435	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-002	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3438	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-003	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3441	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-004	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3444	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-005	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3447	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-006	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3450	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-007	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3453	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-008	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3456	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-001	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3459	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-002	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3462	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-003	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3465	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-004	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3468	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-005	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3471	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-006	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0





DC Courts Building B FCA

Line #	Parent Location	Uniformat / Asset ID	Description	2021 Cost	COSTS BY PRIORITY			
					IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
					1	2	3	4
3474	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-007	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3477	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-008	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3480	Rack-based AV Control, Process, and Dist	AVEQ-B02BNE-001	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3483	Rack-based AV Control, Process, and Dist	AVEQ-B02BNE-002	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3486	Rack-based AV Control, Process, and Dist	AVEQ-B02BNE-003	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3489	Rack-based AV Control, Process, and Dist	AVEQ-B02BNE-004	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3492	Rack-based AV Control, Process, and Dist	AVEQ-B02BSE-001	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3495	Rack-based AV Control, Process, and Dist	AVEQ-B02BSW-001	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3498	Rack-based AV Control, Process, and Dist	AVEQ-B02BSW-002	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3501	Rack-based AV Control, Process, and Dist	AVEQ-B02BSW-003	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3504	Rack-based AV Control, Process, and Dist	AVEQ-B02BSW-004	Rack-based AV Control, Process, and Dist	\$3,084	\$0	\$0	\$3,393	\$0
3508	Audiovisual Equipment Racks	AVRK-B02BNE-001	Audiovisual Equipment Racks	\$2,313	\$0	\$0	\$2,545	\$0
3511	Audiovisual Equipment Racks	AVRK-B03BNE-001	Audiovisual Equipment Racks	\$2,313	\$0	\$0	\$2,545	\$0
3514	Audiovisual Equipment Racks	AVRK-BB1BSW-001	Audiovisual Equipment Racks	\$2,313	\$0	\$0	\$2,545	\$0
3518	Control Touch Panel / Telestrator	AVTP-B01BNE-001	Control Touch Panel / Telestrator	\$1,851	\$0	\$0	\$2,036	\$0
3521	Control Touch Panel / Telestrator	AVTP-B01BNE-002	Control Touch Panel / Telestrator	\$1,851	\$0	\$0	\$2,036	\$0
3524	Control Touch Panel / Telestrator	AVTP-B01BSE-001	Control Touch Panel / Telestrator	\$1,851	\$0	\$0	\$2,036	\$0
3527	Control Touch Panel / Telestrator	AVTP-B01BSE-002	Control Touch Panel / Telestrator	\$1,851	\$0	\$0	\$2,036	\$0
3530	Equipment & Furnishings	E20	Furnishings	\$50,524	\$0	\$0	\$55,576	\$0
3531	Furnishings	E2010	Fixed Furnishings	\$50,524	\$0	\$0	\$55,576	\$0
3533	Seating (Fixed)	FS00-B01000-001	Seating (Fixed)	\$37,893	\$0	\$0	\$41,682	\$0
3538	Seating (Fixed)	FS00-B01000-002	Seating (Fixed)	\$2,105	\$0	\$0	\$2,316	\$0
3541	Seating (Fixed)	FS00-B02000-001	Seating (Fixed)	\$9,473	\$0	\$0	\$10,421	\$0
3544	Seating (Fixed)	FS00-B02000-002	Seating (Fixed)	\$1,053	\$0	\$0	\$1,158	\$0
3547	Estimate Tree	G	Sitework	\$1,031,789	\$3,077	\$24,574	\$1,075,027	\$35,566
3548	Sitework	G20	Site Improvements	\$1,031,789	\$3,077	\$24,574	\$1,075,027	\$35,566
3549	Site Improvements	G	Sitework	\$1,031,789	\$3,077	\$24,574	\$1,075,027	\$35,566
3551	Roadway Paved Surfaces	PASU-B00SNW-002	Roadway Paved Surfaces	\$12,868	\$0	\$0	\$0	\$16,471
3555	Roadway Paved Surfaces	PASU-B00SSW-002	Roadway Paved Surfaces	\$9,265	\$0	\$0	\$0	\$11,859
3560	Parking Lots Curbs and Gutters	CLUGU-B01000-001	Parking Lots Curbs and Gutters	\$52,845	\$0	\$0	\$58,130	\$0
3564	Parking Lots Paved Surfaces	PASU-B00SSE-002	Parking Lots Paved Surfaces	\$9,253	\$0	\$0	\$10,179	\$0
3567	Parking Lots Paved Surfaces	PASU-B00SSE-003	Parking Lots Paved Surfaces	\$5,244	\$0	\$5,453	\$0	\$0
3570	Parking Lots Paved Surfaces	PASU-B01000-001	Parking Lots Paved Surfaces	\$815,825	\$0	\$0	\$897,407	\$0
3575	Pedestrian Paving Curbs and Gutters	CGCG-B01SNE-001	Pedestrian Paving Curbs and Gutters	\$18,545	\$0	\$0	\$20,400	\$0
3578	Pedestrian Paving Curbs and Gutters	CGCG-B01SSE-001	Pedestrian Paving Curbs and Gutters	\$18,082	\$0	\$0	\$19,890	\$0
3582	Pedestrian Paving Paved Surfaces	PASU-B00ELW-H01	Pedestrian Paving Paved Surfaces	\$235	\$0	\$0	\$258	\$0
3585	Pedestrian Paving Paved Surfaces	PASU-B01SNE-001	Pedestrian Paving Paved Surfaces	\$27,760	\$0	\$0	\$30,536	\$0
3588	Pedestrian Paving Paved Surfaces	PASU-B01SSE-001	Pedestrian Paving Paved Surfaces	\$27,760	\$0	\$0	\$30,536	\$0
3592	Retaining Walls	RETW-B01SNE-001	Retaining Walls	\$30	\$15	\$0	\$17	\$0
3598	Exterior Furnishings	EFRN-B00SSE-001	Exterior Furnishings	\$1,002	\$1,002	\$0	\$0	\$0
3602	Signage	SIGN-B00SNE-001	Signage	\$1,323	\$0	\$0	\$1,456	\$0
3605	Signage	SIGN-B00SSW-001	Signage	\$1,323	\$0	\$1,376	\$0	\$0
3609	Terrace and Perimeter Walls	TPWL-B00SNE-001	Terrace and Perimeter Walls	\$2,814	\$0	\$688	\$1,184	\$1,378
3616	Terrace and Perimeter Walls	TPWL-B00SSE-001	Terrace and Perimeter Walls	\$749	\$0	\$0	\$412	\$479
3621	Terrace and Perimeter Walls	TPWL-B00SSE-002	Terrace and Perimeter Walls	\$7,127	\$0	\$0	\$3,920	\$4,562
3626	Terrace and Perimeter Walls	TPWL-B00SSE-003	Terrace and Perimeter Walls	\$1,277	\$0	\$0	\$702	\$817
3632	Plantings	PLTG-B00SNE-005	Plantings	\$686	\$0	\$714	\$0	\$0
3635	Plantings	PLTG-B00SSE-001	Plantings	\$634	\$0	\$659	\$0	\$0
3638	Plantings	PLTG-B00SSE-003	Plantings	\$2,059	\$2,059	\$0	\$0	\$0
3642	Planters	PLTR-B00SNE-001	Planters	\$12,975	\$0	\$13,494	\$0	\$0
3650	Exterior Lighting Fixtures and Controls	SLTG-B00ELE-H01	Exterior Lighting Fixtures and Controls	\$526	\$0	\$547	\$0	\$0
3655	Exterior Lighting Fixtures and Controls	SLTG-B00ELN-H01	Exterior Lighting Fixtures and Controls	\$526	\$0	\$547	\$0	\$0
3660	Exterior Lighting Fixtures and Controls	SLTG-B00ELS-H01	Exterior Lighting Fixtures and Controls	\$526	\$0	\$547	\$0	\$0
3665	Exterior Lighting Fixtures and Controls	SLTG-B00ELW-H01	Exterior Lighting Fixtures and Controls	\$526	\$0	\$547	\$0	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
1		DC Courts Building B FCA	\$13,867,787			\$1,458,986	\$2,587,102	\$7,897,231	\$3,509,634
2	A	Substructure	\$133,076			\$0	\$138,399	\$0	\$0
3	A20	Basement Construction	\$133,076			\$0	\$138,399	\$0	\$0
6	BSWL-B00BSE-001	Basement Wall Construction	\$133,076			\$0	\$138,399	\$0	\$0
7	BSWL-B00BSE-001CA1	Treat exposed rebar and patch concrete. Lift equipment	\$133,076	REPAIR	2	\$0	\$138,399	\$0	\$0
10	B	Shell	\$792,285			\$17,478	\$174,122	\$304,973	\$422,571
11	B10	Superstructure	\$1,128			\$0	\$0	\$0	\$1,444
14	FDSL-B04000-001	Floor Decks and Slabs	\$601			\$0	\$0	\$0	\$770
15	FDSL-B04000-001CA1	Patch cracked areas. Assume 50 ft of cracks for budget	\$601	REPAIR	4	\$0	\$0	\$0	\$770
19	RFR0-BR1000-001	Structural Frame - Roof	\$526			\$0	\$0	\$0	\$674
20	RFR0-BR1000-001CA1	clean and paint corroded area	\$526	REPAIR	4	\$0	\$0	\$0	\$674
22	B20	Exterior Enclosure	\$673,250			\$17,478	\$165,771	\$298,899	\$287,552
25	EXCL-B00ELE-H01	Exterior Closure	\$6,767			\$0	\$0	\$0	\$8,661
26	EXCL-B00ELE-H01CA1	Limestone Pilasters Cleaning	\$6,767	REPAIR	4	\$0	\$0	\$0	\$8,661
29	EXCL-B00ELW-001	Exterior Closure	\$1,729			\$0	\$0	\$0	\$2,213
30	EXCL-B00ELW-001CA1	Repair spalled and cracked stones. Clean stones at	\$1,729	REPAIR	4	\$0	\$0	\$0	\$2,213
34	EXLS-B00ELE-001	Exterior Closure Materials	\$812			\$0	\$0	\$893	\$0
35	EXLS-B00ELE-001CA1	Louvers Cleaning	\$812	REPAIR	3	\$0	\$0	\$893	\$0
37	EXLS-B00ELE-H01	Exterior Closure Materials	\$1,353			\$0	\$0	\$0	\$1,732
38	EXLS-B00ELE-H01CA1	Limestone Louvers Cleaning	\$1,353	REPAIR	4	\$0	\$0	\$0	\$1,732
40	EXLS-B00ELN-001	Exterior Closure Materials	\$541			\$0	\$0	\$595	\$0
41	EXLS-B00ELN-001CA1	Louvers Cleaning	\$541	REPAIR	3	\$0	\$0	\$595	\$0
43	EXLS-B00ELN-H01	Exterior Closure Materials	\$1,353			\$0	\$0	\$0	\$1,732
44	EXLS-B00ELN-H01CA1	Limestone Louvers Cleaning	\$1,353	REPAIR	4	\$0	\$0	\$0	\$1,732
46	EXLS-B00ELS-001	Exterior Closure Materials	\$135			\$0	\$0	\$149	\$0
47	EXLS-B00ELS-001CA1	Louvers Cleaning	\$135	REPAIR	3	\$0	\$0	\$149	\$0
49	EXLS-B00ELS-H01	Exterior Closure Materials	\$1,353			\$0	\$0	\$0	\$1,732
50	EXLS-B00ELS-H01CA1	Limestone Louvers Cleaning	\$1,353	REPAIR	4	\$0	\$0	\$0	\$1,732
52	EXLS-B00ELW-001	Exterior Closure Materials	\$406			\$0	\$0	\$447	\$0
53	EXLS-B00ELW-001CA1	Louvers Cleaning	\$406	REPAIR	3	\$0	\$0	\$447	\$0
55	EXLS-B00ELW-H01	Exterior Closure Materials	\$1,353			\$0	\$0	\$0	\$1,732
56	EXLS-B00ELW-H01CA1	Limestone Louvers Cleaning	\$1,353	REPAIR	4	\$0	\$0	\$0	\$1,732
59	PRPT-B00ELE-H01	Parapets	\$9,473			\$0	\$0	\$10,421	\$0
60	PRPT-B00ELE-H01CA1	Limestone Parapet Cleaning	\$9,473	REPAIR	3	\$0	\$0	\$10,421	\$0
63	PRPT-B00ELN-H01	Parapets	\$3,609			\$0	\$0	\$3,970	\$0
64	PRPT-B00ELN-H01CA1	Limestone Parapet Cleaning	\$3,609	REPAIR	3	\$0	\$0	\$3,970	\$0
67	PRPT-B00ELS-H01	Parapets	\$3,609			\$0	\$0	\$3,970	\$0
68	PRPT-B00ELS-H01CA1	Limestone Parapet Cleaning	\$3,609	REPAIR	3	\$0	\$0	\$3,970	\$0
71	PRPT-B00ELW-H01	Parapets	\$9,473			\$0	\$0	\$10,421	\$0
72	PRPT-B00ELW-H01CA1	Limestone Parapet Cleaning	\$9,473	REPAIR	3	\$0	\$0	\$10,421	\$0
76	EXSO-B00ELN-H01	Exterior Louvers and Screens	\$1,316			\$0	\$0	\$0	\$1,684
77	EXSO-B00ELN-H01CA1	Limestone Cornice Cleaning	\$1,316	REPAIR	4	\$0	\$0	\$0	\$1,684
80	EXSO-B00ELE-H01	Exterior Louvers and Screens	\$2,331			\$0	\$0	\$0	\$2,983
81	EXSO-B00ELE-H01CA1	Limestone Cornice Cleaning	\$2,331	REPAIR	4	\$0	\$0	\$0	\$2,983
84	EXSO-B00ELS-H01	Exterior Louvers and Screens	\$1,316			\$0	\$0	\$0	\$1,684
85	EXSO-B00ELS-H01CA1	Limestone Cornice Cleaning	\$1,316	REPAIR	4	\$0	\$0	\$0	\$1,684
88	EXSO-B00ELW-H01	Exterior Louvers and Screens	\$2,331			\$0	\$0	\$0	\$2,983
89	EXSO-B00ELW-H01CA1	Limestone Cornice Cleaning	\$2,331	REPAIR	4	\$0	\$0	\$0	\$2,983
92	JNTS-B00ELE-001	Exterior Louvers and Screens	\$11,220			\$0	\$0	\$12,342	\$0
93	JNTS-B00ELE-001CA1	Replace Joint Selant	\$3,740	REPLACE	3	\$0	\$0	\$4,114	\$0
95	JNTS-B00ELE-001CA2	Replace Joint Selant	\$7,480	REPLACE	3	\$0	\$0	\$8,228	\$0
97	JNTS-B00ELN-001	Exterior Louvers and Screens	\$18,328			\$0	\$0	\$20,161	\$0
98	JNTS-B00ELN-001CA1	Replace Joint Selant	\$7,108	REPLACE	3	\$0	\$0	\$7,819	\$0
101	JNTS-B00ELN-001CA2	Replace Joint Selant	\$11,220	REPLACE	3	\$0	\$0	\$12,342	\$0
103	JNTS-B00ELS-001	Exterior Louvers and Screens	\$5,244			\$0	\$5,453	\$0	\$0
104	JNTS-B00ELS-001CA1	Replace Joint Selant	\$1,311	REPLACE	2	\$0	\$1,363	\$0	\$0
106	JNTS-B00ELS-001CA2	Replace Joint Selant	\$3,933	REPLACE	2	\$0	\$4,090	\$0	\$0
108	JNTS-B00ELW-001	Exterior Louvers and Screens	\$14,651			\$0	\$0	\$16,116	\$0
109	JNTS-B00ELW-001CA1	Replace Joint Selant	\$3,663	REPLACE	3	\$0	\$0	\$4,029	\$0
111	JNTS-B00ELW-001CA2	Replace Joint Selant	\$10,988	REPLACE	3	\$0	\$0	\$12,087	\$0
114	BAWR-B00ELW-H01	Balcony Walls and Railings	\$10,200			\$9,298	\$0	\$992	\$0
115	BAWR-B00ELW-H01CA1	Repair and Refinish Cast Iron Railing	\$902	REPAIR	3	\$0	\$0	\$992	\$0
117	BAWR-B00ELW-H01CA2	Upgrade Railing	\$4,649	UPGRADE	1	\$4,649	\$0	\$0	\$0
119	BAWR-B00ELW-H01CA3	Upgrade Railing	\$4,649	UPGRADE	1	\$4,649	\$0	\$0	\$0
121	BAWR-B00ELW-H02	Balcony Walls and Railings	\$4,511			\$0	\$0	\$4,962	\$0
122	BAWR-B00ELW-H02CA1	Limestone Walls Cleaning	\$4,511	REPAIR	3	\$0	\$0	\$4,962	\$0
124	BAWR-B00ELW-H03	Balcony Walls and Railings	\$2,256			\$0	\$0	\$2,481	\$0
125	BAWR-B00ELW-H03CA1	Limestone Flooring Cleaning	\$2,256	REPAIR	3	\$0	\$0	\$2,481	\$0
128	MTRL-B00ELE-H01	Exterior Soffits	\$72,628			\$0	\$0	\$0	\$92,964
129	MTRL-B00ELE-H01CA1	Limestone Wall Cleaning	\$72,628	REPAIR	4	\$0	\$0	\$0	\$92,964
131	MTRL-B00ELE-H02	Exterior Soffits	\$4,962			\$0	\$0	\$5,458	\$0
132	MTRL-B00ELE-H02CA1	Granite Base Cleaning	\$4,962	REPAIR	3	\$0	\$0	\$5,458	\$0
134	MTRL-B00ELN-H01	Exterior Soffits	\$28,420			\$0	\$0	\$0	\$36,377
135	MTRL-B00ELN-H01CA1	Limestone Wall Cleaning	\$28,420	REPAIR	4	\$0	\$0	\$0	\$36,377
137	MTRL-B00ELN-H02	Exterior Soffits	\$1,714			\$0	\$0	\$1,886	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE 1	1-2 YEARS 2	3-5 YEARS 3	6-10 YEARS 4
138	MTRL-B00ELN-H02CA1	Granite Base Cleaning	\$1,714	REPAIR	3	\$0	\$0	\$1,886	\$0
141	MTRL-B00ELS-H01	Joint Sealant	\$26,164			\$0	\$0	\$0	\$33,490
142	MTRL-B00ELS-H01CA1	Limestone Wall Cleaning	\$26,164	REPAIR	4	\$0	\$0	\$0	\$33,490
144	MTRL-B00ELS-H02	Joint Sealant	\$1,714			\$0	\$0	\$1,886	\$0
145	MTRL-B00ELS-H02CA1	Granite Base Cleaning	\$1,714	REPAIR	3	\$0	\$0	\$1,886	\$0
147	MTRL-B00ELW-H01	Joint Sealant	\$76,237			\$0	\$0	\$0	\$97,583
148	MTRL-B00ELW-H01CA1	Limestone Wall Cleaning	\$76,237	REPAIR	4	\$0	\$0	\$0	\$97,583
150	MTRL-B00ELW-H02	Joint Sealant	\$4,962			\$0	\$0	\$5,458	\$0
151	MTRL-B00ELW-H02CA1	Granite Base Cleaning	\$4,962	REPAIR	3	\$0	\$0	\$5,458	\$0
154	OTWL-B00ELE-001	Other Exterior Walls	\$3,374			\$0	\$1,299	\$2,337	\$0
155	OTWL-B00ELE-001CA1	Granite curb cleaning	\$609	REPAIR	3	\$0	\$0	\$670	\$0
157	OTWL-B00ELE-001CA2	Mortar joint replacement	\$1,249	REPLACE	2	\$0	\$1,299	\$0	\$0
159	OTWL-B00ELE-001CA3	Refinish grates	\$1,516	REPAIR	3	\$0	\$0	\$1,667	\$0
161	OTWL-B00ELE-002	Other Exterior Walls	\$3,144			\$0	\$1,299	\$2,084	\$0
162	OTWL-B00ELE-002CA1	Granite curb cleaning	\$379	REPAIR	3	\$0	\$0	\$417	\$0
164	OTWL-B00ELE-002CA2	Mortar joint replacement	\$1,249	REPLACE	2	\$0	\$1,299	\$0	\$0
166	OTWL-B00ELE-002CA3	Refinish grates	\$1,516	REPAIR	3	\$0	\$0	\$1,667	\$0
168	OTWL-B00ELN-001	Other Exterior Walls	\$10,338			\$0	\$3,128	\$8,064	\$0
169	OTWL-B00ELN-001CA1	Granite curb cleaning	\$1,466	REPAIR	3	\$0	\$0	\$1,613	\$0
171	OTWL-B00ELN-001CA2	Mortar joint replacement	\$3,007	REPLACE	2	\$0	\$3,128	\$0	\$0
173	OTWL-B00ELN-001CA3	Refinish grates	\$5,864	REPAIR	3	\$0	\$0	\$6,451	\$0
175	OTWL-B00ELN-002	Other Exterior Walls	\$379			\$0	\$0	\$417	\$0
176	OTWL-B00ELN-002CA1	Limestone Wall Cleaning	\$379	REPAIR	3	\$0	\$0	\$417	\$0
178	OTWL-B00ELS-001	Other Exterior Walls	\$954			\$0	\$289	\$744	\$0
179	OTWL-B00ELS-001CA1	Granite curb cleaning	\$135	REPAIR	3	\$0	\$0	\$149	\$0
181	OTWL-B00ELS-001CA2	Mortar joint replacement	\$278	REPLACE	2	\$0	\$289	\$0	\$0
183	OTWL-B00ELS-001CA3	Refinish grates	\$541	REPAIR	3	\$0	\$0	\$595	\$0
185	OTWL-B00ELW-001	Other Exterior Walls	\$6,362			\$0	\$1,925	\$4,962	\$0
186	OTWL-B00ELW-001CA1	Granite curb cleaning	\$902	REPAIR	3	\$0	\$0	\$992	\$0
188	OTWL-B00ELW-001CA2	Mortar joint replacement	\$1,851	REPLACE	2	\$0	\$1,925	\$0	\$0
190	OTWL-B00ELW-001CA3	Refinish grates	\$3,609	REPAIR	3	\$0	\$0	\$3,970	\$0
194	WIND-B00ELE-H01	Windows	\$18,704			\$0	\$9,443	\$10,586	\$0
195	WIND-B00ELE-H01CA1	Refinish Wood Trim	\$6,767	REPAIR	2	\$0	\$7,037	\$0	\$0
197	WIND-B00ELE-H01CA2	Replace Window Wood Sill	\$2,313	REPLACE	2	\$0	\$2,406	\$0	\$0
199	WIND-B00ELE-H01CA3	Window Cleaning	\$9,624	REPAIR	3	\$0	\$0	\$10,586	\$0
201	WIND-B00ELE-H02	Windows	\$15,072			\$0	\$5,666	\$10,586	\$0
202	WIND-B00ELE-H02CA1	Refinish Wood Trim	\$4,060	REPAIR	2	\$0	\$4,222	\$0	\$0
204	WIND-B00ELE-H02CA2	Replace Window Wood Sill	\$1,388	REPLACE	2	\$0	\$1,444	\$0	\$0
206	WIND-B00ELE-H02CA3	Window Cleaning	\$9,624	REPAIR	3	\$0	\$0	\$10,586	\$0
208	WIND-B00ELE-H03	Windows	\$18,892			\$0	\$9,383	\$10,857	\$0
209	WIND-B00ELE-H03CA1	Refinish Wood Trim	\$6,767	REPAIR	2	\$0	\$7,037	\$0	\$0
211	WIND-B00ELE-H03CA2	Replace Window Wood Sill	\$2,256	REPAIR	2	\$0	\$2,346	\$0	\$0
213	WIND-B00ELE-H03CA3	Window Cleaning	\$9,870	REPLACE	3	\$0	\$0	\$10,857	\$0
215	WIND-B00ELE-H04	Windows	\$18,216			\$0	\$8,679	\$10,857	\$0
216	WIND-B00ELE-H04CA1	Refinish Wood Trim	\$6,090	REPAIR	2	\$0	\$6,334	\$0	\$0
218	WIND-B00ELE-H04CA2	Replace Window Wood Sill	\$2,256	REPAIR	2	\$0	\$2,346	\$0	\$0
220	WIND-B00ELE-H04CA3	Window Cleaning	\$9,870	REPLACE	3	\$0	\$0	\$10,857	\$0
222	WIND-B00ELE-H05	Windows	\$12,238			\$0	\$6,568	\$6,514	\$0
223	WIND-B00ELE-H05CA1	Refinish Wood Trim	\$4,060	REPAIR	2	\$0	\$4,222	\$0	\$0
225	WIND-B00ELE-H05CA2	Replace Window Wood Sill	\$2,256	REPAIR	2	\$0	\$2,346	\$0	\$0
227	WIND-B00ELE-H05CA3	Window Cleaning	\$5,922	REPLACE	3	\$0	\$0	\$6,514	\$0
229	WIND-B00ELE-H06	Windows	\$7,557			\$0	\$3,753	\$4,343	\$0
230	WIND-B00ELE-H06CA1	Refinish Wood Trim	\$2,707	REPAIR	2	\$0	\$2,815	\$0	\$0
232	WIND-B00ELE-H06CA2	Replace Window Wood Sill	\$902	REPAIR	2	\$0	\$938	\$0	\$0
234	WIND-B00ELE-H06CA3	Window Cleaning	\$3,948	REPLACE	3	\$0	\$0	\$4,343	\$0
236	WIND-B00ELE-H07	Windows	\$17,003			\$0	\$8,445	\$9,772	\$0
237	WIND-B00ELE-H07CA1	Refinish Wood Trim	\$6,090	REPAIR	2	\$0	\$6,334	\$0	\$0
239	WIND-B00ELE-H07CA2	Replace Window Wood Sill	\$2,030	REPAIR	2	\$0	\$2,111	\$0	\$0
241	WIND-B00ELE-H07CA3	Window Cleaning	\$8,883	REPLACE	3	\$0	\$0	\$9,772	\$0
243	WIND-B00ELN-H01	Windows	\$11,335			\$0	\$5,630	\$6,514	\$0
244	WIND-B00ELN-H01CA1	Refinish Wood Trim	\$4,060	REPAIR	2	\$0	\$4,222	\$0	\$0
246	WIND-B00ELN-H01CA2	Replace Window Wood Sill	\$1,353	REPAIR	2	\$0	\$1,407	\$0	\$0
248	WIND-B00ELN-H01CA3	Window Cleaning	\$5,922	REPLACE	3	\$0	\$0	\$6,514	\$0
250	WIND-B00ELN-H02	Windows	\$11,335			\$0	\$5,630	\$6,514	\$0
251	WIND-B00ELN-H02CA1	Refinish Wood Trim	\$4,060	REPAIR	2	\$0	\$4,222	\$0	\$0
253	WIND-B00ELN-H02CA2	Replace Window Wood Sill	\$1,353	REPAIR	2	\$0	\$1,407	\$0	\$0
255	WIND-B00ELN-H02CA3	Window Cleaning	\$5,922	REPLACE	3	\$0	\$0	\$6,514	\$0
257	WIND-B00ELN-H03	Windows	\$1,889			\$0	\$938	\$1,086	\$0
258	WIND-B00ELN-H03CA1	Refinish Wood Trim	\$677	REPAIR	2	\$0	\$704	\$0	\$0
260	WIND-B00ELN-H03CA2	Replace Window Wood Sill	\$226	REPAIR	2	\$0	\$235	\$0	\$0
262	WIND-B00ELN-H03CA3	Window Cleaning	\$987	REPLACE	3	\$0	\$0	\$1,086	\$0
264	WIND-B00ELN-H04	Windows	\$13,225			\$0	\$6,568	\$7,600	\$0
265	WIND-B00ELN-H04CA1	Refinish Wood Trim	\$4,737	REPAIR	2	\$0	\$4,926	\$0	\$0
267	WIND-B00ELN-H04CA2	Replace Window Wood Sill	\$1,579	REPAIR	2	\$0	\$1,642	\$0	\$0
269	WIND-B00ELN-H04CA3	Window Cleaning	\$6,909	REPLACE	3	\$0	\$0	\$7,600	\$0
271	WIND-B00ELS-H01	Windows	\$11,222			\$1,388	\$4,222	\$6,352	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE 1	1-2 YEARS 2	3-5 YEARS 3	6-10 YEARS 4
272	WIND-B00ELS-H01CA1	Refinish Wood Trim	\$4,060	REPAIR	2	\$0	\$4,222	\$0	\$0
274	WIND-B00ELS-H01CA2	Replace Window Wood Sill	\$1,388	REPLACE	1	\$1,388	\$0	\$0	\$0
276	WIND-B00ELS-H01CA3	Window Cleaning	\$5,774	REPAIR	3	\$0	\$0	\$6,352	\$0
278	WIND-B00ELS-H02	Windows	\$11,222			\$1,388	\$4,222	\$6,352	\$0
279	WIND-B00ELS-H02CA1	Refinish Wood Trim	\$4,060	REPAIR	2	\$0	\$4,222	\$0	\$0
281	WIND-B00ELS-H02CA2	Replace Window Wood Sill	\$1,388	REPLACE	1	\$1,388	\$0	\$0	\$0
283	WIND-B00ELS-H02CA3	Window Cleaning	\$5,774	REPAIR	3	\$0	\$0	\$6,352	\$0
285	WIND-B00ELS-H03	Windows	\$13,092			\$1,619	\$4,926	\$7,410	\$0
286	WIND-B00ELS-H03CA1	Refinish Wood Trim	\$4,737	REPAIR	2	\$0	\$4,926	\$0	\$0
288	WIND-B00ELS-H03CA2	Replace Window Wood Sill	\$1,619	REPLACE	1	\$1,619	\$0	\$0	\$0
290	WIND-B00ELS-H03CA3	Window Cleaning	\$6,737	REPAIR	3	\$0	\$0	\$7,410	\$0
292	WIND-B00ELS-H04	Windows	\$1,870			\$231	\$704	\$1,059	\$0
293	WIND-B00ELS-H04CA1	Refinish Wood Trim	\$677	REPAIR	2	\$0	\$704	\$0	\$0
295	WIND-B00ELS-H04CA2	Replace Window Wood Sill	\$231	REPLACE	1	\$231	\$0	\$0	\$0
297	WIND-B00ELS-H04CA3	Window Cleaning	\$962	REPAIR	3	\$0	\$0	\$1,059	\$0
299	WIND-B00ELW-H01	Windows	\$18,704			\$0	\$9,443	\$10,586	\$0
300	WIND-B00ELW-H01CA1	Refinish Window Trim	\$6,767	REPAIR	2	\$0	\$7,037	\$0	\$0
302	WIND-B00ELW-H01CA2	Replace Window Sill	\$2,313	REPLACE	2	\$0	\$2,406	\$0	\$0
304	WIND-B00ELW-H01CA3	Window Cleaning	\$9,624	REPAIR	3	\$0	\$0	\$10,586	\$0
306	WIND-B00ELW-H02	Windows	\$14,963			\$0	\$7,555	\$8,469	\$0
307	WIND-B00ELW-H02CA1	Refinish Window Trim	\$5,413	REPAIR	2	\$0	\$5,630	\$0	\$0
309	WIND-B00ELW-H02CA2	Replace Window Sill	\$1,851	REPLACE	2	\$0	\$1,925	\$0	\$0
311	WIND-B00ELW-H02CA3	Window Cleaning	\$7,699	REPAIR	3	\$0	\$0	\$8,469	\$0
313	WIND-B00ELW-H03	Windows	\$14,963			\$0	\$7,555	\$8,469	\$0
314	WIND-B00ELW-H03CA1	Refinish Window Trim	\$5,413	REPAIR	2	\$0	\$5,630	\$0	\$0
316	WIND-B00ELW-H03CA2	Replace Window Sill	\$1,851	REPLACE	2	\$0	\$1,925	\$0	\$0
318	WIND-B00ELW-H03CA3	Window Cleaning	\$7,699	REPAIR	3	\$0	\$0	\$8,469	\$0
320	WIND-B00ELW-H04	Windows	\$16,833			\$0	\$8,499	\$9,527	\$0
321	WIND-B00ELW-H04CA1	Refinish Window Trim	\$6,090	REPAIR	2	\$0	\$6,334	\$0	\$0
323	WIND-B00ELW-H04CA2	Replace Window Sill	\$2,082	REPLACE	2	\$0	\$2,165	\$0	\$0
325	WIND-B00ELW-H04CA3	Window Cleaning	\$8,661	REPAIR	3	\$0	\$0	\$9,527	\$0
327	WIND-B00ELW-H05	Windows	\$11,222			\$0	\$5,666	\$6,352	\$0
328	WIND-B00ELW-H05CA1	Refinish Window Trim	\$4,060	REPAIR	2	\$0	\$4,222	\$0	\$0
330	WIND-B00ELW-H05CA2	Replace Window Sill	\$1,388	REPLACE	2	\$0	\$1,444	\$0	\$0
332	WIND-B00ELW-H05CA3	Window Cleaning	\$5,774	REPAIR	3	\$0	\$0	\$6,352	\$0
334	WIND-B00ELW-H06	Windows	\$7,481			\$0	\$3,777	\$4,234	\$0
335	WIND-B00ELW-H06CA1	Refinish Window Trim	\$2,707	REPAIR	2	\$0	\$2,815	\$0	\$0
337	WIND-B00ELW-H06CA2	Replace Window Sill	\$925	REPLACE	2	\$0	\$962	\$0	\$0
339	WIND-B00ELW-H06CA3	Window Cleaning	\$3,849	REPAIR	3	\$0	\$0	\$4,234	\$0
341	WIND-B00ELW-H07	Windows	\$16,833			\$0	\$8,499	\$9,527	\$0
342	WIND-B00ELW-H07CA1	Refinish Window Trim	\$6,090	REPAIR	2	\$0	\$6,334	\$0	\$0
344	WIND-B00ELW-H07CA2	Replace Window Sill	\$2,082	REPLACE	2	\$0	\$2,165	\$0	\$0
346	WIND-B00ELW-H07CA3	Window Cleaning	\$8,661	REPAIR	3	\$0	\$0	\$9,527	\$0
350	SODR-B00ELE-H01	Solid Doors	\$1,579			\$0	\$1,642	\$0	\$0
351	SODR-B00ELE-H01CA1	Refinish wood door	\$1,579	REPAIR	2	\$0	\$1,642	\$0	\$0
353	SODR-B00ELN-H01	Solid Doors	\$526			\$0	\$547	\$0	\$0
354	SODR-B00ELN-H01CA1	Refinish wood door	\$526	REPAIR	2	\$0	\$547	\$0	\$0
356	SODR-B00ELN-H02	Solid Doors	\$955			\$429	\$547	\$0	\$0
357	SODR-B00ELN-H02CA1	Refinish door and frame	\$526	REPAIR	2	\$0	\$547	\$0	\$0
359	SODR-B00ELN-H02CA2	Repair door	\$241	REPAIR	1	\$241	\$0	\$0	\$0
361	SODR-B00ELN-H02CA3	Replace door sill	\$188	REPAIR	1	\$188	\$0	\$0	\$0
363	SODR-B00ELS-H01	Solid Doors	\$526			\$526	\$0	\$0	\$0
364	SODR-B00ELS-H01CA1	Refinish wood door	\$526	REPAIR	1	\$526	\$0	\$0	\$0
366	SODR-B00ELW-001	Solid Doors	\$180			\$0	\$188	\$0	\$0
367	SODR-B00ELW-001CA1	Door painting	\$180	REPAIR	2	\$0	\$188	\$0	\$0
369	SODR-B00ELW-002	Solid Doors	\$361			\$0	\$375	\$0	\$0
370	SODR-B00ELW-002CA1	Door painting	\$361	REPAIR	2	\$0	\$375	\$0	\$0
372	SODR-B00ELW-H01	Solid Doors	\$271			\$0	\$281	\$0	\$0
373	SODR-B00ELW-H01CA1	Refinish wood door	\$271	REPAIR	2	\$0	\$281	\$0	\$0
375	SODR-B00ELW-H02	Solid Doors	\$271			\$0	\$281	\$0	\$0
376	SODR-B00ELW-H02CA1	Door painting	\$271	REPAIR	2	\$0	\$281	\$0	\$0
379	GLDR-B00ELW-H01	Glazed Doors	\$677			\$0	\$704	\$0	\$0
380	GLDR-B00ELW-H01CA1	Repair/Refinish Door	\$677	REPAIR	2	\$0	\$704	\$0	\$0
383	GAT-B00ELE-001	Gates	\$2,819			\$0	\$0	\$3,101	\$0
384	GAT-B00ELE-001CA1	Gate Refinishing	\$2,819	REPAIR	3	\$0	\$0	\$3,101	\$0
386	GAT-B00ELW-001	Gates	\$1,880			\$0	\$0	\$2,068	\$0
387	GAT-B00ELW-001CA1	Gate Refinishing	\$1,880	REPAIR	3	\$0	\$0	\$2,068	\$0
390	EXDH-B00ELE-001	Exterior Door Hardware	\$2,361			\$0	\$0	\$2,597	\$0
391	EXDH-B00ELE-001CA1	Repair Hardware	\$2,361	REPAIR	3	\$0	\$0	\$2,597	\$0
393	EXDH-B00ELE-002	Exterior Door Hardware	\$4,962			\$0	\$5,161	\$0	\$0
394	EXDH-B00ELE-002CA1	Clean/Refinish Hardware	\$4,962	REPAIR	2	\$0	\$5,161	\$0	\$0
396	EXDH-B00ELN-001	Exterior Door Hardware	\$1,696			\$1,696	\$0	\$0	\$0
397	EXDH-B00ELN-001CA1	Replace Hardware	\$1,696	REPLACE	1	\$1,696	\$0	\$0	\$0
399	EXDH-B00ELN-002	Exterior Door Hardware	\$1,654			\$0	\$1,720	\$0	\$0
400	EXDH-B00ELN-002CA1	Clean/Refinish Hardware	\$1,654	REPAIR	2	\$0	\$1,720	\$0	\$0
402	EXDH-B00ELS-001	Exterior Door Hardware	\$1,654			\$0	\$1,720	\$0	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
403	EXDH-B00ELS-001CA1	Clean/Refinish Hardware	\$1,654	REPAIR	2	\$0	\$1,720	\$0	\$0
405	EXDH-B00ELW-001	Exterior Door Hardware	\$2,361			\$0	\$0	\$2,597	\$0
406	EXDH-B00ELW-001CA1	Repair Hardware	\$2,361	REPAIR	3	\$0	\$0	\$2,597	\$0
408	EXDH-B00ELW-002	Exterior Door Hardware	\$1,759			\$0	\$0	\$1,935	\$0
409	EXDH-B00ELW-002CA1	Repair Hardware	\$1,759	REPAIR	3	\$0	\$0	\$1,935	\$0
411	EXDH-B00ELW-003	Exterior Door Hardware	\$3,308			\$0	\$3,440	\$0	\$0
412	EXDH-B00ELW-003CA1	Clean/Refinish Hardware	\$3,308	REPAIR	2	\$0	\$3,440	\$0	\$0
414	EXDH-B00ELW-004	Exterior Door Hardware	\$1,654			\$0	\$0	\$1,819	\$0
415	EXDH-B00ELW-004CA1	Clean/Refinish Hardware	\$1,654	REPAIR	3	\$0	\$0	\$1,819	\$0
417	EXDH-B00ELW-005	Exterior Door Hardware	\$902			\$902	\$0	\$0	\$0
418	EXDH-B00ELW-005CA1	Replace Hardware	\$902	REPLACE	1	\$902	\$0	\$0	\$0
420	B30	Roofing	\$117,907			\$0	\$8,351	\$6,074	\$133,575
423	HSRC-BR2000-001	High Slope Roof Coverings	\$104,765			\$0	\$0	\$6,074	\$127,031
424	HSRC-BR2000-001CA1	Replace Roofing Sealant	\$2,545	REPLACE	3	\$0	\$0	\$2,799	\$0
426	HSRC-BR2000-001CA2	Roofing Cleaning	\$99,243	REPAIR	4	\$0	\$0	\$0	\$127,031
428	HSRC-BR2000-001CA3	Roofing Repair	\$2,977	REPAIR	3	\$0	\$0	\$3,275	\$0
431	LSMS-BR1000-001	Low Slope Membrane Systems	\$2,797			\$0	\$2,909	\$0	\$0
432	LSMS-BR1000-001CA1	Repair Roof Membrane	\$2,797	REPAIR	2	\$0	\$2,909	\$0	\$0
434	LSMS-BR2000-001	Low Slope Membrane Systems	\$5,233			\$0	\$5,442	\$0	\$0
435	LSMS-BR2000-001CA1	Repair Roof Membrane	\$5,233	REPAIR	2	\$0	\$5,442	\$0	\$0
438	FLTR-BR1000-001	Flashings and Trim	\$2,346			\$0	\$0	\$0	\$3,003
439	FLTR-BR1000-001CA1	Parapet Flashing Cleaning	\$2,346	REPAIR	4	\$0	\$0	\$0	\$3,003
441	FLTR-BR2000-001	Flashings and Trim	\$2,767			\$0	\$0	\$0	\$3,541
442	FLTR-BR2000-001CA1	Parapet Flashing Cleaning	\$2,767	REPAIR	4	\$0	\$0	\$0	\$3,541
444	C	Interiors	\$3,224,266			\$699,035	\$1,123,295	\$1,290,269	\$348,374
445	C10	Interior Construction	\$1,240,706			\$547,129	\$44,063	\$703,987	\$14,364
448	FPRT-B01000-001	Fixed Partitions	\$37,592			\$37,592	\$0	\$0	\$0
449	FPRT-B01000-001CA1	Repair water damage and cracking.	\$37,592	REPAIR	1	\$37,592	\$0	\$0	\$0
451	FPRT-B01000-002	Fixed Partitions	\$1,786			\$0	\$0	\$1,965	\$0
452	FPRT-B01000-002CA1	Repair wood paneling at half wall.	\$1,786	REPAIR	3	\$0	\$0	\$1,965	\$0
454	FPRT-B01000-003	Fixed Partitions	\$1,786			\$0	\$0	\$1,965	\$0
455	FPRT-B01000-003CA1	Repair wood paneling at half wall.	\$1,786	REPAIR	3	\$0	\$0	\$1,965	\$0
457	FPRT-B02000-001	Fixed Partitions	\$60,147			\$60,147	\$0	\$0	\$0
458	FPRT-B02000-001CA1	Repair water damage and cracking.	\$60,147	REPAIR	1	\$60,147	\$0	\$0	\$0
460	FPRT-B02000-002	Fixed Partitions	\$1,624			\$0	\$0	\$1,786	\$0
461	FPRT-B02000-002CA1	Repair wood paneling at half wall.	\$1,624	REPAIR	3	\$0	\$0	\$1,786	\$0
463	FPRT-B02000-003	Fixed Partitions	\$1,053			\$0	\$0	\$1,158	\$0
464	FPRT-B02000-003CA1	Repair half wall and wood top.	\$1,053	REPAIR	3	\$0	\$0	\$1,158	\$0
466	FPRT-B02000-004	Fixed Partitions	\$1,053			\$0	\$0	\$1,158	\$0
467	FPRT-B02000-004CA1	Repair half wall and wood top.	\$1,053	REPAIR	3	\$0	\$0	\$1,158	\$0
469	FPRT-B03000-001	Fixed Partitions	\$60,147			\$60,147	\$0	\$0	\$0
470	FPRT-B03000-001CA1	Repair signs of cracking.	\$60,147	REPAIR	1	\$60,147	\$0	\$0	\$0
472	FPRT-BB1000-001	Fixed Partitions	\$15,037			\$15,037	\$0	\$0	\$0
473	FPRT-BB1000-001CA1	Repair water damage and cracking.	\$15,037	REPAIR	1	\$15,037	\$0	\$0	\$0
476	INWD-B01000-001	Interior Windows	\$771			\$771	\$0	\$0	\$0
477	INWD-B01000-001CA1	Replace missing glass at transaction windows.	\$771	REPLACE	1	\$771	\$0	\$0	\$0
481	INDR-B01000-001	Standard Interior Doors	\$42,103			\$0	\$0	\$46,313	\$0
482	INDR-B01000-001CA1	Repair wood door and hollow metal frame.	\$42,103	REPAIR	3	\$0	\$0	\$46,313	\$0
484	INDR-B01000-H02	Standard Interior Doors	\$10,526			\$0	\$0	\$11,578	\$0
485	INDR-B01000-H02CA1	Repair wood door and historic wood frame.	\$10,526	REPAIR	3	\$0	\$0	\$11,578	\$0
487	INDR-B01000-H03	Standard Interior Doors	\$1,203			\$0	\$0	\$1,323	\$0
488	INDR-B01000-H03CA1	Repair historic wood frame.	\$1,203	REPAIR	3	\$0	\$0	\$1,323	\$0
490	INDR-B01000-H04	Standard Interior Doors	\$1,504			\$0	\$0	\$1,654	\$0
491	INDR-B01000-H04CA1	Repair historic metal frame.	\$1,504	REPAIR	3	\$0	\$0	\$1,654	\$0
493	INDR-B01000-H05	Standard Interior Doors	\$1,203			\$0	\$0	\$1,323	\$0
494	INDR-B01000-H05CA1	Repair historic wood frame.	\$1,203	REPAIR	3	\$0	\$0	\$1,323	\$0
496	INDR-B02000-001	Standard Interior Doors	\$25,563			\$0	\$0	\$28,119	\$0
497	INDR-B02000-001CA1	Repair wood door and hollow metal frame.	\$25,563	REPAIR	3	\$0	\$0	\$28,119	\$0
499	INDR-B02000-004	Standard Interior Doors	\$3,609			\$0	\$0	\$3,970	\$0
500	INDR-B02000-004CA1	Repair double wood door and hollow metal frame.	\$3,609	REPAIR	3	\$0	\$0	\$3,970	\$0
502	INDR-B02000-H02	Standard Interior Doors	\$32,480			\$0	\$0	\$35,728	\$0
503	INDR-B02000-H02CA1	Repair wood door and historic wood frame.	\$32,480	REPAIR	3	\$0	\$0	\$35,728	\$0
505	INDR-B02000-H03	Standard Interior Doors	\$2,406			\$0	\$0	\$2,646	\$0
506	INDR-B02000-H03CA1	Repair historic wood frame.	\$2,406	REPAIR	3	\$0	\$0	\$2,646	\$0
508	INDR-B02000-H04	Standard Interior Doors	\$226			\$0	\$0	\$248	\$0
509	INDR-B02000-H04CA1	Repair historic metal frame.	\$226	REPAIR	3	\$0	\$0	\$248	\$0
511	INDR-B03000-001	Standard Interior Doors	\$40,599			\$0	\$0	\$44,659	\$0
512	INDR-B03000-001CA1	Repair wood door and hollow metal frame.	\$40,599	REPAIR	3	\$0	\$0	\$44,659	\$0
514	INDR-B03000-H02	Standard Interior Doors	\$48,118			\$0	\$0	\$52,930	\$0
515	INDR-B03000-H02CA1	Repair historic wood frame.	\$48,118	REPAIR	3	\$0	\$0	\$52,930	\$0
517	INDR-B03000-H04	Standard Interior Doors	\$451			\$0	\$0	\$496	\$0
518	INDR-B03000-H04CA1	Paint and restore historic metal frame.	\$451	REPAIR	3	\$0	\$0	\$496	\$0
520	INDR-BB1000-001	Standard Interior Doors	\$133,250			\$0	\$0	\$146,574	\$0
521	INDR-BB1000-001CA1	Replace interior door.	\$133,250	REPLACE	3	\$0	\$0	\$146,574	\$0
523	INDR-BB1000-002	Standard Interior Doors	\$6,169			\$0	\$0	\$6,786	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
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Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
524	INDR-BB1000-002CA1	Replace interior double door.	\$6,169	REPLACE	3	\$0	\$0	\$6,786	\$0
527	FRDR-B01000-001	Fire Doors	\$2,677			\$2,677	\$0	\$0	\$0
528	FRDR-B01000-001CA1	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
532	FRDR-B01000-002	Fire Doors	\$2,677			\$2,677	\$0	\$0	\$0
533	FRDR-B01000-002CA1	Replace listing through field-labeling service or replace fire	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
537	FRDR-B01000-003	Fire Doors	\$2,677			\$2,677	\$0	\$0	\$0
538	FRDR-B01000-003CA1	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
542	FRDR-B01000-005	Fire Doors	\$2,677			\$2,677	\$0	\$0	\$0
543	FRDR-B01000-005CA1	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
547	FRDR-B01000-006	Fire Doors	\$2,677			\$2,677	\$0	\$0	\$0
548	FRDR-B01000-006CA1	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
552	FRDR-B01000-008	Fire Doors	\$5,353			\$5,353	\$0	\$0	\$0
553	FRDR-B01000-008CA1	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
557	FRDR-B01000-008CA1	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
561	FRDR-B01000-010	Fire Doors	\$2,677			\$2,677	\$0	\$0	\$0
562	FRDR-B01000-010CA1	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
566	FRDR-B01000-011	Fire Doors	\$2,729			\$2,729	\$0	\$0	\$0
567	FRDR-B01000-011CA1	Remove tape from latch to allow fire door to latch.	\$53	REPAIR	1	\$53	\$0	\$0	\$0
569	FRDR-B01000-011CA2	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
573	FRDR-B01000-013	Fire Doors	\$3,030			\$3,030	\$0	\$0	\$0
574	FRDR-B01000-013CA1	Repair door hardware, including door closer screw/bolt and	\$353	REPAIR	1	\$353	\$0	\$0	\$0
577	FRDR-B01000-013CA2	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
581	FRDR-B01000-014	Fire Doors	\$9,392			\$9,392	\$0	\$0	\$67
582	FRDR-B01000-014CA1	Remove paint from fire door frame listing label.	\$53	REPAIR	4	\$0	\$0	\$0	\$67
584	FRDR-B01000-014CA2	Replace unrated door with fire door.	\$9,339	REPAIR	1	\$9,339	\$0	\$0	\$0
592	FRDR-B01000-015	Fire Doors	\$2,677			\$2,677	\$0	\$0	\$0
593	FRDR-B01000-015CA1	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
597	FRDR-B01000-017	Fire Doors	\$53			\$0	\$0	\$0	\$67
598	FRDR-B01000-017CA1	Remove paint from fire door frame listing label.	\$53	REPAIR	4	\$0	\$0	\$0	\$67
600	FRDR-B01000-018	Fire Doors	\$9,392			\$9,392	\$0	\$0	\$67
601	FRDR-B01000-018CA1	Remove paint from fire door frame listing label.	\$53	REPAIR	4	\$0	\$0	\$0	\$67
603	FRDR-B01000-018CA2	Replace unrated door with fire door.	\$9,339	REPAIR	1	\$9,339	\$0	\$0	\$0
611	FRDR-B01000-019	Fire Doors	\$2,677			\$2,677	\$0	\$0	\$0
612	FRDR-B01000-019CA1	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
616	FRDR-B01000-020	Fire Doors	\$2,677			\$2,677	\$0	\$0	\$0
617	FRDR-B01000-020CA1	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
621	FRDR-B01000-022	Fire Doors	\$2,677			\$2,677	\$0	\$0	\$0
622	FRDR-B01000-022CA1	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
626	FRDR-B01000-024	Fire Doors	\$2,745			\$2,745	\$0	\$0	\$0
627	FRDR-B01000-024CA1	Replace listing label through field-labeling service or replace	\$2,745	REPLACE	1	\$2,745	\$0	\$0	\$0
631	FRDR-B01000-H04	Fire Doors	\$14,852			\$14,852	\$0	\$0	\$0
632	FRDR-B01000-H04CA1	Replace unrated door assembly with fire-rated door	\$14,852	REPLACE	1	\$14,852	\$0	\$0	\$0
641	FRDR-B01000-H16	Fire Doors	\$14,852			\$14,852	\$0	\$0	\$0
642	FRDR-B01000-H16CA1	Replace unrated door assembly with fire-rated door	\$14,852	REPLACE	1	\$14,852	\$0	\$0	\$0
651	FRDR-B01000-H21	Fire Doors	\$14,852			\$14,852	\$0	\$0	\$0
652	FRDR-B01000-H21CA1	Replace unrated door assembly with fire-rated door	\$14,852	REPLACE	1	\$14,852	\$0	\$0	\$0
661	FRDR-B02000-002	Fire Doors	\$2,677			\$2,677	\$0	\$0	\$0
662	FRDR-B02000-002CA1	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
666	FRDR-B02000-005	Fire Doors	\$2,677			\$2,677	\$0	\$0	\$0
667	FRDR-B02000-005CA1	Replace listing label through field-labeling service or replace	\$2,677	REPAIR	1	\$2,677	\$0	\$0	\$0
671	FRDR-B02000-006	Fire Doors	\$180			\$180	\$0	\$0	\$0
672	FRDR-B02000-006CA1	Remove non-compliant door hardware and repair mounting	\$180	REPAIR	1	\$180	\$0	\$0	\$0
674	FRDR-B02000-007	Fire Doors	\$14,275			\$14,275	\$0	\$0	\$0
675	FRDR-B02000-007CA1	Replace unrated door, frame, and hardware with fire-rated	\$14,275	REPLACE	1	\$14,275	\$0	\$0	\$0
683	FRDR-B02000-009	Fire Doors	\$185			\$185	\$0	\$0	\$0
684	FRDR-B02000-009CA1	Repair extra mounting holes.	\$185	REPLACE	1	\$185	\$0	\$0	\$0
686	FRDR-B02000-011	Fire Doors	\$2,745			\$2,745	\$0	\$0	\$0
687	FRDR-B02000-011CA1	Replace listing label through field-labeling service or replace	\$2,745	REPLACE	1	\$2,745	\$0	\$0	\$0
691	FRDR-B02000-013	Fire Doors	\$54			\$0	\$0	\$0	\$69
692	FRDR-B02000-013CA1	Remove paint from fire door listing label.	\$54	REPLACE	4	\$0	\$0	\$0	\$69
694	FRDR-B02000-014	Fire Doors	\$2,745			\$2,745	\$0	\$0	\$0
695	FRDR-B02000-014CA1	Replace listing label through field-labeling service or replace	\$2,745	REPLACE	1	\$2,745	\$0	\$0	\$0
699	FRDR-B02000-015	Fire Doors	\$54			\$0	\$0	\$0	\$69
700	FRDR-B02000-015CA1	Remove paint from fire door frame listing label.	\$54	REPLACE	4	\$0	\$0	\$0	\$69
702	FRDR-B02000-018	Fire Doors	\$54			\$0	\$0	\$0	\$69
703	FRDR-B02000-018CA1	Remove paint from fire door frame listing label.	\$54	REPLACE	4	\$0	\$0	\$0	\$69
705	FRDR-B02000-H04	Fire Doors	\$14,852			\$14,852	\$0	\$0	\$0
706	FRDR-B02000-H04CA1	Replace unrated door assembly with fire-rated door	\$14,852	REPLACE	1	\$14,852	\$0	\$0	\$0
715	FRDR-B02000-H10	Fire Doors	\$14,852			\$14,852	\$0	\$0	\$0
716	FRDR-B02000-H10CA1	Replace unrated door assembly with fire-rated door	\$14,852	REPLACE	1	\$14,852	\$0	\$0	\$0
725	FRDR-B02000-H21	Fire Doors	\$14,852			\$14,852	\$0	\$0	\$0
726	FRDR-B02000-H21CA1	Replace unrated door assembly with fire-rated door	\$14,852	REPLACE	1	\$14,852	\$0	\$0	\$0
735	FRDR-B03000-H01	Fire Doors	\$14,852			\$14,852	\$0	\$0	\$0
736	FRDR-B03000-H01CA1	Replace unrated door assembly with fire-rated door	\$14,852	REPLACE	1	\$14,852	\$0	\$0	\$0
745	FRDR-B03000-H02	Fire Doors	\$14,852			\$14,852	\$0	\$0	\$0
746	FRDR-B03000-H02CA1	Replace unrated door assembly with fire-rated door	\$14,852	REPLACE	1	\$14,852	\$0	\$0	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
755	FRDR-B03000-H03	Fire Doors	\$14,852			\$14,852	\$0	\$0	\$0
756	FRDR-B03000-H03CA1	Replace unrated door assembly with fire-rated door	\$14,852	REPLACE	1	\$14,852	\$0	\$0	\$0
765	FRDR-BB1000-002	Fire Doors	\$4,526			\$4,526	\$0	\$0	\$0
766	FRDR-BB1000-002CA1	Remove paint from fire door and frame listing labels.	\$54	REPLACE	1	\$54	\$0	\$0	\$0
768	FRDR-BB1000-002CA2	Replace unrated door hardware with labeled fire door	\$4,472	REPLACE	1	\$4,472	\$0	\$0	\$0
772	FRDR-BB1000-003	Fire Doors	\$5,955			\$5,955	\$0	\$0	\$0
773	FRDR-BB1000-003CA1	Replace unrated door with fire-rated door and hardware.	\$5,955	REPLACE	1	\$5,955	\$0	\$0	\$0
779	FRDR-BB1000-004	Fire Doors	\$54			\$54	\$0	\$0	\$0
780	FRDR-BB1000-004CA1	Remove paint from fire door frame listing label.	\$54	REPLACE	1	\$54	\$0	\$0	\$0
782	FRDR-BB1000-005	Fire Doors	\$54			\$54	\$0	\$0	\$0
783	FRDR-BB1000-005CA1	Remove paint from fire door frame listing label.	\$54	REPLACE	1	\$54	\$0	\$0	\$0
785	FRDR-BB1000-H01	Fire Doors	\$14,852			\$14,852	\$0	\$0	\$0
786	FRDR-BB1000-H01CA1	Replace unrated door assembly with fire-rated door	\$14,852	REPLACE	1	\$14,852	\$0	\$0	\$0
795	FRDR-BB1000-H07	Fire Doors	\$14,852			\$14,852	\$0	\$0	\$0
796	FRDR-BB1000-H07CA1	Replace unrated door assembly with fire-rated door	\$14,852	REPLACE	1	\$14,852	\$0	\$0	\$0
805	FRDR-BPH000-001	Fire Doors	\$14,275			\$14,275	\$0	\$0	\$0
806	FRDR-BPH000-001CA1	Replace unrated door assembly with fire-rated door	\$14,275	REPLACE	1	\$14,275	\$0	\$0	\$0
814	FRDR-BPH000-002	Fire Doors	\$8,337			\$8,337	\$0	\$0	\$0
815	FRDR-BPH000-002CA1	Replace unrated door assembly with fire-rated door	\$8,337	REPLACE	1	\$8,337	\$0	\$0	\$0
822	FRDR-BPH000-003	Fire Doors	\$16,675			\$16,675	\$0	\$0	\$0
823	FRDR-BPH000-003CA1	Replace unrated door assembly with fire-rated door	\$8,337	REPLACE	1	\$8,337	\$0	\$0	\$0
830	FRDR-BPH000-003CA1	Replace unrated door assembly with fire-rated door	\$8,337	REPLACE	1	\$8,337	\$0	\$0	\$0
838	DLLDR-BB1000-001	Sliding and Folding Doors	\$1,504			\$0	\$0	\$1,654	\$0
839	DLLDR-BB1000-001CA1	Repair sliding door at mechanical room.	\$1,504	REPAIR	3	\$0	\$0	\$1,654	\$0
842	INGT-B01000-001	Interior Gates	\$2,256			\$0	\$0	\$2,481	\$0
843	INGT-B01000-001CA1	Repair or replace missing interior gate.	\$2,256	REPAIR	3	\$0	\$0	\$2,481	\$0
845	INGT-B02000-001	Interior Gates	\$3,383			\$0	\$0	\$3,722	\$0
846	INGT-B02000-001CA1	Repair or replace missing interior gate.	\$3,383	REPAIR	3	\$0	\$0	\$3,722	\$0
849	DRHD-B01000-001	Interior Door Hardware	\$5,579			\$5,579	\$0	\$0	\$0
850	DRHD-B01000-001CA1	Upgrade panic hardware.	\$5,579	UPGRADE	1	\$5,579	\$0	\$0	\$0
852	DRHD-B02000-001	Interior Door Hardware	\$7,438			\$7,438	\$0	\$0	\$0
853	DRHD-B02000-001CA1	Upgrade panic hardware.	\$7,438	UPGRADE	1	\$7,438	\$0	\$0	\$0
855	DRHD-B02000-003	Interior Door Hardware	\$2,468			\$2,468	\$0	\$0	\$0
856	DRHD-B02000-003CA1	Replace door closer.	\$2,468	REPLACE	1	\$2,468	\$0	\$0	\$0
859	INTS-BB1000-003	Other Interior Specialty Doors	\$30,074			\$19,548	\$0	\$0	\$13,473
860	INTS-BB1000-003CA1	Repair and paint metal	\$10,526	REPAIR	4	\$0	\$0	\$0	\$13,473
862	INTS-BB1000-003CA2	Repair and restore historic clocks.	\$19,548	REPAIR	1	\$19,548	\$0	\$0	\$0
864	SPDR-B01000-H01	Other Interior Specialty Doors	\$21,052			\$0	\$0	\$23,157	\$0
865	SPDR-B01000-H01CA1	Repair and restore historic metal frames.	\$21,052	REPAIR	3	\$0	\$0	\$23,157	\$0
867	SPDR-B01000-H02	Other Interior Specialty Doors	\$10,526			\$0	\$0	\$11,578	\$0
868	SPDR-B01000-H02CA1	Repair and restore historic metal frames.	\$10,526	REPAIR	3	\$0	\$0	\$11,578	\$0
870	SPDR-B02000-H01	Other Interior Specialty Doors	\$21,052			\$0	\$0	\$23,157	\$0
871	SPDR-B02000-H01CA1	Repair and restore historic metal frames.	\$21,052	REPAIR	3	\$0	\$0	\$23,157	\$0
873	SPDR-B03000-H01	Other Interior Specialty Doors	\$21,052			\$0	\$0	\$23,157	\$0
874	SPDR-B03000-H01CA1	Repair and restore historic metal frames.	\$21,052	REPAIR	3	\$0	\$0	\$23,157	\$0
876	SPDR-B03000-H02	Other Interior Specialty Doors	\$10,526			\$0	\$0	\$11,578	\$0
877	SPDR-B03000-H02CA1	Repair and restore historic metal frames.	\$10,526	REPAIR	3	\$0	\$0	\$11,578	\$0
879	SPDR-BB1000-001	Other Interior Specialty Doors	\$1,353			\$0	\$0	\$1,489	\$0
880	SPDR-BB1000-001CA1	Repair deteriorated double door to exterior lift.	\$1,353	REPAIR	3	\$0	\$0	\$1,489	\$0
882	SPDR-BB1000-002	Other Interior Specialty Doors	\$38,864			\$38,864	\$0	\$0	\$0
883	SPDR-BB1000-002CA1	Replace all detainee doors.	\$38,864	REPLACE	1	\$38,864	\$0	\$0	\$0
887	TPTN-B02000-H01	Compartments, Cubicles, Toilet Partitions	\$3,609			\$0	\$3,753	\$0	\$0
888	TPTN-B02000-H01CA1	Install missing hardware.	\$3,609	REPAIR	2	\$0	\$3,753	\$0	\$0
890	TPTN-B03000-H01	Compartments, Cubicles, Toilet Partitions	\$6,616			\$0	\$6,881	\$0	\$0
891	TPTN-B03000-H01CA1	Install missing door.	\$6,616	REPAIR	2	\$0	\$6,881	\$0	\$0
894	TA-B01000-002	Toilet and Bath Accessories	\$771			\$0	\$802	\$0	\$0
895	TA-B01000-002CA1	Replace mirror.	\$771	REPLACE	2	\$0	\$802	\$0	\$0
897	TA-B01000-006	Toilet and Bath Accessories	\$3,099			\$0	\$0	\$3,409	\$0
898	TA-B01000-006CA1	Upgrade changing station.	\$3,099	UPGRADE	3	\$0	\$0	\$3,409	\$0
900	TA-B01000-008	Toilet and Bath Accessories	\$501			\$0	\$0	\$551	\$0
901	TA-B01000-008CA1	Replace dispenser.	\$501	REPLACE	3	\$0	\$0	\$551	\$0
903	TA-B01000-013	Toilet and Bath Accessories	\$100			\$100	\$0	\$0	\$0
904	TA-B01000-013CA1	Replace toilet tissue dispenser.	\$100	REPLACE	1	\$100	\$0	\$0	\$0
906	TA-B02000-001	Toilet and Bath Accessories	\$139			\$0	\$0	\$153	\$0
907	TA-B02000-001CA1	Replace soap dish.	\$139	REPLACE	3	\$0	\$0	\$153	\$0
909	TA-B02000-009	Toilet and Bath Accessories	\$3,099			\$0	\$0	\$3,409	\$0
910	TA-B02000-009CA1	Upgrade changing station.	\$3,099	UPGRADE	3	\$0	\$0	\$3,409	\$0
912	TA-B02000-015	Toilet and Bath Accessories	\$902			\$902	\$0	\$0	\$0
913	TA-B02000-015CA1	Replace toilet tissue dispenser.	\$902	REPLACE	1	\$902	\$0	\$0	\$0
915	TA-B02000-016	Toilet and Bath Accessories	\$200			\$200	\$0	\$0	\$0
916	TA-B02000-016CA1	Replace toilet tissue dispenser.	\$200	REPLACE	1	\$200	\$0	\$0	\$0
918	TA-B03000-001	Toilet and Bath Accessories	\$279			\$0	\$0	\$307	\$0
919	TA-B03000-001CA1	Replace soap dish.	\$279	UPGRADE	3	\$0	\$0	\$307	\$0
921	TA-B03000-006	Toilet and Bath Accessories	\$3,084			\$0	\$0	\$3,393	\$0
922	TA-B03000-006CA1	Upgrade changing station.	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
924	TA-B03000-007	Toilet and Bath Accessories	\$406			\$0	\$422	\$0	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
925	TA-B03000-007CA1	Add missing parts.	\$406	REPAIR	2	\$0	\$422	\$0	\$0
927	TA-B03000-009	Toilet and Bath Accessories	\$504			\$203	\$0	\$331	\$0
928	TA-B03000-009CA1	Install soap dispenser.	\$203	REPAIR	1	\$203	\$0	\$0	\$0
930	TA-B03000-009CA2	Replace dispenser.	\$301	REPLACE	3	\$0	\$0	\$331	\$0
932	TA-BB1000-001	Toilet and Bath Accessories	\$775			\$0	\$806	\$0	\$0
933	TA-BB1000-001CA1	Install ADA grab bars.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
935	TA-BB1000-002	Toilet and Bath Accessories	\$139			\$0	\$145	\$0	\$0
936	TA-BB1000-002CA1	Install soap dish.	\$139	UPGRADE	2	\$0	\$145	\$0	\$0
938	TA-BB1000-003	Toilet and Bath Accessories	\$372			\$101	\$282	\$0	\$0
939	TA-BB1000-003CA1	Install ADA grab bars.	\$271	UPGRADE	2	\$0	\$282	\$0	\$0
941	TA-BB1000-003CA2	Install toilet paper dispenser.	\$101	UPGRADE	1	\$101	\$0	\$0	\$0
943	TA-BB1000-005	Toilet and Bath Accessories	\$271			\$0	\$282	\$0	\$0
944	TA-BB1000-005CA1	Install ADA grab bars.	\$271	UPGRADE	2	\$0	\$282	\$0	\$0
946	TA-BB1000-011	Toilet and Bath Accessories	\$542			\$0	\$564	\$0	\$0
947	TA-BB1000-011CA1	Install ADA grab bars.	\$542	UPGRADE	2	\$0	\$564	\$0	\$0
949	TA-BB1000-012	Toilet and Bath Accessories	\$70			\$0	\$73	\$0	\$0
950	TA-BB1000-012CA1	Install soap dish.	\$70	UPGRADE	2	\$0	\$73	\$0	\$0
952	TA-BB1000-013	Toilet and Bath Accessories	\$170			\$0	\$177	\$0	\$0
953	TA-BB1000-013CA1	Install soap dish.	\$70	UPGRADE	2	\$0	\$73	\$0	\$0
955	TA-BB1000-013CA2	Replace dispenser.	\$100	REPLACE	2	\$0	\$104	\$0	\$0
957	TA-BB1000-017	Toilet and Bath Accessories	\$349			\$0	\$363	\$0	\$0
958	TA-BB1000-017CA1	Replace accessories.	\$349	UPGRADE	2	\$0	\$363	\$0	\$0
961	IDD-B01000-001	Identifying Devices	\$11,049			\$0	\$11,490	\$0	\$0
962	IDD-B01000-001CA1	Upgrade signage on Basement	\$11,049	UPGRADE	2	\$0	\$11,490	\$0	\$0
964	IDD-BB1000-001	Identifying Devices	\$1,426			\$0	\$1,483	\$0	\$0
965	IDD-BB1000-001CA1	Install signs to match the building standards in basement	\$1,426	UPGRADE	2	\$0	\$1,483	\$0	\$0
968	LCKR-BB1000-001	Lockers	\$4,143			\$0	\$0	\$4,557	\$0
969	LCKR-BB1000-001CA1	Repair hardware.	\$4,143	REPAIR	3	\$0	\$0	\$4,557	\$0
972	SHLV-B01000-001	Shelving	\$200			\$0	\$209	\$0	\$0
973	SHLV-B01000-001CA1	Replace shelving.	\$200	REPLACE	2	\$0	\$209	\$0	\$0
975	SHLV-B02000-002	Shelving	\$1,388			\$0	\$1,444	\$0	\$0
976	SHLV-B02000-002CA1	Replace shelving.	\$1,388	REPLACE	2	\$0	\$1,444	\$0	\$0
978	SHLV-B03000-001	Shelving	\$200			\$0	\$209	\$0	\$0
979	SHLV-B03000-001CA1	Replace shelving.	\$200	REPLACE	2	\$0	\$209	\$0	\$0
981	SHLV-BB1000-001	Shelving	\$401			\$0	\$417	\$0	\$0
982	SHLV-BB1000-001CA1	Replace shelving.	\$401	REPLACE	2	\$0	\$417	\$0	\$0
985	CTR-B01000-001	Counters	\$2,441			\$0	\$0	\$2,685	\$0
986	CTR-B01000-001CA1	Upgrade counter	\$2,441	UPGRADE	3	\$0	\$0	\$2,685	\$0
988	CTR-B01000-002	Counters	\$1,674			\$0	\$1,740	\$0	\$0
989	CTR-B01000-002CA1	Correct ADA Door clearance issue	\$1,674	UPGRADE	2	\$0	\$1,740	\$0	\$0
991	CTR-B01000-003	Counters	\$2,092			\$0	\$0	\$2,301	\$0
992	CTR-B01000-003CA1	Upgrade counter	\$2,092	UPGRADE	3	\$0	\$0	\$2,301	\$0
994	CTR-B01000-004	Counters	\$30,682			\$0	\$0	\$33,750	\$0
995	CTR-B01000-004CA1	Upgrade counter	\$30,682	UPGRADE	3	\$0	\$0	\$33,750	\$0
997	CTR-B01000-006	Counters	\$1,278			\$0	\$0	\$1,406	\$0
998	CTR-B01000-006CA1	Upgrade counter	\$1,278	UPGRADE	3	\$0	\$0	\$1,406	\$0
1000	CTR-B02000-001	Counters	\$376			\$0	\$0	\$0	\$481
1001	CTR-B02000-001CA1	Repair Sealant	\$376	REPAIR	4	\$0	\$0	\$0	\$481
1003	CTR-B02000-002	Counters	\$5,811			\$0	\$0	\$6,392	\$0
1004	CTR-B02000-002CA1	Upgrade counter	\$5,811	UPGRADE	3	\$0	\$0	\$6,392	\$0
1007	CTR-B03000-001	Counters	\$2,557			\$0	\$0	\$2,812	\$0
1008	CTR-B03000-001CA1	Upgrade counter	\$2,557	UPGRADE	3	\$0	\$0	\$2,812	\$0
1011	CTR-BB1000-002	Counters	\$83			\$0	\$0	\$91	\$0
1012	CTR-BB1000-002CA1	Repair Sealant	\$83	REPAIR	3	\$0	\$0	\$91	\$0
1014	CTR-BB1000-003	Counters	\$45			\$0	\$0	\$50	\$0
1015	CTR-BB1000-003CA1	Repair Sealant	\$45	REPAIR	3	\$0	\$0	\$50	\$0
1018	CSW-B01000-001	Casework	\$1,053			\$0	\$0	\$1,158	\$0
1019	CSW-B01000-001CA1	Repair wood scratches	\$1,053	REPAIR	3	\$0	\$0	\$1,158	\$0
1021	CSW-B01000-002	Casework	\$1,824			\$0	\$0	\$2,006	\$0
1022	CSW-B01000-002CA1	Repair wood scratches	\$1,053	REPAIR	3	\$0	\$0	\$1,158	\$0
1024	CSW-B01000-002CA2	Replace damaged base	\$771	REPLACE	3	\$0	\$0	\$848	\$0
1026	CSW-B01000-003	Casework	\$771			\$0	\$0	\$848	\$0
1027	CSW-B01000-003CA1	Replace damaged base	\$771	REPLACE	3	\$0	\$0	\$848	\$0
1029	CSW-B01000-005	Casework	\$116,219			\$0	\$0	\$127,841	\$0
1030	CSW-B01000-005CA1	Upgrade fixed workstations	\$116,219	UPGRADE	3	\$0	\$0	\$127,841	\$0
1032	CSW-B02000-002	Casework	\$1,824			\$0	\$0	\$2,006	\$0
1033	CSW-B02000-002CA1	Repair wood scratches	\$1,053	REPAIR	3	\$0	\$0	\$1,158	\$0
1035	CSW-B02000-002CA2	Replaced damaged base	\$771	REPLACE	3	\$0	\$0	\$848	\$0
1037	CSW-B02000-003	Casework	\$1,824			\$0	\$0	\$2,006	\$0
1038	CSW-B02000-003CA1	Repair wood scratches	\$1,053	REPAIR	3	\$0	\$0	\$1,158	\$0
1040	CSW-B02000-003CA2	Replaced damaged base	\$771	REPLACE	3	\$0	\$0	\$848	\$0
1042	CSW-B02000-005	Casework	\$1,627			\$0	\$1,692	\$0	\$0
1043	CSW-B02000-005CA1	Upgrade counter	\$1,627	UPGRADE	2	\$0	\$1,692	\$0	\$0
1045	CSW-B03000-003	Casework	\$128			\$0	\$0	\$141	\$0
1046	CSW-B03000-003CA1	Repair wood scratches	\$128	REPAIR	3	\$0	\$0	\$141	\$0
1048	CSW-B03000-004	Casework	\$1,627			\$0	\$1,692	\$0	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
1049	CSW-B03000-004CA1	Upgrade counter	\$1,627	UPGRADE	2	\$0	\$1,692	\$0	\$0
1051	CSW-BB1000-001	Casework	\$3,874			\$0	\$4,029	\$0	\$0
1052	CSW-BB1000-001CA1	Upgrade desk	\$3,874	UPGRADE	2	\$0	\$4,029	\$0	\$0
1054	CSW-BB1000-002	Casework	\$1,550			\$0	\$1,612	\$0	\$0
1055	CSW-BB1000-002CA1	Upgrade desk	\$1,550	UPGRADE	2	\$0	\$1,612	\$0	\$0
1057	CSW-BB1000-003	Casework	\$1,860			\$0	\$1,934	\$0	\$0
1058	CSW-BB1000-003CA1	Upgrade credenza	\$1,860	UPGRADE	2	\$0	\$1,934	\$0	\$0
1060	CSW-BB1000-004	Casework	\$1,504			\$0	\$1,564	\$0	\$0
1061	CSW-BB1000-004CA1	Paint metal	\$451	REPAIR	2	\$0	\$469	\$0	\$0
1063	CSW-BB1000-004CA2	Repair wood scratches	\$1,053	REPAIR	2	\$0	\$1,095	\$0	\$0
1066	INTS-B01000-002	Other Interior Specialties	\$226			\$0	\$0	\$248	\$0
1067	INTS-B01000-002CA1	Clean mail box	\$226	REPAIR	3	\$0	\$0	\$248	\$0
1069	INTS-BB1000-001	Other Interior Specialties	\$135			\$0	\$0	\$149	\$0
1070	INTS-BB1000-001CA1	Add Vinyl Signage	\$135	REPAIR	3	\$0	\$0	\$149	\$0
1072	INTS-BB1000-002	Other Interior Specialties	\$6,940			\$0	\$0	\$7,634	\$0
1073	INTS-BB1000-002CA1	Replace cell bench	\$6,940	REPLACE	3	\$0	\$0	\$7,634	\$0
1075	C20	Stairs	\$96,804			\$7,128	\$81,902	\$11,852	\$192
1078	ISTW-B00000-001	Interior Stair Construction	\$1,317			\$0	\$1,370	\$0	\$0
1079	ISTW-B00000-001CA1	Upgrade Railing	\$1,317	UPGRADE	2	\$0	\$1,370	\$0	\$0
1081	ISTW-B00000-002	Interior Stair Construction	\$2,010			\$0	\$1,048	\$1,103	\$0
1082	ISTW-B00000-002CA1	Replace stone steps	\$1,002	REPLACE	3	\$0	\$0	\$1,103	\$0
1084	ISTW-B00000-002CA2	Upgrade Railing	\$1,007	UPGRADE	2	\$0	\$1,048	\$0	\$0
1086	ISTW-B00000-003	Interior Stair Construction	\$542			\$0	\$564	\$0	\$0
1087	ISTW-B00000-003CA1	Upgrade Railing	\$542	UPGRADE	2	\$0	\$564	\$0	\$0
1089	ISTW-B04000-001	Interior Stair Construction	\$540			\$0	\$0	\$594	\$0
1090	ISTW-B04000-001CA1	Repair and paint metal	\$540	REPLACE	3	\$0	\$0	\$594	\$0
1092	ISTW-BB1000-001	Interior Stair Construction	\$1,317			\$0	\$1,370	\$0	\$0
1093	ISTW-BB1000-001CA1	Upgrade Railing	\$1,317	UPGRADE	2	\$0	\$1,370	\$0	\$0
1096	ESTW-B00ELE-001	Exterior Stair Construction	\$22,733			\$0	\$22,198	\$1,527	\$0
1097	ESTW-B00ELE-001CA1	Replace Mortar Joint	\$1,388	REPLACE	3	\$0	\$0	\$1,527	\$0
1099	ESTW-B00ELE-001CA2	Replace Railing	\$17,736	REPLACE	2	\$0	\$18,445	\$0	\$0
1101	ESTW-B00ELE-001CA3	Stair & Walls Cleaning	\$3,609	REPAIR	2	\$0	\$3,753	\$0	\$0
1103	ESTW-B00ELE-H01	Exterior Stair Construction	\$150			\$0	\$0	\$0	\$192
1104	ESTW-B00ELE-H01CA1	Granite Floor Cleaning	\$150	REPAIR	4	\$0	\$0	\$0	\$192
1106	ESTW-B00ELN-001	Exterior Stair Construction	\$14,106			\$0	\$13,413	\$1,330	\$0
1107	ESTW-B00ELN-001CA1	Remove Tree	\$376	REPAIR	3	\$0	\$0	\$414	\$0
1109	ESTW-B00ELN-001CA2	Replace Mortar Joint	\$833	REPLACE	3	\$0	\$0	\$916	\$0
1111	ESTW-B00ELN-001CA3	Replace Railing	\$10,641	REPLACE	2	\$0	\$11,067	\$0	\$0
1113	ESTW-B00ELN-001CA4	Stair & Walls Cleaning	\$2,256	REPAIR	2	\$0	\$2,346	\$0	\$0
1115	ESTW-B00ELN-H01	Exterior Stair Construction	\$771			\$0	\$802	\$0	\$0
1116	ESTW-B00ELN-H01CA1	Replace Joint Sealant	\$771	REPLACE	2	\$0	\$802	\$0	\$0
1118	ESTW-B00ELS-H01	Exterior Stair Construction	\$8,373			\$0	\$5,560	\$3,329	\$0
1119	ESTW-B00ELS-H01CA1	Install Railing	\$5,346	UPGRADE	2	\$0	\$5,560	\$0	\$0
1121	ESTW-B00ELS-H01CA2	Replace Joint Sealant	\$771	REPLACE	3	\$0	\$0	\$848	\$0
1123	ESTW-B00ELS-H01CA3	Stair Cleaning	\$2,256	REPAIR	3	\$0	\$0	\$2,481	\$0
1125	ESTW-B00ELW-001	Exterior Stair Construction	\$4,135			\$0	\$4,301	\$0	\$0
1126	ESTW-B00ELW-001CA1	Repair Stair Step	\$376	REPAIR	2	\$0	\$391	\$0	\$0
1128	ESTW-B00ELW-001CA2	Stair Cleaning	\$3,759	REPAIR	2	\$0	\$3,910	\$0	\$0
1131	ERMP-B00ELN-001	Exterior Ramps	\$40,811			\$7,128	\$31,277	\$3,970	\$0
1132	ERMP-B00ELN-001CA1	Accessible Ramp Cleaning	\$3,609	REPAIR	3	\$0	\$0	\$3,970	\$0
1134	ERMP-B00ELN-001CA2	Repair Ramp Flooring	\$30,074	REPAIR	2	\$0	\$31,277	\$0	\$0
1136	ERMP-B00ELN-001CA3	Upgrade Railing	\$7,128	UPGRADE	1	\$7,128	\$0	\$0	\$0
1138	C30	Interior Finishes	\$1,886,755			\$144,778	\$997,331	\$574,430	\$333,818
1141	GBF-B01000-001	Gypsum Wallboard Finishes	\$219,914			\$0	\$228,710	\$0	\$0
1142	GBF-B01000-001CA1	Repair/refinish gypsum wall.	\$219,914	REPAIR	2	\$0	\$228,710	\$0	\$0
1144	GBF-B0200-001	Gypsum Wallboard Finishes	\$34,585			\$0	\$35,968	\$0	\$0
1145	GBF-B0200-001CA1	Repair/refinish gypsum wall.	\$34,585	REPAIR	2	\$0	\$35,968	\$0	\$0
1147	GBF-B03000-001	Gypsum Wallboard Finishes	\$10,375			\$0	\$10,790	\$0	\$0
1148	GBF-B03000-001CA1	Repair/refinish gypsum wall.	\$10,375	REPAIR	2	\$0	\$10,790	\$0	\$0
1150	GBF-BB1000-001	Gypsum Wallboard Finishes	\$17,292			\$0	\$17,984	\$0	\$0
1151	GBF-BB1000-001CA1	Repair/refinish gypsum wall.	\$17,292	REPAIR	2	\$0	\$17,984	\$0	\$0
1154	TLWF-B01000-001	Tile and Terrazzo Wall Finishes	\$63,155			\$63,155	\$0	\$0	\$0
1155	TLWF-B01000-001CA1	Repair chipped tile.	\$63,155	REPAIR	1	\$63,155	\$0	\$0	\$0
1157	TLWF-B03000-001	Tile and Terrazzo Wall Finishes	\$24,059			\$24,059	\$0	\$0	\$0
1158	TLWF-B03000-001CA1	Repair damaged gypsum wall.	\$24,059	REPAIR	1	\$24,059	\$0	\$0	\$0
1160	TLWF-B03000-002	Tile and Terrazzo Wall Finishes	\$3,886			\$0	\$0	\$0	\$4,975
1161	TLWF-B03000-002CA1	Replace damaged/cracked ceramic tiles.	\$3,886	REPLACE	4	\$0	\$0	\$0	\$4,975
1163	TLWF-BB1000-002	Tile and Terrazzo Wall Finishes	\$8,637			\$0	\$0	\$0	\$11,055
1164	TLWF-BB1000-002CA1	Replace damaged/cracked ceramic tiles.	\$8,637	REPLACE	4	\$0	\$0	\$0	\$11,055
1167	STWF-B01000-H01	Other Wall Finishes	\$158,496			\$0	\$32,512	\$0	\$162,861
1168	STWF-B01000-H01CA1	Repair failing mortar joints at marble wall slabs.	\$31,262	REPAIR	2	\$0	\$32,512	\$0	\$0
1170	STWF-B01000-H01CA2	Replace discolored and damaged marble stone slab,	\$127,235	REPLACE	4	\$0	\$0	\$0	\$162,861
1172	STWF-B01000-H02	Other Wall Finishes	\$34,402			\$0	\$17,734	\$19,085	\$0
1173	STWF-B01000-H02CA1	Repair failing mortar joints at marble wall slabs.	\$17,052	REPAIR	2	\$0	\$17,734	\$0	\$0
1175	STWF-B01000-H02CA2	Replace cracked marble stone slabs at door surrounds in	\$17,350	REPLACE	3	\$0	\$0	\$19,085	\$0
1177	STWF-B02000-H01	Other Wall Finishes	\$29,990			\$0	\$22,167	\$0	\$11,104



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
1178	STWF-B02000-H01CA1	Repair failing mortar joints at marble wall slabs.	\$21,315	REPAIR	2	\$0	\$22,167	\$0	\$0
1180	STWF-B02000-H01CA2	Replace damaged marble stone slab with drill holes.	\$8,675	REPLACE	4	\$0	\$0	\$0	\$11,104
1182	STWF-B02000-H02	Other Wall Finishes	\$13,262			\$0	\$13,793	\$0	\$0
1183	STWF-B02000-H02CA1	Repair failing mortar joints at marble wall slabs.	\$13,262	REPAIR	2	\$0	\$13,793	\$0	\$0
1185	STWF-B03000-H03	Other Wall Finishes	\$16,104			\$0	\$16,749	\$0	\$0
1186	STWF-B03000-H03CA1	Repair failing mortar joints at marble wall slabs.	\$16,104	REPAIR	2	\$0	\$16,749	\$0	\$0
1188	STWF-B03000-H04	Other Wall Finishes	\$10,421			\$0	\$10,837	\$0	\$0
1189	STWF-B03000-H04CA1	Repair failing mortar joints at marble wall slabs.	\$10,421	REPAIR	2	\$0	\$10,837	\$0	\$0
1191	WDWF-B01000-H01	Other Wall Finishes	\$77,112			\$0	\$80,196	\$0	\$0
1192	WDWF-B01000-H01CA1	Replace wood paneling due to cracking.	\$77,112	REPLACE	2	\$0	\$80,196	\$0	\$0
1194	WDWF-B02000-H01	Other Wall Finishes	\$117,210			\$0	\$121,899	\$0	\$0
1195	WDWF-B02000-H01CA1	Replace wood paneling due to cracking.	\$117,210	REPLACE	2	\$0	\$121,899	\$0	\$0
1197	WDWF-B03000-H01	Other Wall Finishes	\$240,628			\$0	\$250,253	\$0	\$0
1198	WDWF-B03000-H01CA1	Refinish wood paneling showing fading.	\$118,791	REPAIR	2	\$0	\$123,543	\$0	\$0
1200	WDWF-B03000-H01CA2	Replace wood paneling due to cracking.	\$121,837	REPLACE	2	\$0	\$126,710	\$0	\$0
1202	WDWF-BB1000-001	Other Wall Finishes	\$112,699			\$0	\$117,207	\$0	\$0
1203	WDWF-BB1000-001CA1	Refinish wood paneling showing fading.	\$55,636	REPAIR	2	\$0	\$57,862	\$0	\$0
1205	WDWF-BB1000-001CA2	Replace wood paneling due to cracking.	\$57,063	REPLACE	2	\$0	\$59,345	\$0	\$0
1207	WNSL-B01000-003	Other Wall Finishes	\$578			\$0	\$0	\$636	\$0
1208	WNSL-B01000-003CA1	Replace plastic laminate window sill.	\$578	REPLACE	3	\$0	\$0	\$636	\$0
1210	WNSL-B01000-H01	Other Wall Finishes	\$7,218			\$0	\$0	\$7,939	\$0
1211	WNSL-B01000-H01CA1	Repair cracked historic stone window sill.	\$7,218	REPAIR	3	\$0	\$0	\$7,939	\$0
1213	WNSL-B02000-H01	Other Wall Finishes	\$5,639			\$0	\$0	\$6,203	\$0
1214	WNSL-B02000-H01CA1	Repair cracked historic stone window sill.	\$226	REPAIR	3	\$0	\$0	\$248	\$0
1216	WNSL-B02000-H01CA1	Repair cracked historic stone window sill.	\$5,413	REPAIR	3	\$0	\$0	\$5,955	\$0
1218	WNSL-B03000-H01	Other Wall Finishes	\$4,962			\$0	\$0	\$5,458	\$0
1219	WNSL-B03000-H01CA1	Repair cracked historic stone window sill.	\$4,962	REPAIR	3	\$0	\$0	\$5,458	\$0
1223	TXFL-B02000-H01	Terrazzo Floor Finishes	\$106,010			\$0	\$0	\$0	\$135,692
1224	TXFL-B02000-H01CA1	Repair terrazzo flooring.	\$106,010	REPAIR	4	\$0	\$0	\$0	\$135,692
1226	TXFL-B02000-H02	Terrazzo Floor Finishes	\$6,353			\$0	\$0	\$0	\$8,132
1227	TXFL-B02000-H02CA1	Repair damaged terrazzo flooring.	\$6,353	REPAIR	4	\$0	\$0	\$0	\$8,132
1230	RSFF-B01000-001	Resilient Floor Finishes	\$7,094			\$7,094	\$0	\$0	\$0
1231	RSFF-B01000-001CA1	Replace vinyl tile.	\$7,094	REPLACE	1	\$7,094	\$0	\$0	\$0
1234	CPT-B03000-001	Carpeting	\$94,025			\$0	\$5,560	\$97,547	\$0
1235	CPT-B03000-001CA1	Add missing transition strips.	\$5,346	UPGRADE	2	\$0	\$5,560	\$0	\$0
1237	CPT-B03000-001CA2	Replace carpet.	\$88,679	REPLACE	3	\$0	\$0	\$97,547	\$0
1239	CPT-B03000-002	Carpeting	\$36,243			\$0	\$0	\$39,867	\$0
1240	CPT-B03000-002CA1	Replace carpet.	\$36,243	REPLACE	3	\$0	\$0	\$39,867	\$0
1242	CPT-BB1000-001	Carpeting	\$28,917			\$0	\$0	\$31,809	\$0
1243	CPT-BB1000-001CA1	Replace carpet.	\$28,917	REPLACE	3	\$0	\$0	\$31,809	\$0
1246	WB-B01000-002	Wall Base Finishes	\$4,339			\$0	\$0	\$4,773	\$0
1247	WB-B01000-002CA1	Upgrade carpet base.	\$4,339	UPGRADE	3	\$0	\$0	\$4,773	\$0
1249	WB-B01000-003	Wall Base Finishes	\$46			\$0	\$0	\$51	\$0
1250	WB-B01000-003CA1	Upgrade vinyl base.	\$46	UPGRADE	3	\$0	\$0	\$51	\$0
1252	WB-B01000-H01	Wall Base Finishes	\$33,382			\$0	\$0	\$36,720	\$0
1253	WB-B01000-H01CA1	Repair or replace terrazzo base.	\$33,382	REPAIR	3	\$0	\$0	\$36,720	\$0
1255	WB-B0200-002	Wall Base Finishes	\$5,424			\$0	\$0	\$5,966	\$0
1256	WB-B0200-002CA1	Upgrade carpet base.	\$5,424	UPGRADE	3	\$0	\$0	\$5,966	\$0
1258	WB-B0200-003	Wall Base Finishes	\$2,479			\$0	\$0	\$2,727	\$0
1259	WB-B0200-003CA1	Upgrade vinyl base.	\$2,479	UPGRADE	3	\$0	\$0	\$2,727	\$0
1261	WB-B0200-004	Wall Base Finishes	\$4,511			\$0	\$0	\$4,962	\$0
1262	WB-B0200-004CA1	Repair or upgrade laminate base.	\$4,511	REPAIR	3	\$0	\$0	\$4,962	\$0
1264	WB-B0200-H01	Wall Base Finishes	\$111,273			\$0	\$0	\$122,400	\$0
1265	WB-B0200-H01CA1	Repair or replace terrazzo base.	\$111,273	REPAIR	3	\$0	\$0	\$122,400	\$0
1267	WB-B0200-H05	Wall Base Finishes	\$2,406			\$0	\$0	\$2,646	\$0
1268	WB-B0200-H05CA1	Maintain and repair stone base.	\$2,406	REPAIR	3	\$0	\$0	\$2,646	\$0
1270	WB-B03000-002	Wall Base Finishes	\$5,424			\$0	\$0	\$5,966	\$0
1271	WB-B03000-002CA1	Upgrade carpet base.	\$5,424	UPGRADE	3	\$0	\$0	\$5,966	\$0
1273	WB-B03000-003	Wall Base Finishes	\$2,479			\$0	\$0	\$2,727	\$0
1274	WB-B03000-003CA1	Upgrade vinyl base.	\$2,479	UPGRADE	3	\$0	\$0	\$2,727	\$0
1276	WB-B03000-004	Wall Base Finishes	\$5,263			\$0	\$0	\$5,789	\$0
1277	WB-B03000-004CA1	Repair or upgrade laminate base.	\$5,263	REPAIR	3	\$0	\$0	\$5,789	\$0
1279	WB-B03000-H01	Wall Base Finishes	\$111,273			\$0	\$0	\$122,400	\$0
1280	WB-B03000-H01CA1	Repair or replace terrazzo base.	\$111,273	REPAIR	3	\$0	\$0	\$122,400	\$0
1282	WB-BB1000-002	Wall Base Finishes	\$2,045			\$0	\$0	\$2,250	\$0
1283	WB-BB1000-002CA1	Upgrade vinyl base.	\$2,045	UPGRADE	3	\$0	\$0	\$2,250	\$0
1285	WB-BB1000-003	Wall Base Finishes	\$11,983			\$0	\$0	\$13,182	\$0
1286	WB-BB1000-003CA1	Replace terrazzo wall base.	\$11,983	REPLACE	3	\$0	\$0	\$13,182	\$0
1290	GBCL-B02000-H02	Exposed Concrete Finishes	\$21,746			\$21,746	\$0	\$0	\$0
1291	GBCL-B02000-H02CA1	Replace discolored spline tiles.	\$21,746	REPLACE	1	\$21,746	\$0	\$0	\$0
1294	PLCL-B01000-H01	Plaster Ceiling Finishes	\$376			\$0	\$391	\$0	\$0
1295	PLCL-B01000-H01CA1	Repair hole in plaster ceiling.	\$376	REPAIR	2	\$0	\$391	\$0	\$0
1298	GBCL-B03000-H02	Gypsum Wallboard Ceiling Finishes	\$22,208			\$22,208	\$0	\$0	\$0
1299	GBCL-B03000-H02CA1	Replace discolored spline tiles.	\$22,208	REPLACE	1	\$22,208	\$0	\$0	\$0
1301	GBCL-BB1000-001	Gypsum Wallboard Ceiling Finishes	\$29,773			\$0	\$0	\$32,750	\$0
1302	GBCL-BB1000-001CA1	Repair/refinish gypsum ceiling.	\$29,773	REPAIR	3	\$0	\$0	\$32,750	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
1305	ACT-B01000-002	Acoustical Ceiling Tiles and Panels	\$4,010			\$0	\$4,170	\$0	\$0
1306	ACT-B01000-002CA1	Replace ceiling tiles with water damage.	\$4,010	REPLACE	2	\$0	\$4,170	\$0	\$0
1308	ACT-B02000-002	Acoustical Ceiling Tiles and Panels	\$4,010			\$0	\$4,170	\$0	\$0
1309	ACT-B02000-002CA1	Replace ceiling tiles with water damage.	\$4,010	REPLACE	2	\$0	\$4,170	\$0	\$0
1311	ACT-B02000-005	Acoustical Ceiling Tiles and Panels	\$77			\$0	\$80	\$0	\$0
1312	ACT-B02000-005CA1	Replace ceiling tiles with water damage.	\$77	REPLACE	2	\$0	\$80	\$0	\$0
1314	ACT-B02000-006	Acoustical Ceiling Tiles and Panels	\$2,082			\$2,082	\$0	\$0	\$0
1315	ACT-B02000-006CA1	Replace ceiling system.	\$2,082	REPLACE	1	\$2,082	\$0	\$0	\$0
1317	ACT-B03000-002	Acoustical Ceiling Tiles and Panels	\$6,632			\$2,776	\$4,010	\$0	\$0
1318	ACT-B03000-002CA1	Replace ceiling tiles with water damage.	\$3,856	REPLACE	2	\$0	\$4,010	\$0	\$0
1320	ACT-B03000-002CA2	Replace cracked ceiling tiles.	\$2,776	REPLACE	1	\$2,776	\$0	\$0	\$0
1322	ACT-B03000-003	Acoustical Ceiling Tiles and Panels	\$1,658			\$1,658	\$0	\$0	\$0
1323	ACT-B03000-003CA1	Replace ceiling tiles with water damage.	\$1,658	REPLACE	1	\$1,658	\$0	\$0	\$0
1325	ACT-BB1000-001	Acoustical Ceiling Tiles and Panels	\$1,542			\$0	\$1,604	\$0	\$0
1326	ACT-BB1000-001CA1	Replace ceiling tiles with water damage.	\$1,542	REPLACE	2	\$0	\$1,604	\$0	\$0
1328	ACT-BB1000-002	Acoustical Ceiling Tiles and Panels	\$524			\$0	\$545	\$0	\$0
1329	ACT-BB1000-002CA1	Replace ceiling tiles with water damage.	\$524	REPLACE	2	\$0	\$545	\$0	\$0
1331	ACT-BB1000-003	Acoustical Ceiling Tiles and Panels	\$524			\$0	\$0	\$577	\$0
1332	ACT-BB1000-003CA1	Replace ceiling tiles with water damage.	\$524	REPLACE	3	\$0	\$0	\$577	\$0
1334	D	Services	\$8,380,915			\$739,397	\$1,119,494	\$4,898,594	\$2,703,122
1335	D10	Conveying	\$92,534			\$0	\$96,236	\$0	\$0
1338	ELSW-BB1000-001	Passenger Elevators	\$92,534			\$0	\$96,236	\$0	\$0
1339	ELSW-BB1000-001CA1	EoLC - Replace Sidewalk Elevator	\$92,534	REPLACE	2	\$0	\$96,236	\$0	\$0
1341	D20	Plumbing	\$2,271,256			\$204,353	\$55,695	\$1,890,365	\$377,390
1344	WC00-B01000-001	WaterClosets	\$33,880			\$0	\$0	\$37,268	\$0
1345	WC00-B01000-001CA1	EoLC - Replace the water closets at end of life	\$33,880	REPLACE	3	\$0	\$0	\$37,268	\$0
1348	WC00-B02000-001	WaterClosets	\$38,115			\$0	\$0	\$41,926	\$0
1349	WC00-B02000-001CA1	EoLC - Replace the water closets at end of life	\$38,115	REPLACE	3	\$0	\$0	\$41,926	\$0
1352	WC00-B03000-001	WaterClosets	\$40,232			\$0	\$0	\$44,256	\$0
1353	WC00-B03000-001CA1	EoLC - Replace the water closets at end of life	\$40,232	REPLACE	3	\$0	\$0	\$44,256	\$0
1356	WC00-BB1000-001	WaterClosets	\$14,822			\$0	\$0	\$0	\$18,973
1357	WC00-BB1000-001CA1	EoLC - Replace the water closets at end of life	\$14,822	REPLACE	4	\$0	\$0	\$0	\$18,973
1360	WC00-BB1000-002	WaterClosets	\$28,317			\$0	\$0	\$0	\$36,246
1361	WC00-BB1000-002CA1	EoLC - Replace the water closets at end of life	\$28,317	REPLACE	4	\$0	\$0	\$0	\$36,246
1364	WC00-BB1SAH-S01	WaterClosets	\$40,869			\$0	\$42,504	\$0	\$0
1365	WC00-BB1SAH-S01CA1	EoLC - Replace tamper-proof water closets in secure adult	\$40,869	REPLACE	2	\$0	\$42,504	\$0	\$0
1369	URIN-B01000-001	Urinals	\$5,089			\$0	\$0	\$5,598	\$0
1370	URIN-B01000-001CA1	EoLC - Replace the urinals at end of life	\$5,089	REPLACE	3	\$0	\$0	\$5,598	\$0
1374	URIN-B03000-001	Urinals	\$5,089			\$0	\$0	\$5,598	\$0
1375	URIN-B03000-001CA1	EoLC - Replace the urinals at end of life	\$5,089	REPLACE	3	\$0	\$0	\$5,598	\$0
1379	URIN-BB1000-001	Urinals	\$5,089			\$0	\$0	\$5,598	\$0
1380	URIN-BB1000-001CA1	Replace the urinals at end of life	\$5,089	REPLACE	3	\$0	\$0	\$5,598	\$0
1385	LAV0-B01000-001	Lavatories	\$23,750			\$0	\$0	\$26,126	\$0
1386	LAV0-B01000-001CA1	EoLC - Replace the lavatories at end of life	\$23,750	REPLACE	3	\$0	\$0	\$26,126	\$0
1389	LAV0-BB1SAH-S01	Lavatories	\$46,576			\$46,576	\$0	\$0	\$0
1390	LAV0-BB1SAH-S01CA1	EoLC - Replace the tamper-proof lavatories in adult holding	\$46,576	REPLACE	1	\$46,576	\$0	\$0	\$0
1394	LAV-B02000-001	Lavatories	\$25,447			\$0	\$0	\$27,992	\$0
1395	LAV-B02000-001CA1	EoLC - Replace the lavatories at end of life	\$25,447	REPLACE	3	\$0	\$0	\$27,992	\$0
1398	LAV-B03000-001	Lavatories	\$33,929			\$0	\$0	\$37,322	\$0
1399	LAV-B03000-001CA1	EoLC - Replace the lavatories at end of life	\$33,929	REPLACE	3	\$0	\$0	\$37,322	\$0
1403	DFC0-B01000-001	Drinking Fountains and Coolers	\$11,104			\$0	\$11,548	\$0	\$0
1404	DFC0-B01000-001CA1	EoLC - Replace the Drinking fountain at end of life	\$11,104	REPLACE	2	\$0	\$11,548	\$0	\$0
1408	DFC0-B01000-H02	Drinking Fountains and Coolers	\$2,782			\$0	\$0	\$3,060	\$0
1409	DFC0-B01000-H02CA1	Repair	\$2,782	REPAIR	3	\$0	\$0	\$3,060	\$0
1411	DFC0-B02000-H02	Drinking Fountains and Coolers	\$2,782			\$0	\$0	\$3,060	\$0
1412	DFC0-B02000-H02CA1	Repair	\$2,782	REPAIR	3	\$0	\$0	\$3,060	\$0
1414	DFC0-B03000-H02	Drinking Fountains and Coolers	\$2,782			\$0	\$0	\$3,060	\$0
1415	DFC0-B03000-H02CA1	Repair	\$2,782	REPAIR	3	\$0	\$0	\$3,060	\$0
1417	DFC0-BB1000-001	Drinking Fountains and Coolers	\$8,945			\$8,945	\$0	\$0	\$0
1418	DFC0-BB1000-001CA1	EoLC - Replace all drinking fountains on B1 level	\$8,945	REPLACE	1	\$8,945	\$0	\$0	\$0
1424	DWPF-B02000-001	Pipes and Fittings	\$141,240			\$0	\$0	\$155,364	\$0
1425	DWPF-B02000-001CA1	EoLC - Replace the piping and fittings at end of life	\$141,240	REPLACE	3	\$0	\$0	\$155,364	\$0
1428	DWPF-BB1000-001	Pipes and Fittings	\$177,740			\$0	\$0	\$0	\$227,507
1429	DWPF-BB1000-001CA1	EoLC - Replace the piping and fittings at end of life	\$177,740	REPLACE	4	\$0	\$0	\$0	\$227,507
1432	DWPF-BB1SAH-S01	Pipes and Fittings	\$109,959			\$109,959	\$0	\$0	\$0
1433	DWPF-BB1SAH-S01CA1	EoLC - Replace tamper-proof domestic water piping and	\$109,959	REPLACE	1	\$109,959	\$0	\$0	\$0
1437	DWVH-B01000-001	Valves and Hydrants	\$46,119			\$0	\$0	\$50,731	\$0
1438	DWVH-B01000-001CA1	EoLC - Replace the valves at end of life	\$46,119	REPLACE	3	\$0	\$0	\$50,731	\$0
1440	DWVH-B02000-001	Valves and Hydrants	\$36,648			\$0	\$0	\$40,313	\$0
1441	DWVH-B02000-001CA1	EoLC - Replace the valves at end of life	\$36,648	REPLACE	3	\$0	\$0	\$40,313	\$0
1443	DWVH-B03000-001	Valves and Hydrants	\$36,648			\$0	\$0	\$40,313	\$0
1444	DWVH-B03000-001CA1	EoLC - Replace the valves at end of life	\$36,648	REPLACE	3	\$0	\$0	\$40,313	\$0
1446	DWVH-BB1000-001	Valves and Hydrants	\$46,119			\$0	\$0	\$0	\$59,033
1447	DWVH-BB1000-001CA1	EoLC - Replace the valves at end of life	\$46,119	REPLACE	4	\$0	\$0	\$0	\$59,033
1450	DWEQ-BB1000-001	Domestic Water Equipment	\$65,530			\$0	\$0	\$72,083	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

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Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
1451	DWEQ-BB1000-001CA1	EoLC - Replace the Hot water tank at end of life	\$65,530	REPLACE	3	\$0	\$0	\$72,083	\$0
1455	DHWP-BB1000-001	Domestic Hot Water Pump	\$2,930			\$0	\$0	\$3,223	\$0
1456	DHWP-BB1000-001CA1	EoLC - Replace the Recirculation pump at end of life	\$2,930	REPLACE	3	\$0	\$0	\$3,223	\$0
1459	DWIN-BB1000-001	Insulation - Domestic	\$6,103			\$0	\$0	\$6,713	\$0
1460	DWIN-BB1000-001CA1	Provide Identification for domestic water piping	\$6,103	REPLACE	3	\$0	\$0	\$6,713	\$0
1464	WHEL-BB1000-001	Water Heater - Elec	\$65,530			\$0	\$0	\$72,083	\$0
1465	WHEL-BB1000-001CA1	EoLC - Replace the water heater at end of life	\$65,530	REPLACE	3	\$0	\$0	\$72,083	\$0
1470	WPFO-B01000-001	Waste Pipe and fittings	\$176,704			\$0	\$0	\$194,374	\$0
1471	WPFO-B01000-001CA1	EoLC - Replace the piping and fittings at end of life	\$176,704	REPLACE	3	\$0	\$0	\$194,374	\$0
1474	WPFO-B02000-001	Waste Pipe and fittings	\$140,416			\$0	\$0	\$154,458	\$0
1475	WPFO-B02000-001CA1	EoLC - Replace the piping and fittings at end of life	\$140,416	REPLACE	3	\$0	\$0	\$154,458	\$0
1478	WPFO-B03000-001	Waste Pipe and fittings	\$317,120			\$0	\$0	\$348,832	\$0
1479	WPFO-B03000-001CA1	EoLC - Replace the piping and fittings at end of life	\$317,120	REPLACE	3	\$0	\$0	\$348,832	\$0
1482	WPFO-B03000-001CA1	EoLC - Replace the piping and fittings at end of life	\$176,704	REPLACE	3	\$0	\$0	\$194,374	\$0
1485	WPFO-BB1SAH-S01	Waste Pipe and fittings	\$27,837			\$0	\$0	\$0	\$35,632
1486	WPFO-BB1SAH-S01CA1	EoLC - Replace tamper-proof sanitary waste piping and	\$27,837	REPLACE	4	\$0	\$0	\$0	\$35,632
1489	WPFO-BPH000-001	Waste Pipe and fittings	\$140,416			\$0	\$0	\$154,458	\$0
1490	WPFO-BPH000-001CA1	EoLC - Replace the piping and fittings at end of life	\$140,416	REPLACE	3	\$0	\$0	\$154,458	\$0
1494	VPFO-B02000-001	Vent Pipe and Fittings	\$15,634			\$0	\$0	\$17,197	\$0
1495	VPFO-B02000-001CA1	EoLC - Replace the piping and fitting at end of life	\$15,634	REPLACE	3	\$0	\$0	\$17,197	\$0
1498	VPFO-B03000-001	Vent Pipe and Fittings	\$16,251			\$0	\$0	\$17,876	\$0
1499	VPFO-B03000-001CA1	EoLC - Replace the piping and fitting at end of life	\$16,251	REPLACE	3	\$0	\$0	\$17,876	\$0
1502	VPFO-BB1SAH-S01	Vent Pipe and Fittings	\$37,177			\$37,177	\$0	\$0	\$0
1503	VPFO-BB1SAH-S01CA1	EoLC - Replace tamper-proof vent piping and fittings in	\$23,220	REPLACE	1	\$23,220	\$0	\$0	\$0
1506	VPFO-BB1SAH-S01CA1	EoLC - Replace tamper-proof vent piping and fittings in	\$13,957	REPLACE	1	\$13,957	\$0	\$0	\$0
1510	FLDR-B01000-001	Floor Drains	\$27,413			\$0	\$0	\$30,155	\$0
1511	FLDR-B01000-001CA1	EoLC - Replace the floor drains at end of life	\$27,413	REPLACE	3	\$0	\$0	\$30,155	\$0
1514	FLDR-B02000-001	Floor Drains	\$39,597			\$0	\$0	\$43,557	\$0
1515	FLDR-B02000-001CA1	EoLC - Replace the floor drains at end of life	\$39,597	REPLACE	3	\$0	\$0	\$43,557	\$0
1518	FLDR-B03000-001	Floor Drains	\$45,689			\$0	\$0	\$50,258	\$0
1519	FLDR-B03000-001CA1	EoLC - Replace the floor drains at end of life	\$45,689	REPLACE	3	\$0	\$0	\$50,258	\$0
1522	FLDR-BB1000-001	Floor Drains	\$60,918			\$0	\$0	\$67,010	\$0
1523	FLDR-BB1000-001CA1	EoLC - Replace the floor drains at end of life	\$60,918	REPLACE	3	\$0	\$0	\$67,010	\$0
1526	FLDR-BPH000-001	Floor Drains	\$27,413			\$0	\$0	\$30,155	\$0
1527	FLDR-BPH000-001CA1	EoLC - Replace the floor drains at end of life	\$27,413	REPLACE	3	\$0	\$0	\$30,155	\$0
1531	WIDO-BB1000-001	Identification - Sanitary	\$6,132			\$0	\$0	\$6,745	\$0
1532	WIDO-BB1000-001CA1	Provide Identification for waste piping	\$6,132	UPGRADE	3	\$0	\$0	\$6,745	\$0
1536	SE00-BB1000-001	Sewage Ejector Pump	\$1,465			\$0	\$0	\$1,612	\$0
1537	SE00-BB1000-001CA1	EoLC - Replace the Sewage Ejector Pump at end of life	\$1,465	REPLACE	3	\$0	\$0	\$1,612	\$0
1539	SE00-BB1000-002	Sewage Ejector Pump	\$1,928			\$1,696	\$0	\$254	\$0
1540	SE00-BB1000-002CA1	EoLC - Replace the Sewage Ejector Pump at end of life	\$231	REPLACE	3	\$0	\$0	\$254	\$0
1542	SE00-BB1000-002CA1	EoLC - Replace the Sewage Ejector Pump at end of life	\$1,696	REPLACE	1	\$1,696	\$0	\$0	\$0
1547	RWPF-B01000-001	Pipe and Fittings	\$77,266			\$0	\$0	\$84,993	\$0
1548	RWPF-B01000-001CA1	EoLC - Replace the piping and fittings at end of life	\$77,266	REPLACE	3	\$0	\$0	\$84,993	\$0
1552	SP00-BB1000-001	Storm Drainage Pipe	\$1,234			\$0	\$1,283	\$0	\$0
1553	SP00-BB1000-001CA1	EoLC - Replace sump pump.	\$1,234	REPLACE	2	\$0	\$1,283	\$0	\$0
1557	RWID-BB1000-001	Identification - Rain	\$6,132			\$0	\$0	\$6,745	\$0
1558	RWID-BB1000-001CA1	Provide Identification for storm piping	\$6,132	UPGRADE	3	\$0	\$0	\$6,745	\$0
1563	GREG-B01000-001	Other Special Plumbing Systems	\$173			\$0	\$180	\$0	\$0
1564	GREG-B01000-001CA1	Remove Gas Regulator	\$173	REMOVE	2	\$0	\$180	\$0	\$0
1566	GREG-BB1000-002	Other Special Plumbing Systems	\$173			\$0	\$180	\$0	\$0
1567	GREG-BB1000-002CA1	Remove Gas Regulator	\$173	REMOVE	2	\$0	\$180	\$0	\$0
1569	D30	HVAC	\$6,017,124			\$535,044	\$967,563	\$3,008,229	\$2,325,731
1572	BHWO-BB1000-001	Hot Water Boilers	\$1,804			\$1,804	\$0	\$0	\$0
1573	BHWO-BB1000-001CA1	Commission hot water boilers	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
1575	BHWO-BB1000-002	Hot Water Boilers	\$1,804			\$1,804	\$0	\$0	\$0
1576	BHWO-BB1000-002CA1	Commission hot water boilers	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
1580	CHWO-BB1000-001	Chillers	\$169,646			\$0	\$0	\$186,611	\$0
1581	CHWO-BB1000-001CA1	EoLC - Replace chiller.	\$169,646	REPLACE	3	\$0	\$0	\$186,611	\$0
1583	CHWO-BB1000-002	Chillers	\$169,646			\$0	\$0	\$186,611	\$0
1584	CHWO-BB1000-002CA1	EoLC - Replace chiller.	\$169,646	REPLACE	3	\$0	\$0	\$186,611	\$0
1586	CHWO-BB1000-003	Chillers	\$2,190			\$2,190	\$0	\$0	\$0
1587	CHWO-BB1000-003CA1	Remove abandoned domestic chilled water chiller.	\$2,190	REMOVE	1	\$2,190	\$0	\$0	\$0
1590	CWPO-BB1000-001	Condenser Water Pumps	\$6,107			\$0	\$6,352	\$0	\$0
1591	CWPO-BB1000-001CA1	EoLC - Replace condenser water pump.	\$6,107	REPLACE	2	\$0	\$6,352	\$0	\$0
1593	CWPO-BB1000-002	Condenser Water Pumps	\$6,107			\$0	\$6,352	\$0	\$0
1594	CWPO-BB1000-002CA1	EoLC - Replace condenser water pump.	\$6,107	REPLACE	2	\$0	\$6,352	\$0	\$0
1597	CLWT-BB1000-001	Closed Loop Water Treatment	\$1,496			\$1,496	\$0	\$0	\$0
1598	CLWT-BB1000-001CA1	EoLC - Replace shot feeder.	\$1,496	REPLACE	1	\$1,496	\$0	\$0	\$0
1602	CWPF-BB1000-001	Condenser Water Pipe & Fittings	\$67,809			\$0	\$0	\$74,590	\$0
1603	CWPF-BB1000-001CA1	EoLC - Replace condenser water piping.	\$67,809	REPLACE	3	\$0	\$0	\$74,590	\$0
1606	CWPF-BPH000-001	Condenser Water Pipe & Fittings	\$4,073			\$0	\$0	\$4,481	\$0
1607	CWPF-BPH000-001CA1	EoLC - Replace condenser water piping.	\$4,073	REPLACE	3	\$0	\$0	\$4,481	\$0
1611	CT00-BPH000-001	Cooling Towers	\$242,614			\$11,278	\$0	\$254,470	\$0
1612	CT00-BPH000-001CA1	Repair cooling tower motor.	\$11,278	REPAIR	1	\$11,278	\$0	\$0	\$0
1614	CT00-BPH000-001CA2	EoLC - Replace cooling tower.	\$231,336	REPLACE	3	\$0	\$0	\$254,470	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
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Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE 1	1-2 YEARS 2	3-5 YEARS 3	6-10 YEARS 4
1616	CT00-BPH000-002	Cooling Towers	\$242,614			\$11,278	\$0	\$254,470	\$0
1617	CT00-BPH000-002CA1	Repair cooling tower motor.	\$11,278	REPAIR	1	\$11,278	\$0	\$0	\$0
1619	CT00-BPH000-002CA2	EoLC - Replace cooling tower.	\$231,336	REPLACE	3	\$0	\$0	\$254,470	\$0
1623	DUCT-B01000-001	Ductwork and Fittings	\$101,947			\$0	\$106,025	\$0	\$0
1624	DUCT-B01000-001CA1	Insulate supply ductwork.	\$44,938	UPGRADE	2	\$0	\$46,735	\$0	\$0
1626	DUCT-B01000-001CA2	Replace all flex ductwork between duct main and fan	\$57,009	UPGRADE	2	\$0	\$59,290	\$0	\$0
1628	DUCT-B02000-001	Ductwork and Fittings	\$93,455			\$0	\$97,194	\$0	\$0
1629	DUCT-B02000-001CA1	Insulate supply ductwork.	\$39,669	UPGRADE	2	\$0	\$41,256	\$0	\$0
1631	DUCT-B02000-001CA2	Replace all flex ductwork between duct main and fan	\$53,786	UPGRADE	2	\$0	\$55,938	\$0	\$0
1633	DUCT-B03000-001	Ductwork and Fittings	\$93,455			\$0	\$97,194	\$0	\$0
1634	DUCT-B03000-001CA1	Insulate supply ductwork.	\$39,669	UPGRADE	2	\$0	\$41,256	\$0	\$0
1636	DUCT-B03000-001CA2	Replace all flex ductwork between duct main and fan	\$53,786	UPGRADE	2	\$0	\$55,938	\$0	\$0
1638	DUCT-BB1000-001	Ductwork and Fittings	\$54,443			\$0	\$56,621	\$0	\$0
1639	DUCT-BB1000-001CA1	Insulate supply ductwork.	\$46,023	UPGRADE	2	\$0	\$47,864	\$0	\$0
1641	DUCT-BB1000-001CA2	Patch and repair ductwork.	\$8,421	REPAIR	2	\$0	\$8,757	\$0	\$0
1643	DUCT-BB1SAH-S01	Ductwork and Fittings	\$33,929			\$0	\$35,286	\$0	\$0
1644	DUCT-BB1SAH-S01CA1	EoLC - Replace tamper-proof ductwork.	\$33,929	REPLACE	2	\$0	\$35,286	\$0	\$0
1646	DUCT-BPH000-001	Ductwork and Fittings	\$27,481			\$0	\$28,580	\$0	\$0
1647	DUCT-BPH000-001CA1	Insulate supply ductwork.	\$19,060	UPGRADE	2	\$0	\$19,822	\$0	\$0
1649	DUCT-BPH000-001CA2	Patch and repair ductwork.	\$8,421	REPAIR	2	\$0	\$8,757	\$0	\$0
1652	GRD0-B01000-001	Grilles and Diffusers	\$20,062			\$2,789	\$0	\$19,000	\$0
1653	GRD0-B01000-001CA1	Clean all diffusers.	\$2,789	UPGRADE	1	\$2,789	\$0	\$0	\$0
1655	GRD0-B01000-001CA2	EoLC - Replace diffusers	\$17,273	REPLACE	3	\$0	\$0	\$19,000	\$0
1657	GRD0-B02000-001	Grilles and Diffusers	\$20,062			\$2,789	\$0	\$19,000	\$0
1658	GRD0-B02000-001CA1	Clean all diffusers	\$2,789	UPGRADE	1	\$2,789	\$0	\$0	\$0
1660	GRD0-B02000-001CA2	EoLC - Replace diffusers	\$17,273	REPLACE	3	\$0	\$0	\$19,000	\$0
1662	GRD0-B03000-001	Grilles and Diffusers	\$32,154			\$2,789	\$0	\$32,301	\$0
1663	GRD0-B03000-001CA1	Clean all diffusers	\$2,789	UPGRADE	1	\$2,789	\$0	\$0	\$0
1665	GRD0-B03000-001CA2	EoLC - Replace diffusers	\$14,682	REPLACE	3	\$0	\$0	\$16,150	\$0
1667	GRD0-B03000-001CA3	EoLC - Replace diffusers	\$14,682	REPLACE	3	\$0	\$0	\$16,150	\$0
1669	GRD0-BB1000-001	Grilles and Diffusers	\$24,381			\$2,789	\$0	\$23,750	\$0
1670	GRD0-BB1000-001CA1	Clean all diffusers	\$2,789	UPGRADE	1	\$2,789	\$0	\$0	\$0
1672	GRD0-BB1000-001CA2	Replace diffusers	\$21,591	REPLACE	3	\$0	\$0	\$23,750	\$0
1674	GRD0-BB1SAH-001	Grilles and Diffusers	\$8,748			\$2,789	\$0	\$6,555	\$0
1675	GRD0-BB1SAH-001CA1	Clean all diffusers	\$2,789	UPGRADE	1	\$2,789	\$0	\$0	\$0
1677	GRD0-BB1SAH-001CA2	EoLC - Replace diffusers	\$5,959	REPLACE	3	\$0	\$0	\$6,555	\$0
1680	HUM0-BB1000-001	Humidifiers	\$4,565			\$0	\$4,748	\$0	\$0
1681	HUM0-BB1000-001CA1	EoLC - Replace AHU humidifier.	\$4,565	REPLACE	2	\$0	\$4,748	\$0	\$0
1683	HUM0-BPH000-001	Humidifiers	\$4,565			\$0	\$4,748	\$0	\$0
1684	HUM0-BPH000-001CA1	EoLC - Replace AHU humidifier.	\$4,565	REPLACE	2	\$0	\$4,748	\$0	\$0
1686	HUM0-BPH000-002	Humidifiers	\$4,565			\$0	\$4,748	\$0	\$0
1687	HUM0-BPH000-002CA1	EoLC - Replace AHU humidifier.	\$4,565	REPLACE	2	\$0	\$4,748	\$0	\$0
1690	STPF-B01000-001	Steam Pipe and Fittings	\$38,844			\$0	\$0	\$0	\$49,721
1691	STPF-B01000-001CA1	EoLC - Replace steam pipe and steam PRV	\$38,844	REPLACE	4	\$0	\$0	\$0	\$49,721
1694	STTO-B01000-001	Steam Traps	\$38,710			\$0	\$0	\$0	\$49,549
1695	STTO-B01000-001CA1	Add Steam trap monitoring system	\$30,074	REPLACE	4	\$0	\$0	\$0	\$38,494
1697	STTO-B01000-001CA2	EoLC - Replace Steam Traps	\$8,637	REPLACE	4	\$0	\$0	\$0	\$11,055
1700	STCP-BB1000-001	Steam Condensate Pump	\$12,107			\$0	\$12,591	\$0	\$0
1701	STCP-BB1000-001CA1	EoLC - Replace steam condensate pump and associate	\$12,107	REPLACE	2	\$0	\$12,591	\$0	\$0
1704	STIN-B01000-001	Steam Pipe Insulation	\$21,823			\$0	\$0	\$0	\$27,933
1705	STIN-B01000-001CA1	EoLC - Replace/add steam pipe insulation	\$21,823	REPLACE	4	\$0	\$0	\$0	\$27,933
1708	STID-B01000-001	Steam Pipe Identification	\$10,086			\$0	\$0	\$0	\$12,910
1709	STID-B01000-001CA1	Provide steam pipe identification	\$10,086	UPGRADE	4	\$0	\$0	\$0	\$12,910
1712	STMG-B01000-001	Steam Pipe Meters, Manual Valves, Gauges	\$38,844			\$38,844	\$0	\$0	\$0
1713	STMG-B01000-001CA1	EoLC - Replace Steam pipe meters, manual valves, and	\$38,844	REPLACE	1	\$38,844	\$0	\$0	\$0
1716	HX00-BB1000-001	Heat Exchangers	\$11,567			\$0	\$0	\$0	\$14,806
1717	HX00-BB1000-001CA1	Replace Shell and Tube heat exchanger	\$11,567	REPLACE	4	\$0	\$0	\$0	\$14,806
1720	HWPO-BB1000-001	Heating Hot Water Pump	\$46,488			\$0	\$0	\$51,136	\$0
1721	HWPO-BB1000-001CA1	Add VFDs to Primary Hot Water Pumps	\$46,488	UPGRADE	3	\$0	\$0	\$51,136	\$0
1723	HWPO-BB1000-002	Heating Hot Water Pump	\$46,488			\$0	\$0	\$51,136	\$0
1724	HWPO-BB1000-002CA1	Add VFDs to Primary Hot Water Pumps	\$46,488	UPGRADE	3	\$0	\$0	\$51,136	\$0
1727	CHWP-BB1000-001	Chilled Water Pumps	\$10,765			\$0	\$11,195	\$0	\$0
1728	CHWP-BB1000-001CA1	EoLC - Replace primary chilled water pump.	\$10,765	REPLACE	2	\$0	\$11,195	\$0	\$0
1730	CHWP-BB1000-002	Chilled Water Pumps	\$10,626			\$0	\$11,051	\$0	\$0
1731	CHWP-BB1000-002CA1	EoLC - Replace primary chilled water pump.	\$10,626	REPLACE	2	\$0	\$11,051	\$0	\$0
1733	CHWP-BB1000-003	Chilled Water Pumps	\$106,245			\$0	\$0	\$0	\$135,993
1734	CHWP-BB1000-003CA1	EoLC - Replace secondary chilled water pump.	\$106,245	REPLACE	4	\$0	\$0	\$0	\$135,993
1736	CHWP-BB1000-004	Chilled Water Pumps	\$11,567			\$0	\$0	\$0	\$14,806
1737	CHWP-BB1000-004CA1	EoLC - Replace secondary chilled water pump.	\$11,567	REPLACE	4	\$0	\$0	\$0	\$14,806
1739	CHWP-BB1000-005	Chilled Water Pumps	\$1,124			\$1,124	\$0	\$0	\$0
1740	CHWP-BB1000-005CA1	Remove abandoned domestic chilled water circulation	\$1,124	REMOVE	1	\$1,124	\$0	\$0	\$0
1743	EF00-BB1000-001	Exhaust Fans	\$3,239			\$0	\$0	\$0	\$4,146
1744	EF00-BB1000-001CA1	EoLC - Replace Exhaust Fan	\$3,239	REPLACE	4	\$0	\$0	\$0	\$4,146
1746	EF00-BB1000-003	Exhaust Fans	\$3,239			\$0	\$0	\$3,563	\$0
1747	EF00-BB1000-003CA1	EoLC - Replace Exhaust Fan	\$3,239	REPLACE	3	\$0	\$0	\$3,563	\$0
1749	EF00-BB1000-004	Exhaust Fans	\$3,239			\$3,239	\$0	\$0	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE 1	1-2 YEARS 2	3-5 YEARS 3	6-10 YEARS 4
1750	EF00-BB1000-004CA1	EoLC - Replace Exhaust Fan and ductwork	\$3,239	REPLACE	1	\$3,239	\$0	\$0	\$0
1752	EF00-BPH000-001	Exhaust Fans	\$6,477			\$0	\$0	\$0	\$8,291
1753	EF00-BPH000-001CA1	EoLC - Replace Exhaust Fan	\$3,239	REPLACE	4	\$0	\$0	\$0	\$4,146
1755	EF00-BPH000-001CA2	EoLC - Replace exhaust fan at end of life.	\$3,239	REPLACE	4	\$0	\$0	\$0	\$4,146
1757	EF00-BPH000-002	Exhaust Fans	\$3,239			\$0	\$0	\$0	\$4,146
1758	EF00-BPH000-002CA1	EoLC - Replace Exhaust Fan	\$3,239	REPLACE	4	\$0	\$0	\$0	\$4,146
1760	EF00-BPH000-003	Exhaust Fans	\$3,239			\$0	\$0	\$0	\$4,146
1761	EF00-BPH000-003CA1	EoLC - Replace Exhaust Fan	\$3,239	REPLACE	4	\$0	\$0	\$0	\$4,146
1763	EF00-BR1000-001	Exhaust Fans	\$3,239			\$0	\$0	\$0	\$4,146
1764	EF00-BR1000-001CA1	EoLC - Replace Exhaust Fan	\$3,239	REPLACE	4	\$0	\$0	\$0	\$4,146
1766	EF00-BR1000-002	Exhaust Fans	\$3,239			\$0	\$0	\$0	\$4,146
1767	EF00-BR1000-002CA1	EoLC - Replace Exhaust Fan	\$3,239	REPLACE	4	\$0	\$0	\$0	\$4,146
1769	EF00-BR1000-003	Exhaust Fans	\$3,239			\$0	\$0	\$0	\$4,146
1770	EF00-BR1000-003CA1	EoLC - Replace Exhaust Fan	\$3,239	REPLACE	4	\$0	\$0	\$0	\$4,146
1773	AHU0-BB1000-002	Air Handling Units	\$1,162			\$0	\$0	\$1,278	\$0
1774	AHU0-BB1000-002CA1	Install VFD on air handling unit.	\$1,162	UPGRADE	3	\$0	\$0	\$1,278	\$0
1777	DWHS-BB1SAH-S01	Ductwork Hangers & Supports	\$23,442			\$0	\$24,380	\$0	\$0
1778	DWHS-BB1SAH-S01CA1	Replace tamper-proof duct hangers and supports.	\$23,442	REPLACE	2	\$0	\$24,380	\$0	\$0
1781	DUIJ-BB1000-001	Ductwork Insulation	\$25,262			\$0	\$0	\$27,788	\$0
1782	DUIJ-BB1000-001CA1	Repair ductwork insulation.	\$25,262	REPAIR	3	\$0	\$0	\$27,788	\$0
1784	DUIJ-BB1SAH-S01	Ductwork Insulation	\$9,485			\$0	\$9,864	\$0	\$0
1785	DUIJ-BB1SAH-S01CA1	Replace ductwork insulation in tamper-proof duct system.	\$9,485	REPLACE	2	\$0	\$9,864	\$0	\$0
1788	DUAC-BB1SAH-S01	Ductwork Accessories	\$9,485			\$0	\$9,864	\$0	\$0
1789	DUAC-BB1SAH-S01CA1	Replace ductwork accessories in tamper-proof duct system.	\$9,485	REPLACE	2	\$0	\$9,864	\$0	\$0
1793	UH00-BB1000-002	Unit Heaters	\$8,174			\$0	\$0	\$0	\$10,463
1794	UH00-BB1000-002CA1	Replace unit heater at end of life	\$8,174	REPLACE	4	\$0	\$0	\$0	\$10,463
1797	FTR0-B01000-001	Fin Tube Radiation	\$8,745			\$1,804	\$0	\$0	\$8,883
1798	FTR0-B01000-001CA1	Fix damaged casing	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
1800	FTR0-B01000-001CA2	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1802	FTR0-B01000-002	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1803	FTR0-B01000-002CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1805	FTR0-B01000-003	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1806	FTR0-B01000-003CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1808	FTR0-B01000-004	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1809	FTR0-B01000-004CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1811	FTR0-B01000-005	Fin Tube Radiation	\$6,767			\$6,767	\$0	\$0	\$0
1812	FTR0-B01000-005CA1	Provide missing connection cap.	\$6,767	REPAIR	1	\$6,767	\$0	\$0	\$0
1814	FTR0-B01000-006	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1815	FTR0-B01000-006CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1817	FTR0-B01000-007	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1818	FTR0-B01000-007CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1820	FTR0-B01000-008	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1821	FTR0-B01000-008CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1823	FTR0-B01000-009	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1824	FTR0-B01000-009CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1826	FTR0-B01000-010	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1827	FTR0-B01000-010CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1829	FTR0-B01000-011	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1830	FTR0-B01000-011CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1832	FTR0-B01000-012	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1833	FTR0-B01000-012CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1835	FTR0-B01000-013	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1836	FTR0-B01000-013CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1838	FTR0-B01000-014	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1839	FTR0-B01000-014CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1841	FTR0-B01000-015	Fin Tube Radiation	\$8,745			\$0	\$0	\$0	\$11,193
1842	FTR0-B01000-015CA1	Fix access cover	\$1,804	REPAIR	4	\$0	\$0	\$0	\$2,310
1844	FTR0-B01000-015CA2	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1846	FTR0-B01000-016	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1847	FTR0-B01000-016CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1849	FTR0-B01000-017	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1850	FTR0-B01000-017CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1852	FTR0-B01000-018	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1853	FTR0-B01000-018CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1855	FTR0-B01000-019	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1856	FTR0-B01000-019CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1858	FTR0-B01000-020	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1859	FTR0-B01000-020CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1861	FTR0-B01000-021	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1862	FTR0-B01000-021CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1864	FTR0-B01000-022	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1865	FTR0-B01000-022CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1867	FTR0-B01000-023	Fin Tube Radiation	\$694			\$0	\$0	\$0	\$888
1868	FTR0-B01000-023CA1	EoLC - Replace the fin tube radiator at end of life	\$694	REPLACE	4	\$0	\$0	\$0	\$888
1870	FTR0-B01000-024	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1871	FTR0-B01000-024CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE 1	1-2 YEARS 2	3-5 YEARS 3	6-10 YEARS 4
1987	FTR0-B02000-006	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1988	FTR0-B02000-006CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1990	FTR0-B02000-007	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1991	FTR0-B02000-007CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1993	FTR0-B02000-008	Fin Tube Radiation	\$8,745			\$1,804	\$0	\$0	\$8,883
1994	FTR0-B02000-008CA1	Provide cleaning.	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
1996	FTR0-B02000-008CA2	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
1998	FTR0-B02000-009	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
1999	FTR0-B02000-009CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2001	FTR0-B02000-010	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2002	FTR0-B02000-010CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2004	FTR0-B02000-011	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2005	FTR0-B02000-011CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2007	FTR0-B02000-012	Fin Tube Radiation	\$6,940			\$0	\$7,218	\$0	\$0
2008	FTR0-B02000-012CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	2	\$0	\$7,218	\$0	\$0
2010	FTR0-B02000-013	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2011	FTR0-B02000-013CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2013	FTR0-B02000-014	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2014	FTR0-B02000-014CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2016	FTR0-B02000-015	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2017	FTR0-B02000-015CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2019	FTR0-B02000-016	Fin Tube Radiation	\$6,940			\$6,940	\$0	\$0	\$0
2020	FTR0-B02000-016CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	1	\$6,940	\$0	\$0	\$0
2022	FTR0-B02000-017	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2023	FTR0-B02000-017CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2025	FTR0-B02000-018	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2026	FTR0-B02000-018CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2028	FTR0-B02000-019	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2029	FTR0-B02000-019CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2031	FTR0-B02000-020	Fin Tube Radiation	\$6,940			\$6,940	\$0	\$0	\$0
2032	FTR0-B02000-020CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	1	\$6,940	\$0	\$0	\$0
2034	FTR0-B02000-021	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2035	FTR0-B02000-021CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2037	FTR0-B02000-022	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2038	FTR0-B02000-022CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2040	FTR0-B02000-023	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2041	FTR0-B02000-023CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2043	FTR0-B02000-024	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2044	FTR0-B02000-024CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2046	FTR0-B02000-025	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2047	FTR0-B02000-025CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2049	FTR0-B02000-026	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2050	FTR0-B02000-026CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2052	FTR0-B02000-027	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2053	FTR0-B02000-027CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2055	FTR0-B02000-028	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2056	FTR0-B02000-028CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2058	FTR0-B02000-029	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2059	FTR0-B02000-029CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2061	FTR0-B02000-030	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2062	FTR0-B02000-030CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2064	FTR0-B02000-031	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2065	FTR0-B02000-031CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2067	FTR0-B02000-032	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2068	FTR0-B02000-032CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2070	FTR0-B02000-033	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2071	FTR0-B02000-033CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2073	FTR0-B02000-034	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2074	FTR0-B02000-034CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2076	FTR0-B02000-035	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2077	FTR0-B02000-035CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2079	FTR0-B02000-036	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2080	FTR0-B02000-036CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2082	FTR0-B02000-037	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2083	FTR0-B02000-037CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2085	FTR0-B02000-038	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2086	FTR0-B02000-038CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2088	FTR0-B02000-039	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2089	FTR0-B02000-039CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2091	FTR0-B02000-040	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2092	FTR0-B02000-040CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2094	FTR0-B02000-041	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2095	FTR0-B02000-041CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2097	FTR0-B02000-042	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2098	FTR0-B02000-042CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2100	FTR0-B02000-043	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE 1	1-2 YEARS 2	3-5 YEARS 3	6-10 YEARS 4
2101	FTR0-B02000-043CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2103	FTR0-B02000-044	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2104	FTR0-B02000-044CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2106	FTR0-B02000-045	Fin Tube Radiation	\$6,940			\$6,940	\$0	\$0	\$0
2107	FTR0-B02000-045CA1	EoLC - Replace and convert the fin tube radiator from steam	\$6,940	REPLACE	1	\$6,940	\$0	\$0	\$0
2109	FTR0-B02000-046	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2110	FTR0-B02000-046CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2112	FTR0-B02000-047	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2113	FTR0-B02000-047CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2115	FTR0-B02000-048	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2116	FTR0-B02000-048CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2118	FTR0-B02000-049	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2119	FTR0-B02000-049CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2121	FTR0-B02000-050	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2122	FTR0-B02000-050CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2124	FTR0-B02000-051	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2125	FTR0-B02000-051CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2127	FTR0-B02000-052	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2128	FTR0-B02000-052CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2130	FTR0-B02000-053	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2131	FTR0-B02000-053CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2133	FTR0-B02000-054	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2134	FTR0-B02000-054CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2136	FTR0-B02000-055	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2137	FTR0-B02000-055CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2139	FTR0-B02000-056	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2140	FTR0-B02000-056CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2142	FTR0-B02000-057	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2143	FTR0-B02000-057CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2145	FTR0-B02000-058	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2146	FTR0-B02000-058CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2148	FTR0-B03000-001	Fin Tube Radiation	\$6,940			\$6,940	\$0	\$0	\$0
2149	FTR0-B03000-001CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	1	\$6,940	\$0	\$0	\$0
2151	FTR0-B03000-002	Fin Tube Radiation	\$6,940			\$6,940	\$0	\$0	\$0
2152	FTR0-B03000-002CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	1	\$6,940	\$0	\$0	\$0
2154	FTR0-B03000-003	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2155	FTR0-B03000-003CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2157	FTR0-B03000-004	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2158	FTR0-B03000-004CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2160	FTR0-B03000-005	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2161	FTR0-B03000-005CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2163	FTR0-B03000-006	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2164	FTR0-B03000-006CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2166	FTR0-B03000-007	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2167	FTR0-B03000-007CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2169	FTR0-B03000-008	Fin Tube Radiation	\$8,745			\$1,804	\$0	\$0	\$8,883
2170	FTR0-B03000-008CA1	Fix noise issue	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2172	FTR0-B03000-008CA2	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2174	FTR0-B03000-009	Fin Tube Radiation	\$10,549			\$3,609	\$0	\$0	\$8,883
2175	FTR0-B03000-009CA1	Clean and maintain !	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2177	FTR0-B03000-009CA2	Maintain and provide clearance	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2179	FTR0-B03000-009CA3	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2181	FTR0-B03000-011	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2182	FTR0-B03000-011CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2184	FTR0-B03000-012	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2185	FTR0-B03000-012CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2187	FTR0-B03000-013	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2188	FTR0-B03000-013CA1	Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2190	FTR0-B03000-014	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2191	FTR0-B03000-014CA1	Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2193	FTR0-B03000-015	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2194	FTR0-B03000-015CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2196	FTR0-B03000-016	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2197	FTR0-B03000-016CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2199	FTR0-B03000-017	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2200	FTR0-B03000-017CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2202	FTR0-B03000-018	Fin Tube Radiation	\$8,745			\$1,804	\$0	\$0	\$8,883
2203	FTR0-B03000-018CA1	Clean and maintain !	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2205	FTR0-B03000-018CA2	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2207	FTR0-B03000-019	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2208	FTR0-B03000-019CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2210	FTR0-B03000-020	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2211	FTR0-B03000-020CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2213	FTR0-B03000-021	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2214	FTR0-B03000-021CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2216	FTR0-B03000-022	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE 1	1-2 YEARS 2	3-5 YEARS 3	6-10 YEARS 4
2217	FTR0-B03000-022CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2219	FTR0-B03000-023	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2220	FTR0-B03000-023CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2222	FTR0-B03000-024	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2223	FTR0-B03000-024CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2225	FTR0-B03000-025	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2226	FTR0-B03000-025CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2228	FTR0-B03000-026	Fin Tube Radiation	\$6,940			\$6,940	\$0	\$0	\$0
2229	FTR0-B03000-026CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	1	\$6,940	\$0	\$0	\$0
2231	FTR0-B03000-027	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2232	FTR0-B03000-027CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2234	FTR0-B03000-028	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2235	FTR0-B03000-028CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2237	FTR0-B03000-029	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2238	FTR0-B03000-029CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2240	FTR0-B03000-030	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2241	FTR0-B03000-030CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2243	FTR0-B03000-031	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2244	FTR0-B03000-031CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2246	FTR0-B03000-032	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2247	FTR0-B03000-032CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2249	FTR0-B03000-033	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2250	FTR0-B03000-033CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2252	FTR0-B03000-034	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2253	FTR0-B03000-034CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2255	FTR0-B03000-035	Fin Tube Radiation	\$8,745			\$1,804	\$0	\$0	\$8,883
2256	FTR0-B03000-035CA1	Clean and maintain !	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2258	FTR0-B03000-035CA2	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2260	FTR0-B03000-036	Fin Tube Radiation	\$8,791			\$0	\$1,925	\$0	\$8,883
2261	FTR0-B03000-036CA1	Maintenance and cleaning required	\$1,851	REPLACE	2	\$0	\$1,925	\$0	\$0
2263	FTR0-B03000-036CA2	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2265	FTR0-B03000-037	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2266	FTR0-B03000-037CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2268	FTR0-B03000-038	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2269	FTR0-B03000-038CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2271	FTR0-B03000-039	Fin Tube Radiation	\$8,745			\$1,804	\$0	\$0	\$8,883
2272	FTR0-B03000-039CA1	Clean and maintain !	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2274	FTR0-B03000-039CA2	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2276	FTR0-B03000-040	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2277	FTR0-B03000-040CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2279	FTR0-B03000-041	Fin Tube Radiation	\$8,745			\$1,804	\$0	\$0	\$8,883
2280	FTR0-B03000-041CA1	Clean and maintain !	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2282	FTR0-B03000-041CA2	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2284	FTR0-B03000-042	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2285	FTR0-B03000-042CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2287	FTR0-B03000-043	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2288	FTR0-B03000-043CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2290	FTR0-B03000-044	Fin Tube Radiation	\$8,745			\$1,804	\$0	\$0	\$8,883
2291	FTR0-B03000-044CA1	Maintenance and cleaning required	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2293	FTR0-B03000-044CA2	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2295	FTR0-B03000-045	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2296	FTR0-B03000-045CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2298	FTR0-B03000-046	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2299	FTR0-B03000-046CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2301	FTR0-B03000-047	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2302	FTR0-B03000-047CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2304	FTR0-B03000-048	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2305	FTR0-B03000-048CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2307	FTR0-B03000-049	Fin Tube Radiation	\$9,652			\$0	\$2,820	\$0	\$8,883
2308	FTR0-B03000-049CA1	Add a new control valve	\$2,712	UPGRADE	2	\$0	\$2,820	\$0	\$0
2310	FTR0-B03000-049CA2	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2312	FTR0-B03000-050	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2313	FTR0-B03000-050CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2315	FTR0-B03000-051	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2316	FTR0-B03000-051CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2318	FTR0-B03000-052	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2319	FTR0-B03000-052CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2321	FTR0-B03000-053	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2322	FTR0-B03000-053CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2324	FTR0-B03000-054	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2325	FTR0-B03000-054CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2327	FTR0-B03000-055	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2328	FTR0-B03000-055CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2330	FTR0-B03000-056	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2331	FTR0-B03000-056CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2333	FTR0-B03000-057	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE 1	1-2 YEARS 2	3-5 YEARS 3	6-10 YEARS 4
2334	FTR0-B03000-057CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2336	FTR0-B03000-058	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2337	FTR0-B03000-058CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2339	FTR0-B03000-059	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2340	FTR0-B03000-059CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2342	FTR0-B03000-060	Fin Tube Radiation	\$6,940			\$0	\$0	\$0	\$8,883
2343	FTR0-B03000-060CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	4	\$0	\$0	\$0	\$8,883
2345	FTR0-BB1000-001	Fin Tube Radiation	\$6,940			\$6,940	\$0	\$0	\$0
2346	FTR0-BB1000-001CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	1	\$6,940	\$0	\$0	\$0
2348	FTR0-BPH000-001	Fin Tube Radiation	\$6,940			\$6,940	\$0	\$0	\$0
2349	FTR0-BPH000-001CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	1	\$6,940	\$0	\$0	\$0
2351	FTR0-BPH000-002	Fin Tube Radiation	\$6,940			\$6,940	\$0	\$0	\$0
2352	FTR0-BPH000-002CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	1	\$6,940	\$0	\$0	\$0
2354	FTR0-BPH000-003	Fin Tube Radiation	\$6,940			\$6,940	\$0	\$0	\$0
2355	FTR0-BPH000-003CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	1	\$6,940	\$0	\$0	\$0
2357	FTR0-BPH000-004	Fin Tube Radiation	\$6,940			\$6,940	\$0	\$0	\$0
2358	FTR0-BPH000-004CA1	EoLC - Replace the fin tube radiator at end of life	\$6,940	REPLACE	1	\$6,940	\$0	\$0	\$0
2361	PUID-B01000-001	Packaged Unit - Indoor	\$12,029			\$0	\$0	\$0	\$15,398
2362	PUID-B01000-001CA1	EoLC - Replace packaged indoor unit.	\$12,029	REPLACE	4	\$0	\$0	\$0	\$15,398
2364	PUID-B01000-002	Packaged Unit - Indoor	\$12,029			\$0	\$0	\$0	\$15,398
2365	PUID-B01000-002CA1	EoLC - Replace packaged indoor unit.	\$12,029	REPLACE	4	\$0	\$0	\$0	\$15,398
2367	PUID-B01000-003	Packaged Unit - Indoor	\$12,029			\$0	\$0	\$0	\$15,398
2368	PUID-B01000-003CA1	EoLC - Replace packaged indoor unit.	\$12,029	REPLACE	4	\$0	\$0	\$0	\$15,398
2370	PUID-B03000-001	Packaged Unit - Indoor	\$12,029			\$0	\$0	\$0	\$15,398
2371	PUID-B03000-001CA1	EoLC - Replace packaged indoor unit.	\$12,029	REPLACE	4	\$0	\$0	\$0	\$15,398
2373	PUID-B03000-002	Packaged Unit - Indoor	\$12,029			\$0	\$0	\$0	\$15,398
2374	PUID-B03000-002CA1	EoLC - Replace packaged indoor unit.	\$12,029	REPLACE	4	\$0	\$0	\$0	\$15,398
2376	PUID-BPH000-001	Packaged Unit - Indoor	\$12,029			\$0	\$0	\$0	\$15,398
2377	PUID-BPH000-001CA1	EoLC - Replace packaged indoor unit.	\$12,029	REPLACE	4	\$0	\$0	\$0	\$15,398
2379	PUID-BPH000-002	Packaged Unit - Indoor	\$12,029			\$0	\$0	\$0	\$15,398
2380	PUID-BPH000-002CA1	EoLC - Replace packaged indoor unit.	\$12,029	REPLACE	4	\$0	\$0	\$0	\$15,398
2382	PUID-BPH000-003	Packaged Unit - Indoor	\$12,029			\$0	\$0	\$0	\$15,398
2383	PUID-BPH000-003CA1	EoLC - Replace packaged indoor unit.	\$12,029	REPLACE	4	\$0	\$0	\$0	\$15,398
2386	PUOD-B00SNE-001	Packaged Unit - Outdoor	\$27,452			\$0	\$0	\$0	\$35,138
2387	PUOD-B00SNE-001CA1	EoLC - Replace packaged outdoor unit	\$27,452	REPLACE	4	\$0	\$0	\$0	\$35,138
2389	PUOD-B00SSW-001	Packaged Unit - Outdoor	\$27,452			\$0	\$0	\$0	\$35,138
2390	PUOD-B00SSW-001CA1	EoLC - Replace packaged outdoor unit	\$27,452	REPLACE	4	\$0	\$0	\$0	\$35,138
2392	PUOD-BB1000-001	Packaged Unit - Outdoor	\$27,452			\$0	\$0	\$0	\$35,138
2393	PUOD-BB1000-001CA1	EoLC - Replace packaged outdoor unit	\$27,452	REPLACE	4	\$0	\$0	\$0	\$35,138
2395	PUOD-BB1000-002	Packaged Unit - Outdoor	\$27,452			\$0	\$0	\$0	\$35,138
2396	PUOD-BB1000-002CA1	EoLC - Replace packaged outdoor unit	\$27,452	REPLACE	4	\$0	\$0	\$0	\$35,138
2398	PUOD-BPH000-001	Packaged Unit - Outdoor	\$27,452			\$0	\$0	\$0	\$35,138
2399	PUOD-BPH000-001CA1	EoLC - Replace packaged outdoor unit	\$27,452	REPLACE	4	\$0	\$0	\$0	\$35,138
2401	PUOD-BPH000-002	Packaged Unit - Outdoor	\$27,452			\$0	\$0	\$0	\$35,138
2402	PUOD-BPH000-002CA1	EoLC - Replace packaged outdoor unit	\$27,452	REPLACE	4	\$0	\$0	\$0	\$35,138
2404	PUOD-BPH000-003	Packaged Unit - Outdoor	\$27,452			\$0	\$0	\$0	\$35,138
2405	PUOD-BPH000-003CA1	EoLC - Replace packaged outdoor unit	\$27,452	REPLACE	4	\$0	\$0	\$0	\$35,138
2407	PUOD-BPH000-004	Packaged Unit - Outdoor	\$27,452			\$0	\$0	\$0	\$35,138
2408	PUOD-BPH000-004CA1	EoLC - Replace packaged outdoor unit	\$27,452	REPLACE	4	\$0	\$0	\$0	\$35,138
2410	PUOD-BPH000-005	Packaged Unit - Outdoor	\$27,452			\$0	\$0	\$0	\$35,138
2411	PUOD-BPH000-005CA1	EoLC - Replace packaged outdoor unit	\$27,452	REPLACE	4	\$0	\$0	\$0	\$35,138
2413	PUOD-BPH000-006	Packaged Unit - Outdoor	\$27,452			\$0	\$0	\$0	\$35,138
2414	PUOD-BPH000-006CA1	EoLC - Replace packaged outdoor unit	\$27,452	REPLACE	4	\$0	\$0	\$0	\$35,138
2417	FPBO-B01000-002	Fan Powered VAV Box	\$4,494			\$4,494	\$0	\$0	\$0
2418	FPBO-B01000-002CA1	Provide filter supports and replace filter	\$4,494	UPGRADE	1	\$4,494	\$0	\$0	\$0
2420	FPBO-B01000-003	Fan Powered VAV Box	\$4,494			\$4,494	\$0	\$0	\$0
2421	FPBO-B01000-003CA1	Provide filter supports and replace filter	\$4,494	UPGRADE	1	\$4,494	\$0	\$0	\$0
2423	FPBO-B01000-004	Fan Powered VAV Box	\$4,494			\$4,494	\$0	\$0	\$0
2424	FPBO-B01000-004CA1	Provide filter supports and replace filter	\$4,494	UPGRADE	1	\$4,494	\$0	\$0	\$0
2426	FPBO-B01000-005	Fan Powered VAV Box	\$4,494			\$4,494	\$0	\$0	\$0
2427	FPBO-B01000-005CA1	Provide filter supports and replace filter	\$4,494	UPGRADE	1	\$4,494	\$0	\$0	\$0
2429	FPBO-B01000-006	Fan Powered VAV Box	\$4,494			\$4,494	\$0	\$0	\$0
2430	FPBO-B01000-006CA1	Provide filter supports and replace filter	\$4,494	UPGRADE	1	\$4,494	\$0	\$0	\$0
2432	FPBO-B01000-007	Fan Powered VAV Box	\$4,494			\$4,494	\$0	\$0	\$0
2433	FPBO-B01000-007CA1	Provide filter supports and replace filter	\$4,494	UPGRADE	1	\$4,494	\$0	\$0	\$0
2435	FPBO-B01000-008	Fan Powered VAV Box	\$4,494			\$4,494	\$0	\$0	\$0
2436	FPBO-B01000-008CA1	Provide filter supports and replace filter	\$4,494	UPGRADE	1	\$4,494	\$0	\$0	\$0
2438	FPBO-B01000-009	Fan Powered VAV Box	\$4,494			\$4,494	\$0	\$0	\$0
2439	FPBO-B01000-009CA1	Provide filter supports and replace filter	\$4,494	UPGRADE	1	\$4,494	\$0	\$0	\$0
2441	FPBO-B01000-010	Fan Powered VAV Box	\$4,494			\$4,494	\$0	\$0	\$0
2442	FPBO-B01000-010CA1	Provide filter supports and replace filter	\$4,494	UPGRADE	1	\$4,494	\$0	\$0	\$0
2444	FPBO-B01000-011	Fan Powered VAV Box	\$4,494			\$4,494	\$0	\$0	\$0
2445	FPBO-B01000-011CA1	Provide filter supports and replace filter	\$4,494	UPGRADE	1	\$4,494	\$0	\$0	\$0
2447	FPBO-B01000-013	Fan Powered VAV Box	\$4,494			\$4,494	\$0	\$0	\$0
2448	FPBO-B01000-013CA1	Provide filter supports and replace filter	\$4,494	UPGRADE	1	\$4,494	\$0	\$0	\$0
2450	FPBO-B01000-014	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
2451	FPBO-B01000-014CA1	Provide a control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2453	FPBO-B01000-014CA2	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2455	FPBO-B01000-015	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2456	FPBO-B01000-015CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2458	FPBO-B01000-016	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2459	FPBO-B01000-016CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2461	FPBO-B01000-017	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2462	FPBO-B01000-017CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2464	FPBO-B01000-018	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2465	FPBO-B01000-018CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2467	FPBO-B01000-019	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2468	FPBO-B01000-019CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2470	FPBO-B01000-020	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2471	FPBO-B01000-020CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2473	FPBO-B01000-021	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2474	FPBO-B01000-021CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2476	FPBO-B01000-022	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2477	FPBO-B01000-022CA1	Provide a control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2479	FPBO-B01000-022CA2	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2481	FPBO-B01000-023	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2482	FPBO-B01000-023CA1	Provide a control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2484	FPBO-B01000-023CA2	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2486	FPBO-B01000-024	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2487	FPBO-B01000-024CA1	Provide a control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2489	FPBO-B01000-024CA2	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2491	FPBO-B01000-025	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2492	FPBO-B01000-025CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2494	FPBO-B01000-026	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2495	FPBO-B01000-026CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2497	FPBO-B01000-027	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2498	FPBO-B01000-027CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2500	FPBO-B01000-027CA2	Provide the control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2502	FPBO-B01000-028	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2503	FPBO-B01000-028CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2505	FPBO-B01000-029	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2506	FPBO-B01000-029CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2508	FPBO-B01000-030	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2509	FPBO-B01000-030CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2511	FPBO-B01000-031	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2512	FPBO-B01000-031CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2514	FPBO-B01000-032	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2515	FPBO-B01000-032CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2517	FPBO-B01000-033	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2518	FPBO-B01000-033CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2520	FPBO-B01000-034	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2521	FPBO-B01000-034CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2523	FPBO-B02000-001	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2524	FPBO-B02000-001CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2526	FPBO-B02000-002	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2527	FPBO-B02000-002CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2529	FPBO-B02000-003	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2530	FPBO-B02000-003CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2532	FPBO-B02000-004	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2533	FPBO-B02000-004CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2535	FPBO-B02000-005	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2536	FPBO-B02000-005CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2538	FPBO-B02000-006	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2539	FPBO-B02000-006CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2541	FPBO-B02000-007	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2542	FPBO-B02000-007CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2544	FPBO-B02000-007CA2	Shut down the FPB and close the damper	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2546	FPBO-B02000-008	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2547	FPBO-B02000-008CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2549	FPBO-B02000-008CA2	Shut down the FPB and close the damper	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2551	FPBO-B02000-009	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2552	FPBO-B02000-009CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2554	FPBO-B02000-010	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2555	FPBO-B02000-010CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2557	FPBO-B02000-011	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2558	FPBO-B02000-011CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2560	FPBO-B02000-012	Fan Powered VAV Box	\$4,818			\$4,818	\$0	\$0	\$0
2561	FPBO-B02000-012CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2563	FPBO-B02000-012CA2	Provide the control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2565	FPBO-B02000-012CA3	Provide the control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2567	FPBO-B02000-013	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2568	FPBO-B02000-013CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
2570	FPBO-B02000-014	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2571	FPBO-B02000-014CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2573	FPBO-B02000-014CA2	Shut down the FPB and close the damper	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2575	FPBO-B02000-015	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2576	FPBO-B02000-015CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2578	FPBO-B02000-016	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2579	FPBO-B02000-016CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2581	FPBO-B02000-017	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2582	FPBO-B02000-017CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2584	FPBO-B02000-018	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2585	FPBO-B02000-018CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2587	FPBO-B02000-019	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2588	FPBO-B02000-019CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2590	FPBO-B02000-019CA2	Shut down the FPB and close the damper	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2592	FPBO-B02000-020	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2593	FPBO-B02000-020CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2595	FPBO-B02000-021	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2596	FPBO-B02000-021CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2598	FPBO-B02000-022	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2599	FPBO-B02000-022CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2601	FPBO-B02000-023	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2602	FPBO-B02000-023CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2604	FPBO-B02000-024	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2605	FPBO-B02000-024CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2607	FPBO-B02000-024CA2	Reconnect the FPB inlet to the main supply duct	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2609	FPBO-B02000-025	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2610	FPBO-B02000-025CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2612	FPBO-B02000-026	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2613	FPBO-B02000-026CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2615	FPBO-B02000-027	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2616	FPBO-B02000-027CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2618	FPBO-B02000-027CA2	Provide the control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2620	FPBO-B02000-028	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2621	FPBO-B02000-028CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2623	FPBO-B02000-029	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2624	FPBO-B02000-029CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2626	FPBO-B02000-030	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2627	FPBO-B02000-030CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2629	FPBO-B02000-031	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2630	FPBO-B02000-031CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2632	FPBO-B02000-032	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2633	FPBO-B02000-032CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2635	FPBO-B03000-001	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2636	FPBO-B03000-001CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2638	FPBO-B03000-002	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2639	FPBO-B03000-002CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2641	FPBO-B03000-003	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2642	FPBO-B03000-003CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2644	FPBO-B03000-004	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2645	FPBO-B03000-004CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2647	FPBO-B03000-004CA2	Provide the control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2649	FPBO-B03000-005	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2650	FPBO-B03000-005CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2652	FPBO-B03000-005CA2	Provide the control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2654	FPBO-B03000-006	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2655	FPBO-B03000-006CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2657	FPBO-B03000-007	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2658	FPBO-B03000-007CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2660	FPBO-B03000-008	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2661	FPBO-B03000-008CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2663	FPBO-B03000-009	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2664	FPBO-B03000-009CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2666	FPBO-B03000-010	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2667	FPBO-B03000-010CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2669	FPBO-B03000-010CA2	Provide the control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2671	FPBO-B03000-011	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2672	FPBO-B03000-011CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2674	FPBO-B03000-012	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2675	FPBO-B03000-012CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2677	FPBO-B03000-013	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2678	FPBO-B03000-013CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2680	FPBO-B03000-014	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2681	FPBO-B03000-014CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2683	FPBO-B03000-015	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2684	FPBO-B03000-015CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2686	FPBO-B03000-016	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
2687	FPBO-B03000-016CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2689	FPBO-B03000-017	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2690	FPBO-B03000-017CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2692	FPBO-B03000-017CA2	Provide the control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2694	FPBO-B03000-018	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2695	FPBO-B03000-018CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2697	FPBO-B03000-018CA2	Provide the control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2699	FPBO-B03000-019	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2700	FPBO-B03000-019CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2702	FPBO-B03000-020	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2703	FPBO-B03000-020CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2705	FPBO-B03000-021	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2706	FPBO-B03000-021CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2708	FPBO-B03000-022	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2709	FPBO-B03000-022CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2711	FPBO-B03000-023	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2712	FPBO-B03000-023CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2714	FPBO-B03000-023CA2	Provide the control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2716	FPBO-B03000-024	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2717	FPBO-B03000-024CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2719	FPBO-B03000-025	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2720	FPBO-B03000-025CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2722	FPBO-B03000-026	Fan Powered VAV Box	\$3,013			\$3,013	\$0	\$0	\$0
2723	FPBO-B03000-026CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2725	FPBO-B03000-026CA2	Provide the control box cover	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2727	FPBO-B03000-027	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2728	FPBO-B03000-027CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2730	FPBO-B03000-028	Fan Powered VAV Box	\$1,209			\$1,209	\$0	\$0	\$0
2731	FPBO-B03000-028CA1	Provide filter supports and replace filter	\$1,209	UPGRADE	1	\$1,209	\$0	\$0	\$0
2735	DAMP-BPH000-001	Control Dampers	\$1,804			\$1,804	\$0	\$0	\$0
2736	DAMP-BPH000-001CA1	Repair control damper.	\$1,804	REPAIR	1	\$1,804	\$0	\$0	\$0
2739	IACP-BB1000-001	Instrument Air Compressors	\$1,729			\$1,729	\$0	\$0	\$0
2740	IACP-BB1000-001CA1	Remove abandoned instrument air compressor.	\$1,729	REMOVE	1	\$1,729	\$0	\$0	\$0
2742	IACP-BB1000-002	Instrument Air Compressors	\$1,729			\$1,729	\$0	\$0	\$0
2743	IACP-BB1000-002CA1	Remove abandoned instrument air compressor.	\$1,729	REMOVE	1	\$1,729	\$0	\$0	\$0
2746	DPS-BPH000-001	Dry Pipe	\$30,186			\$16,335	\$8,541	\$0	\$7,218
2747	DPS-BPH000-001CA1	Investigate sprinkler system corrosion. Document full extent	\$13,177	REPLACE	1	\$13,177	\$0	\$0	\$0
2749	DPS-BPH000-001CA2	Modify sprinkler system to provide proper drainage.	\$4,959	UPGRADE	2	\$0	\$5,157	\$0	\$0
2751	DPS-BPH000-001CA3	Provide access path to auxiliary drains valves.	\$3,254	UPGRADE	2	\$0	\$3,384	\$0	\$0
2753	DPS-BPH000-001CA4	Provide code-compliant sprinkler system drain connections.	\$5,639	REPAIR	4	\$0	\$0	\$0	\$7,218
2755	DPS-BPH000-001CA5	Repair air compressor oil leak.	\$3,158	REPAIR	1	\$3,158	\$0	\$0	\$0
2758	WPS-B01000-001	Wet Pipe	\$13,617			\$13,617	\$0	\$0	\$0
2759	WPS-B01000-001CA1	Investigate sprinkler system corrosion. Document full extent	\$13,617	REPAIR	1	\$13,617	\$0	\$0	\$0
2761	WPS-B02000-001	Wet Pipe	\$12,847			\$12,847	\$0	\$0	\$0
2762	WPS-B02000-001CA1	Investigate sprinkler system corrosion. Document full extent	\$12,847	REPAIR	1	\$12,847	\$0	\$0	\$0
2764	WPS-B03000-001	Wet Pipe	\$12,847			\$12,847	\$0	\$0	\$0
2765	WPS-B03000-001CA1	Investigate sprinkler system corrosion. Document full extent	\$12,847	REPAIR	1	\$12,847	\$0	\$0	\$0
2767	WPS-BB1000-001	Wet Pipe	\$16,168			\$16,168	\$0	\$0	\$0
2768	WPS-BB1000-001CA1	Investigate sprinkler system corrosion. Document full extent	\$16,168	REPAIR	1	\$16,168	\$0	\$0	\$0
2771	FP-BB1000-001	Fire Pump	\$56,292			\$0	\$58,543	\$0	\$0
2772	FP-BB1000-001CA1	Replace fire pump.	\$56,292	REPLACE	2	\$0	\$58,543	\$0	\$0
2775	PMP-BB1000-001	Pressure Maintenance Pump (Jockey Pump)	\$14,189			\$0	\$14,756	\$0	\$0
2776	PMP-BB1000-001CA1	Replace jockey pump.	\$14,189	REPLACE	2	\$0	\$14,756	\$0	\$0
2779	FPC-BB1000-001	Fire Pump Controller	\$56,292			\$0	\$58,543	\$0	\$0
2780	FPC-BB1000-001CA1	Replace fire pump controller.	\$56,292	REPLACE	2	\$0	\$58,543	\$0	\$0
2783	JPC-BB1000-001	Jockey Pump Controller	\$14,189			\$0	\$14,756	\$0	\$0
2784	JPC-BB1000-001CA1	Replace jockey pump controller.	\$14,189	REPLACE	2	\$0	\$14,756	\$0	\$0
2787	PFE-B01000-004	Portable Fire Extinguishers	\$173			\$173	\$0	\$0	\$0
2788	PFE-B01000-004CA1	Remove chairs blocking fire extinguisher access.	\$173	REMOVE	1	\$173	\$0	\$0	\$0
2790	PFE-B02000-008	Portable Fire Extinguishers	\$270			\$0	\$281	\$0	\$0
2791	PFE-B02000-008CA1	Install fire extinguisher wall-mount bracket.	\$270	REPLACE	2	\$0	\$281	\$0	\$0
2793	PFE-B03000-006	Portable Fire Extinguishers	\$609			\$609	\$0	\$0	\$0
2794	PFE-B03000-006CA1	Replace empty water extinguisher with Class ABC	\$609	REPLACE	1	\$609	\$0	\$0	\$0
2796	PFE-B03000-007	Portable Fire Extinguishers	\$609			\$609	\$0	\$0	\$0
2797	PFE-B03000-007CA1	Replace empty water extinguisher with Class ABC	\$609	REPLACE	1	\$609	\$0	\$0	\$0
2799	PFE-BPH000-003	Portable Fire Extinguishers	\$263			\$0	\$274	\$0	\$0
2800	PFE-BPH000-003CA1	Install fire extinguisher wall-mount bracket.	\$263	REPAIR	2	\$0	\$274	\$0	\$0
2802	PFE-BPH000-004	Portable Fire Extinguishers	\$270			\$0	\$281	\$0	\$0
2803	PFE-BPH000-004CA1	Install fire extinguisher wall-mount bracket.	\$270	REPLACE	2	\$0	\$281	\$0	\$0
2806	SWBD-BB1000-001	Main Switchboards	\$1,550			\$0	\$1,612	\$0	\$0
2807	SWBD-BB1000-001CA1	Relocate Equipment and Extend Feeder.	\$1,550	UPGRADE	2	\$0	\$1,612	\$0	\$0
2810	TDIS-BPH000-003	Interior Distribution Transformers	\$1,662			\$113	\$1,612	\$0	\$0
2811	TDIS-BPH000-003CA1	Provide Missing or Correct Front Cover Identification Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0
2813	TDIS-BPH000-003CA2	Relocate Equipment and Extend Feeder.	\$1,550	UPGRADE	2	\$0	\$1,612	\$0	\$0
2815	TDIS-BPH000-004	Interior Distribution Transformers	\$113			\$113	\$0	\$0	\$0
2816	TDIS-BPH000-004CA1	Provide Missing or Correct Front Cover Identification Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
2818	TDIS-BPH000-005	Interior Distribution Transformers	\$1,550			\$0	\$1,612	\$0	\$0
2819	TDIS-BPH000-005CA1	Relocate Equipment and Extend Feeder.	\$1,550	UPGRADE	2	\$0	\$1,612	\$0	\$0
2822	PNLO-B01000-001	Panels	\$150			\$150	\$0	\$0	\$0
2823	PNLO-B01000-001CA1	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2825	PNLO-B01000-003	Panels	\$3,437			\$263	\$3,301	\$0	\$0
2826	PNLO-B01000-003CA1	Provide Missing Branch Circuit Number Identifier	\$75	REPAIR	2	\$0	\$78	\$0	\$0
2828	PNLO-B01000-003CA2	Provide Missing or Correct Front Cover Identification Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0
2830	PNLO-B01000-003CA3	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2832	PNLO-B01000-003CA4	Relocate Equipment and Extend Feeder.	\$1,550	UPGRADE	2	\$0	\$1,612	\$0	\$0
2834	PNLO-B01000-003CA5	Relocate Equipment and Extend Feeder.	\$1,550	UPGRADE	2	\$0	\$1,612	\$0	\$0
2836	PNLO-B03000-003	Panels	\$150			\$150	\$0	\$0	\$0
2837	PNLO-B03000-003CA1	Provide Missing Blank Cover	\$75	REPAIR	1	\$75	\$0	\$0	\$0
2839	PNLO-B03000-003CA2	Provide Missing Blank Cover	\$75	REPAIR	1	\$75	\$0	\$0	\$0
2841	PNLO-B03000-006	Panels	\$1,813			\$263	\$1,612	\$0	\$0
2842	PNLO-B03000-006CA1	Provide Missing or Correct Front Cover Identification Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0
2844	PNLO-B03000-006CA2	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2846	PNLO-B03000-006CA3	Relocate Equipment and Extend Feeder.	\$1,550	UPGRADE	2	\$0	\$1,612	\$0	\$0
2848	PNLO-B03000-007	Panels	\$3,362			\$263	\$3,223	\$0	\$0
2849	PNLO-B03000-007CA1	Provide Missing or Correct Front Cover Identification Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0
2851	PNLO-B03000-007CA2	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2853	PNLO-B03000-007CA3	Relocate Equipment and Extend Feeder.	\$1,550	UPGRADE	2	\$0	\$1,612	\$0	\$0
2855	PNLO-B03000-007CA4	Relocate Equipment and Extend Feeder.	\$1,550	UPGRADE	2	\$0	\$1,612	\$0	\$0
2857	PNLO-BB1000-001	Panels	\$526			\$226	\$313	\$0	\$0
2858	PNLO-BB1000-001CA1	Provide Missing Blank Cover	\$75	REPAIR	1	\$75	\$0	\$0	\$0
2860	PNLO-BB1000-001CA2	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2862	PNLO-BB1000-001CA3	Repair Loose Front Plate	\$301	REPAIR	2	\$0	\$313	\$0	\$0
2864	PNLO-BB1000-002	Panels	\$3,460			\$3,460	\$0	\$0	\$0
2865	PNLO-BB1000-002CA1	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2867	PNLO-BB1000-002CA2	EoLC - Replace Equipment in the Near Future (Past Expected	\$3,084	REPLACE	1	\$3,084	\$0	\$0	\$0
2869	PNLO-BB1000-002CA3	Replace Malfunctioning or Missing Latch/Lock Assembly	\$226	REPAIR	1	\$226	\$0	\$0	\$0
2871	PNLO-BB1000-003	Panels	\$6,044			\$4,495	\$1,612	\$0	\$0
2872	PNLO-BB1000-003CA1	Provide Missing Interior Face of Panelboard	\$376	REPAIR	1	\$376	\$0	\$0	\$0
2874	PNLO-BB1000-003CA2	Provide Missing or Correct Front Cover Identification Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0
2876	PNLO-BB1000-003CA3	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2878	PNLO-BB1000-003CA4	Relocate Equipment and Extend Feeder.	\$1,550	UPGRADE	2	\$0	\$1,612	\$0	\$0
2880	PNLO-BB1000-003CA5	EoLC - Replace Equipment in the Near Future (Past Expected	\$3,856	REPLACE	1	\$3,856	\$0	\$0	\$0
2882	PNLO-BB1000-004	Panels	\$150			\$150	\$0	\$0	\$0
2883	PNLO-BB1000-004CA1	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2885	PNLO-BB1000-005	Panels	\$6,225			\$5,849	\$391	\$0	\$0
2886	PNLO-BB1000-005CA1	Provide Missing Blank Cover	\$75	REPAIR	1	\$75	\$0	\$0	\$0
2888	PNLO-BB1000-005CA2	Provide Missing Interior Face of Panelboard	\$376	REPAIR	2	\$0	\$391	\$0	\$0
2890	PNLO-BB1000-005CA3	Provide Missing or Correct Front Cover Identification Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0
2892	PNLO-BB1000-005CA4	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2894	PNLO-BB1000-005CA5	Repair Loose Front Plate	\$113	REPAIR	1	\$113	\$0	\$0	\$0
2896	PNLO-BB1000-005CA6	EoLC - Replace Equipment in the Near Future (Past Expected	\$5,398	REPLACE	1	\$5,398	\$0	\$0	\$0
2898	PNLO-BB1000-006	Panels	\$6,270			\$4,720	\$1,612	\$0	\$0
2899	PNLO-BB1000-006CA1	Provide Missing or Correct Front Cover Identification Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0
2901	PNLO-BB1000-006CA2	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2903	PNLO-BB1000-006CA3	Relocate Equipment and Extend Feeder.	\$1,550	UPGRADE	2	\$0	\$1,612	\$0	\$0
2905	PNLO-BB1000-006CA4	Replace Damaged Panel Door	\$376	REPAIR	1	\$376	\$0	\$0	\$0
2907	PNLO-BB1000-006CA5	EoLC - Replace Equipment in the Near Future (Past Expected	\$3,856	REPLACE	1	\$3,856	\$0	\$0	\$0
2909	PNLO-BB1000-006CA6	Replace Malfunctioning or Missing Latch/Lock Assembly	\$226	REPAIR	1	\$226	\$0	\$0	\$0
2911	PNLO-BB1000-007	Panels	\$4,576			\$4,576	\$0	\$0	\$0
2912	PNLO-BB1000-007CA1	Remove Obsolete Panelboard	\$721	REMOVE	1	\$721	\$0	\$0	\$0
2914	PNLO-BB1000-007CA2	EoLC - Replace Equipment in the Near Future (Past Expected	\$3,856	REPLACE	1	\$3,856	\$0	\$0	\$0
2916	PNLO-BB1000-008	Panels	\$113			\$113	\$0	\$0	\$0
2917	PNLO-BB1000-008CA1	Provide Missing MCB Rating Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0
2919	PNLO-BB1000-009	Panels	\$150			\$150	\$0	\$0	\$0
2920	PNLO-BB1000-009CA1	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2922	PNLO-BB1000-010	Panels	\$150			\$150	\$0	\$0	\$0
2923	PNLO-BB1000-010CA1	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2925	PNLO-BB1000-011	Panels	\$1,700			\$150	\$1,612	\$0	\$0
2926	PNLO-BB1000-011CA1	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2928	PNLO-BB1000-011CA2	Relocate Equipment and Extend Feeder.	\$1,550	UPGRADE	2	\$0	\$1,612	\$0	\$0
2930	PNLO-BB1000-012	Panels	\$7,173			\$5,623	\$1,612	\$0	\$0
2931	PNLO-BB1000-012CA1	Provide Missing Blank Cover	\$75	REPAIR	1	\$75	\$0	\$0	\$0
2933	PNLO-BB1000-012CA2	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2935	PNLO-BB1000-012CA3	Relocate Equipment and Extend Feeder.	\$1,550	UPGRADE	2	\$0	\$1,612	\$0	\$0
2937	PNLO-BB1000-012CA4	EoLC - Replace Equipment in the Near Future (Past Expected	\$5,398	REPLACE	1	\$5,398	\$0	\$0	\$0
2939	PNLO-BB1000-013	Panels	\$7,474			\$5,548	\$1,612	\$414	\$0
2940	PNLO-BB1000-013CA1	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2942	PNLO-BB1000-013CA2	Relocate Equipment and Extend Feeder.	\$1,550	UPGRADE	2	\$0	\$1,612	\$0	\$0
2944	PNLO-BB1000-013CA3	Replace Damaged Panel Door	\$376	REPAIR	3	\$0	\$0	\$414	\$0
2946	PNLO-BB1000-013CA4	EoLC - Replace Equipment in the Near Future (Past Expected	\$5,398	REPLACE	1	\$5,398	\$0	\$0	\$0
2948	PNLO-BB1000-014	Panels	\$150			\$150	\$0	\$0	\$0
2949	PNLO-BB1000-014CA1	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
2951	PNLO-BB1000-015	Panels	\$150			\$150	\$0	\$0	\$0
2952	PNLO-BB1000-015CA1	Provide Missing or Update Incomplete Circuit Index Card	\$150	REPAIR	1	\$150	\$0	\$0	\$0
2954	PNLO-BPH000-001	Panels	\$188			\$113	\$0	\$0	\$96
2955	PNLO-BPH000-001CA1	Provide Missing Branch Circuit Number Identifier	\$75	REPAIR	4	\$0	\$0	\$0	\$96
2957	PNLO-BPH000-001CA2	Provide Missing or Correct Front Cover Identification Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0
2959	PNLO-BPH000-002	Panels	\$3,856			\$3,856	\$0	\$0	\$0
2960	PNLO-BPH000-002CA1	EoLC - Replace Equipment in the Near Future (Past Expected	\$3,856	REPLACE	1	\$3,856	\$0	\$0	\$0
2963	ECBO-BB1000-001	Enclosed Circuit Breakers	\$3,476			\$2,313	\$1,209	\$0	\$0
2964	ECBO-BB1000-001CA1	Relocate Equipment and Extend Feeder.	\$1,162	UPGRADE	2	\$0	\$1,209	\$0	\$0
2966	ECBO-BB1000-001CA2	EoLC - Replace Equipment in the Near Future (Past Expected	\$2,313	REPLACE	1	\$2,313	\$0	\$0	\$0
2968	ECBO-BB1000-002	Enclosed Circuit Breakers	\$3,476			\$2,313	\$1,209	\$0	\$0
2969	ECBO-BB1000-002CA1	Relocate Equipment and Extend Feeder.	\$1,162	UPGRADE	2	\$0	\$1,209	\$0	\$0
2971	ECBO-BB1000-002CA2	EoLC - Replace Equipment in the Near Future (Past Expected	\$2,313	REPLACE	1	\$2,313	\$0	\$0	\$0
2974	DS00-BB1000-001	Disconnect Switches	\$1,542			\$1,542	\$0	\$0	\$0
2975	DS00-BB1000-001CA1	EoLC - Replace Equipment in the Near Future (Past Expected	\$1,542	REPLACE	1	\$1,542	\$0	\$0	\$0
2977	DS00-BB1000-005	Disconnect Switches	\$775			\$0	\$806	\$0	\$0
2978	DS00-BB1000-005CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
2980	DS00-BB1000-006	Disconnect Switches	\$775			\$0	\$806	\$0	\$0
2981	DS00-BB1000-006CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
2983	DS00-BB1000-007	Disconnect Switches	\$775			\$0	\$806	\$0	\$0
2984	DS00-BB1000-007CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
2986	DS00-BB1000-008	Disconnect Switches	\$775			\$0	\$806	\$0	\$0
2987	DS00-BB1000-008CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
2989	DS00-BB1000-009	Disconnect Switches	\$891			\$116	\$806	\$0	\$0
2990	DS00-BB1000-009CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
2992	DS00-BB1000-009CA2	Remove Water Hazard from Equipment's Dedicated and	\$116	UPGRADE	1	\$116	\$0	\$0	\$0
2994	DS00-BB1000-010	Disconnect Switches	\$113			\$113	\$0	\$0	\$0
2995	DS00-BB1000-010CA1	Provide Missing or Correct Front Cover Identification Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0
2997	DS00-BB1000-011	Disconnect Switches	\$108			\$108	\$0	\$0	\$0
2998	DS00-BB1000-011CA1	Remove Obsolete Disconnect Switch	\$108	REMOVE	1	\$108	\$0	\$0	\$0
3000	DS00-BB1000-012	Disconnect Switches	\$775			\$0	\$806	\$0	\$0
3001	DS00-BB1000-012CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3003	DS00-BB1000-013	Disconnect Switches	\$775			\$0	\$806	\$0	\$0
3004	DS00-BB1000-013CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3006	DS00-BB1000-014	Disconnect Switches	\$775			\$0	\$806	\$0	\$0
3007	DS00-BB1000-014CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3009	DS00-BB1000-015	Disconnect Switches	\$775			\$0	\$806	\$0	\$0
3010	DS00-BB1000-015CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3012	DS00-BB1000-020	Disconnect Switches	\$2,313			\$2,313	\$0	\$0	\$0
3013	DS00-BB1000-020CA1	EoLC - Replace Equipment in the Near Future (Past Expected	\$2,313	REPLACE	1	\$2,313	\$0	\$0	\$0
3015	DS00-BB1000-027	Disconnect Switches	\$775			\$0	\$806	\$0	\$0
3016	DS00-BB1000-027CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3018	DS00-BB1000-028	Disconnect Switches	\$775			\$0	\$806	\$0	\$0
3019	DS00-BB1000-028CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3021	DS00-BB1000-030	Disconnect Switches	\$2,313			\$2,313	\$0	\$0	\$0
3022	DS00-BB1000-030CA1	EoLC - Replace Equipment in the Near Future (Past Expected	\$2,313	REPLACE	1	\$2,313	\$0	\$0	\$0
3024	DS00-BB1000-031	Disconnect Switches	\$2,313			\$2,313	\$0	\$0	\$0
3025	DS00-BB1000-031CA1	EoLC - Replace Equipment in the Near Future (Past Expected	\$2,313	REPLACE	1	\$2,313	\$0	\$0	\$0
3027	DS00-BB1000-032	Disconnect Switches	\$963			\$188	\$806	\$0	\$0
3028	DS00-BB1000-032CA1	Provide Missing Arc-Flash Label	\$75	REPAIR	1	\$75	\$0	\$0	\$0
3030	DS00-BB1000-032CA2	Provide Missing or Correct Front Cover Identification Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0
3032	DS00-BB1000-032CA3	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3034	DS00-BB1000-033	Disconnect Switches	\$775			\$0	\$806	\$0	\$0
3035	DS00-BB1000-033CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3037	DS00-BPH000-006	Disconnect Switches	\$1,550			\$0	\$1,612	\$0	\$0
3038	DS00-BPH000-006CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3040	DS00-BPH000-006CA2	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3042	DS00-BPH000-007	Disconnect Switches	\$925			\$0	\$962	\$0	\$0
3043	DS00-BPH000-007CA1	Make Nameplate Data Visible	\$150	REPAIR	2	\$0	\$156	\$0	\$0
3045	DS00-BPH000-007CA2	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3047	DS00-BPH000-008	Disconnect Switches	\$925			\$0	\$962	\$0	\$0
3048	DS00-BPH000-008CA1	Make Nameplate Data Visible	\$150	REPAIR	2	\$0	\$156	\$0	\$0
3050	DS00-BPH000-008CA2	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3052	DS00-BPH000-013	Disconnect Switches	\$775			\$0	\$806	\$0	\$0
3053	DS00-BPH000-013CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3055	DS00-BPH000-026	Disconnect Switches	\$888			\$113	\$806	\$0	\$0
3056	DS00-BPH000-026CA1	Provide Missing or Correct Front Cover Identification Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0
3058	DS00-BPH000-026CA2	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3060	DS00-BPH000-029	Disconnect Switches	\$113			\$113	\$0	\$0	\$0
3061	DS00-BPH000-029CA1	Provide Missing or Correct Front Cover Identification Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0
3063	DS00-BPH000-030	Disconnect Switches	\$113			\$113	\$0	\$0	\$0
3064	DS00-BPH000-030CA1	Provide Missing or Correct Front Cover Identification Label	\$113	REPAIR	1	\$113	\$0	\$0	\$0
3067	VFDO-BB1000-003	VFDs	\$775			\$0	\$806	\$0	\$0
3068	VFDO-BB1000-003CA1	Relocate Equipment and Extend Feeder.	\$775	UPGRADE	2	\$0	\$806	\$0	\$0
3070	VFDO-BPH000-004	VFDs	\$4,627			\$4,627	\$0	\$0	\$0
3071	VFDO-BPH000-004CA1	EoLC - Replace Equipment in the Near Future (Past Expected	\$4,627	REPLACE	1	\$4,627	\$0	\$0	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
3074	LTGO-B00ELE-003	Lighting Fixtures	\$784			\$694	\$94	\$0	\$0
3075	LTGO-B00ELE-003CA1	LED Replacement	\$694	REPLACE	1	\$694	\$0	\$0	\$0
3077	LTGO-B00ELE-003CA2	Light Fixture Cleaning	\$90	REPAIR	2	\$0	\$94	\$0	\$0
3079	LTGO-B00ELN-002	Lighting Fixtures	\$784			\$694	\$94	\$0	\$0
3080	LTGO-B00ELN-002CA1	LED Replacement	\$694	REPLACE	1	\$694	\$0	\$0	\$0
3082	LTGO-B00ELN-002CA2	Light Fixture Cleaning	\$90	REPAIR	2	\$0	\$94	\$0	\$0
3084	LTGO-B00ELS-002	Lighting Fixtures	\$784			\$694	\$94	\$0	\$0
3085	LTGO-B00ELS-002CA1	LED Replacement	\$694	REPLACE	1	\$694	\$0	\$0	\$0
3087	LTGO-B00ELS-002CA2	Light Fixture Cleaning	\$90	REPAIR	2	\$0	\$94	\$0	\$0
3089	LTGO-B00ELW-003	Lighting Fixtures	\$90			\$0	\$0	\$99	\$0
3090	LTGO-B00ELW-003CA1	Light Fixture Cleaning	\$90	REPAIR	3	\$0	\$0	\$99	\$0
3092	LTGO-B00ELW-004	Lighting Fixtures	\$784			\$694	\$94	\$0	\$0
3093	LTGO-B00ELW-004CA1	LED Replacement	\$694	REPLACE	1	\$694	\$0	\$0	\$0
3095	LTGO-B00ELW-004CA2	Light Fixture Cleaning	\$90	REPAIR	2	\$0	\$94	\$0	\$0
3097	LTGO-B01000-002	Lighting Fixtures	\$347			\$0	\$0	\$0	\$444
3098	LTGO-B01000-002CA1	Local Lighting Controls Not Provided	\$231	REPLACE	4	\$0	\$0	\$0	\$296
3100	LTGO-B01000-002CA2	Remote Lighting Controls Not Labeled	\$116	REPLACE	4	\$0	\$0	\$0	\$148
3102	LTGO-B01000-003	Lighting Fixtures	\$116			\$0	\$0	\$0	\$148
3103	LTGO-B01000-003CA1	Remote Lighting Controls Not Labeled	\$116	REPLACE	4	\$0	\$0	\$0	\$148
3105	LTGO-B01000-H04	Lighting Fixtures	\$77			\$0	\$0	\$0	\$99
3106	LTGO-B01000-H04CA1	Confirm fixture is controlled by building timedclock.	\$77	REPLACE	4	\$0	\$0	\$0	\$99
3108	LTGO-B02000-002	Lighting Fixtures	\$347			\$0	\$0	\$0	\$444
3109	LTGO-B02000-002CA1	Local Lighting Controls Not Provided	\$231	REPLACE	4	\$0	\$0	\$0	\$296
3111	LTGO-B02000-002CA2	Remote Lighting Controls Not Labeled	\$116	REPLACE	4	\$0	\$0	\$0	\$148
3113	LTGO-B02000-003	Lighting Fixtures	\$116			\$0	\$0	\$0	\$148
3114	LTGO-B02000-003CA1	Remote Lighting Controls Not Labeled	\$116	REPLACE	4	\$0	\$0	\$0	\$148
3116	LTGO-B03000-002	Lighting Fixtures	\$347			\$0	\$0	\$0	\$444
3117	LTGO-B03000-002CA1	Local Lighting Controls Not Provided	\$231	REPLACE	4	\$0	\$0	\$0	\$296
3119	LTGO-B03000-002CA2	Remote Lighting Controls Not Labeled	\$116	REPLACE	4	\$0	\$0	\$0	\$148
3121	LTGO-B03000-003	Lighting Fixtures	\$116			\$0	\$0	\$0	\$148
3122	LTGO-B03000-003CA1	Remote Lighting Controls Not Labeled	\$116	REPLACE	4	\$0	\$0	\$0	\$148
3124	LTGO-BB1000-001	Lighting Fixtures	\$694			\$694	\$0	\$0	\$0
3125	LTGO-BB1000-001CA1	EoLC - Replace Equipment in the Near Future (Past Expected)	\$694	REPLACE	1	\$694	\$0	\$0	\$0
3128	FAS-BPH000-001	Fire Alarm Systems	\$339			\$231	\$112	\$0	\$0
3129	FAS-BPH000-001CA1	Remove extra duct smoke detectors.	\$108	REMOVE	2	\$0	\$112	\$0	\$0
3131	FAS-BPH000-001CA2	EoLC - Replace missing duct smoke detector endcaps and seal	\$154	REPLACE	1	\$154	\$0	\$0	\$0
3133	FAS-BPH000-001CA3	Replace missing junction box cover plate.	\$77	REPLACE	1	\$77	\$0	\$0	\$0
3136	NKAL-B01BNE-001	Structured Cabling / Access	\$173,502			\$0	\$0	\$190,852	\$0
3137	NKAL-B01BNE-001CA1	EoLC - Replace Asset	\$173,502	REPLACE	3	\$0	\$0	\$190,852	\$0
3139	NKAL-B02BNE-001	Structured Cabling / Access	\$86,751			\$0	\$0	\$95,426	\$0
3140	NKAL-B02BNE-001CA1	EoLC - Replace Asset	\$86,751	REPLACE	3	\$0	\$0	\$95,426	\$0
3142	NKAL-B02BSE-001	Structured Cabling / Access	\$86,751			\$0	\$0	\$95,426	\$0
3143	NKAL-B02BSE-001CA1	EoLC - Replace Asset	\$86,751	REPLACE	3	\$0	\$0	\$95,426	\$0
3145	NKAL-B03BNE-001	Structured Cabling / Access	\$86,751			\$0	\$0	\$95,426	\$0
3146	NKAL-B03BNE-001CA1	EoLC - Replace Asset	\$86,751	REPLACE	3	\$0	\$0	\$95,426	\$0
3148	NKAL-B03BSE-001	Structured Cabling / Access	\$86,751			\$0	\$0	\$95,426	\$0
3149	NKAL-B03BSE-001CA1	EoLC - Replace Asset	\$86,751	REPLACE	3	\$0	\$0	\$95,426	\$0
3151	NKAL-BB1BNW-001	Structured Cabling / Access	\$86,751			\$0	\$0	\$95,426	\$0
3152	NKAL-BB1BNW-001CA1	EoLC - Replace Asset	\$86,751	REPLACE	3	\$0	\$0	\$95,426	\$0
3154	NKAL-BB1BSE-001	Structured Cabling / Access	\$86,751			\$0	\$0	\$95,426	\$0
3155	NKAL-BB1BSE-001CA1	EoLC - Replace Asset	\$86,751	REPLACE	3	\$0	\$0	\$95,426	\$0
3158	NKCR-B01BNE-001	Structured Cabling / Core	\$23,134			\$0	\$24,059	\$0	\$0
3159	NKCR-B01BNE-001CA1	EoLC - Replace Asset	\$23,134	REPLACE	2	\$0	\$24,059	\$0	\$0
3161	NKCR-B02BNE-001	Structured Cabling / Core	\$23,134			\$0	\$24,059	\$0	\$0
3162	NKCR-B02BNE-001CA1	EoLC - Replace Asset	\$23,134	REPLACE	2	\$0	\$24,059	\$0	\$0
3164	NKCR-B02BSE-001	Structured Cabling / Core	\$23,134			\$0	\$24,059	\$0	\$0
3165	NKCR-B02BSE-001CA1	EoLC - Replace Asset	\$23,134	REPLACE	2	\$0	\$24,059	\$0	\$0
3167	NKCR-B03BNE-001	Structured Cabling / Core	\$23,134			\$0	\$24,059	\$0	\$0
3168	NKCR-B03BNE-001CA1	EoLC - Replace Asset	\$23,134	REPLACE	2	\$0	\$24,059	\$0	\$0
3170	NKCR-B03BSE-001	Structured Cabling / Core	\$23,134			\$0	\$24,059	\$0	\$0
3171	NKCR-B03BSE-001CA1	EoLC - Replace Asset	\$23,134	REPLACE	2	\$0	\$24,059	\$0	\$0
3173	NKCR-B03BSE-002	Structured Cabling / Core	\$23,134			\$0	\$24,059	\$0	\$0
3174	NKCR-B03BSE-002CA1	EoLC - Replace Asset	\$23,134	REPLACE	2	\$0	\$24,059	\$0	\$0
3176	NKCR-BB1BSE-001	Structured Cabling / Core	\$23,134			\$0	\$24,059	\$0	\$0
3177	NKCR-BB1BSE-001CA1	EoLC - Replace Asset	\$23,134	REPLACE	2	\$0	\$24,059	\$0	\$0
3179	NKDS-BB1BSE-001	Structured Cabling / Core	\$539,784			\$0	\$0	\$593,762	\$0
3180	NKDS-BB1BSE-001CA1	EoLC - Replace Asset	\$539,784	REPLACE	3	\$0	\$0	\$593,762	\$0
3183	TCC-B01BNE-001	Structured Cabling / Analog	\$3,856			\$0	\$4,010	\$0	\$0
3184	TCC-B01BNE-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	2	\$0	\$4,010	\$0	\$0
3186	TCC-B01BNE-002	Structured Cabling / Analog	\$3,856			\$0	\$4,010	\$0	\$0
3187	TCC-B01BNE-002CA1	EoLC - Replace Asset	\$3,856	REPLACE	2	\$0	\$4,010	\$0	\$0
3189	TCC-B01BSE-001	Structured Cabling / Analog	\$3,856			\$0	\$4,010	\$0	\$0
3190	TCC-B01BSE-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	2	\$0	\$4,010	\$0	\$0
3192	TCC-B01BSE-002	Structured Cabling / Analog	\$3,856			\$0	\$4,010	\$0	\$0
3193	TCC-B01BSE-002CA1	EoLC - Replace Asset	\$3,856	REPLACE	2	\$0	\$4,010	\$0	\$0
3195	TCC-B02BNE-001	Structured Cabling / Analog	\$3,856			\$0	\$4,010	\$0	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
3196	TCC-B02BNE-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	2	\$0	\$4,010	\$0	\$0
3198	TCC-B02BSE-001	Structured Cabling / Analog	\$3,856			\$0	\$4,010	\$0	\$0
3199	TCC-B02BSE-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	2	\$0	\$4,010	\$0	\$0
3201	TCC-B03BNE-001	Structured Cabling / Analog	\$3,856			\$0	\$4,010	\$0	\$0
3202	TCC-B03BNE-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	2	\$0	\$4,010	\$0	\$0
3204	TCC-B03BSE-001	Structured Cabling / Analog	\$3,856			\$0	\$4,010	\$0	\$0
3205	TCC-B03BSE-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	2	\$0	\$4,010	\$0	\$0
3207	TCC-BB1BNW-001	Structured Cabling / Analog	\$3,856			\$0	\$4,010	\$0	\$0
3208	TCC-BB1BNW-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	2	\$0	\$4,010	\$0	\$0
3211	NKSW-B01BNE-001	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3212	NKSW-B01BNE-001CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3214	NKSW-B01BNE-002	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3215	NKSW-B01BNE-002CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3217	NKSW-B02BNE-001	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3218	NKSW-B02BNE-001CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3220	NKSW-B02BNE-002	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3221	NKSW-B02BNE-002CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3223	NKSW-B02BSE-001	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3224	NKSW-B02BSE-001CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3226	NKSW-B02BSE-002	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3227	NKSW-B02BSE-002CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3229	NKSW-B02BSE-003	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3230	NKSW-B02BSE-003CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3232	NKSW-B02BSE-004	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3233	NKSW-B02BSE-004CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3235	NKSW-B02BSE-005	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3236	NKSW-B02BSE-005CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3238	NKSW-B03BNE-001	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3239	NKSW-B03BNE-001CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3241	NKSW-B03BNE-002	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3242	NKSW-B03BNE-002CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3244	NKSW-B03BNE-003	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3245	NKSW-B03BNE-003CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3247	NKSW-B03BNE-004	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3248	NKSW-B03BNE-004CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3250	NKSW-B03BNE-005	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3251	NKSW-B03BNE-005CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3253	NKSW-B03BNE-006	Network Switches - IT	\$26,218			\$0	\$27,267	\$0	\$0
3254	NKSW-B03BNE-006CA1	EoLC - Replace Asset	\$26,218	REPLACE	2	\$0	\$27,267	\$0	\$0
3256	NKSW-B03BSE-001	Network Switches - IT	\$4,627			\$0	\$0	\$5,089	\$0
3257	NKSW-B03BSE-001CA1	EoLC - Replace Asset	\$4,627	REPLACE	3	\$0	\$0	\$5,089	\$0
3259	NKSW-B03BSE-002	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3260	NKSW-B03BSE-002CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3262	NKSW-B03BSE-003	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3263	NKSW-B03BSE-003CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3265	NKSW-BB1BSE-001	Network Switches - IT	\$18,507			\$0	\$0	\$20,358	\$0
3266	NKSW-BB1BSE-001CA1	EoLC - Replace Asset	\$18,507	REPLACE	3	\$0	\$0	\$20,358	\$0
3269	NKAP-B01000-001	Wireless Access Points	\$13,880			\$0	\$0	\$15,268	\$0
3270	NKAP-B01000-001CA1	EoLC - Replace Asset	\$13,880	REPLACE	3	\$0	\$0	\$15,268	\$0
3272	NKAP-B02000-001	Wireless Access Points	\$13,880			\$0	\$0	\$15,268	\$0
3273	NKAP-B02000-001CA1	EoLC - Replace Asset	\$13,880	REPLACE	3	\$0	\$0	\$15,268	\$0
3275	NKAP-B03000-001	Wireless Access Points	\$13,880			\$0	\$0	\$15,268	\$0
3276	NKAP-B03000-001CA1	EoLC - Replace Asset	\$13,880	REPLACE	3	\$0	\$0	\$15,268	\$0
3278	NKAP-BB1000-001	Wireless Access Points	\$13,880			\$0	\$0	\$15,268	\$0
3279	NKAP-BB1000-001CA1	EoLC - Replace Asset	\$13,880	REPLACE	3	\$0	\$0	\$15,268	\$0
3282	NKEQ-B03BSE-001	Distributed Antenna Systems (DAS)	\$23,134			\$0	\$0	\$25,447	\$0
3283	NKEQ-B03BSE-001CA1	EoLC - Replace Asset	\$23,134	REPLACE	3	\$0	\$0	\$25,447	\$0
3286	TCCA-B01BNE-001	Structured Cabling / Coaxial Distribution	\$3,084			\$0	\$0	\$0	\$3,948
3287	TCCA-B01BNE-001CA1	EoLC - Replace Asset	\$3,084	REPLACE	4	\$0	\$0	\$0	\$3,948
3289	TCCA-B01BSE-001	Structured Cabling / Coaxial Distribution	\$3,084			\$0	\$0	\$0	\$3,948
3290	TCCA-B01BSE-001CA1	EoLC - Replace Asset	\$3,084	REPLACE	4	\$0	\$0	\$0	\$3,948
3292	TCCA-B02BNE-001	Structured Cabling / Coaxial Distribution	\$3,084			\$0	\$0	\$0	\$3,948
3293	TCCA-B02BNE-001CA1	EoLC - Replace Asset	\$3,084	REPLACE	4	\$0	\$0	\$0	\$3,948
3295	TCCA-B02BSE-001	Structured Cabling / Coaxial Distribution	\$3,084			\$0	\$0	\$0	\$3,948
3296	TCCA-B02BSE-001CA1	EoLC - Replace Asset	\$3,084	REPLACE	4	\$0	\$0	\$0	\$3,948
3298	TCCA-B03BNE-001	Structured Cabling / Coaxial Distribution	\$3,084			\$0	\$0	\$0	\$3,948
3299	TCCA-B03BNE-001CA1	EoLC - Replace Asset	\$3,084	REPLACE	4	\$0	\$0	\$0	\$3,948
3301	TCCA-B03BSE-001	Structured Cabling / Coaxial Distribution	\$3,084			\$0	\$0	\$0	\$3,948
3302	TCCA-B03BSE-001CA1	EoLC - Replace Asset	\$3,084	REPLACE	4	\$0	\$0	\$0	\$3,948
3304	TCCA-BB1BSE-001	Structured Cabling / Coaxial Distribution	\$3,084			\$0	\$0	\$0	\$3,948
3305	TCCA-BB1BSE-001CA1	EoLC - Replace Asset	\$3,084	REPLACE	4	\$0	\$0	\$0	\$3,948
3308	TCEQ-B01BNE-001	IT - Voice Equipment	\$12,338			\$0	\$0	\$0	\$15,793
3309	TCEQ-B01BNE-001CA1	EoLC - Replace Asset	\$12,338	REPLACE	4	\$0	\$0	\$0	\$15,793
3311	TCEQ-B01BNE-002	IT - Voice Equipment	\$12,338			\$0	\$0	\$0	\$15,793
3312	TCEQ-B01BNE-002CA1	EoLC - Replace Asset	\$12,338	REPLACE	4	\$0	\$0	\$0	\$15,793
3314	TCEQ-BB1BNW-001	IT - Voice Equipment	\$7,711			\$0	\$0	\$8,482	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
3315	TCEQ-BB1BNW-001CA1	EoLC - Replace Asset	\$7,711	REPLACE	3	\$0	\$0	\$8,482	\$0
3318	EBAT-BPH000-001	Emergency Battery Pack Lights	\$771			\$771	\$0	\$0	\$0
3319	EBAT-BPH000-001CA1	EoLC - Replace Equipment in the Near Future (Past Expected)	\$771	REPLACE	1	\$771	\$0	\$0	\$0
3322	EXIT-BPH000-001	Exit Signs	\$308			\$308	\$0	\$0	\$0
3323	EXIT-BPH000-001CA1	EoLC - Replace Equipment in the Near Future (Past Expected)	\$308	REPLACE	1	\$308	\$0	\$0	\$0
3325	E	Equipment & Furnishings	\$305,456			\$0	\$7,218	\$328,368	\$0
3326	E10	Equipment	\$254,932			\$0	\$7,218	\$272,791	\$0
3329	AVCR-B01BNE-001	Courtroom Recording Systems	\$7,711			\$0	\$0	\$8,482	\$0
3330	AVCR-B01BNE-001CA1	EoLC - Replace Asset	\$7,711	REPLACE	3	\$0	\$0	\$8,482	\$0
3332	AVCR-B01BSE-001	Courtroom Recording Systems	\$7,711			\$0	\$0	\$8,482	\$0
3333	AVCR-B01BSE-001CA1	EoLC - Replace Asset	\$7,711	REPLACE	3	\$0	\$0	\$8,482	\$0
3335	AVCR-B02BNE-001	Courtroom Recording Systems	\$7,711			\$0	\$0	\$8,482	\$0
3336	AVCR-B02BNE-001CA1	EoLC - Replace Asset	\$7,711	REPLACE	3	\$0	\$0	\$8,482	\$0
3338	AVCR-B02BSE-001	Courtroom Recording Systems	\$7,711			\$0	\$0	\$8,482	\$0
3339	AVCR-B02BSE-001CA1	EoLC - Replace Asset	\$7,711	REPLACE	3	\$0	\$0	\$8,482	\$0
3341	AVCR-B02BSW-001	Courtroom Recording Systems	\$7,711			\$0	\$0	\$8,482	\$0
3342	AVCR-B02BSW-001CA1	EoLC - Replace Asset	\$7,711	REPLACE	3	\$0	\$0	\$8,482	\$0
3344	AVCR-B03BNE-001	Courtroom Recording Systems	\$7,711			\$0	\$0	\$8,482	\$0
3345	AVCR-B03BNE-001CA1	EoLC - Replace Asset	\$7,711	REPLACE	3	\$0	\$0	\$8,482	\$0
3347	AVCR-B03BNE-002	Courtroom Recording Systems	\$7,711			\$0	\$0	\$8,482	\$0
3348	AVCR-B03BNE-002CA1	EoLC - Replace Asset	\$7,711	REPLACE	3	\$0	\$0	\$8,482	\$0
3350	AVCR-B03BNE-003	Courtroom Recording Systems	\$7,711			\$0	\$0	\$8,482	\$0
3351	AVCR-B03BNE-003CA1	EoLC - Replace Asset	\$7,711	REPLACE	3	\$0	\$0	\$8,482	\$0
3353	AVCR-B03BNE-004	Courtroom Recording Systems	\$7,711			\$0	\$0	\$8,482	\$0
3354	AVCR-B03BNE-004CA1	EoLC - Replace Asset	\$7,711	REPLACE	3	\$0	\$0	\$8,482	\$0
3357	AVPS-BB1BSW-001	Displays / Projection Screens	\$3,084			\$0	\$3,208	\$0	\$0
3358	AVPS-BB1BSW-001CA1	EoLC - Replace Asset	\$3,084	REPLACE	2	\$0	\$3,208	\$0	\$0
3361	AVFP-B01BNE-001	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3362	AVFP-B01BNE-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3364	AVFP-B01BNE-002	Displays / Flat Panel Monitor	\$3,856			\$0	\$4,010	\$0	\$0
3365	AVFP-B01BNE-002CA1	EoLC - Replace Asset	\$3,856	REPLACE	2	\$0	\$4,010	\$0	\$0
3367	AVFP-B01BNW-001	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3368	AVFP-B01BNW-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3370	AVFP-B01BNW-002	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3371	AVFP-B01BNW-002CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3373	AVFP-B01BNW-003	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3374	AVFP-B01BNW-003CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3376	AVFP-B01BSE-001	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3377	AVFP-B01BSE-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3379	AVFP-B01BSE-002	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3380	AVFP-B01BSE-002CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3382	AVFP-B01BSE-003	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3383	AVFP-B01BSE-003CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3385	AVFP-B01BSW-001	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3386	AVFP-B01BSW-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3388	AVFP-B02BNE-001	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3389	AVFP-B02BNE-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3391	AVFP-B02BNE-002	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3392	AVFP-B02BNE-002CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3394	AVFP-B02BNW-001	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3395	AVFP-B02BNW-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3397	AVFP-B02BNW-002	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3398	AVFP-B02BNW-002CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3400	AVFP-B02BNW-003	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3401	AVFP-B02BNW-003CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3403	AVFP-B02BSE-001	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3404	AVFP-B02BSE-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3406	AVFP-B02BSE-002	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3407	AVFP-B02BSE-002CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3409	AVFP-B02BSE-003	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3410	AVFP-B02BSE-003CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3412	AVFP-B02BSE-004	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3413	AVFP-B02BSE-004CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3415	AVFP-B03BNW-001	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3416	AVFP-B03BNW-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3418	AVFP-B03BSW-001	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3419	AVFP-B03BSW-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3421	AVFP-BB1BNW-001	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3422	AVFP-BB1BNW-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3424	AVFP-BB1BSW-001	Displays / Flat Panel Monitor	\$3,856			\$0	\$0	\$4,241	\$0
3425	AVFP-BB1BSW-001CA1	EoLC - Replace Asset	\$3,856	REPLACE	3	\$0	\$0	\$4,241	\$0
3428	AVPJ-BB1BSW-001	Displays / Projectors	\$6,169			\$0	\$0	\$6,786	\$0
3429	AVPJ-BB1BSW-001CA1	EoLC - Replace Asset	\$6,169	REPLACE	3	\$0	\$0	\$6,786	\$0
3432	AVEQ-B01BNE-001	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3433	AVEQ-B01BNE-001CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3435	AVEQ-B01BNE-002	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
3436	AVEQ-B01BNE-002CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3438	AVEQ-B01BNE-003	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3439	AVEQ-B01BNE-003CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3441	AVEQ-B01BNE-004	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3442	AVEQ-B01BNE-004CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3444	AVEQ-B01BNE-005	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3445	AVEQ-B01BNE-005CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3447	AVEQ-B01BNE-006	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3448	AVEQ-B01BNE-006CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3450	AVEQ-B01BNE-007	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3451	AVEQ-B01BNE-007CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3453	AVEQ-B01BNE-008	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3454	AVEQ-B01BNE-008CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3456	AVEQ-B01BSE-001	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3457	AVEQ-B01BSE-001CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3459	AVEQ-B01BSE-002	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3460	AVEQ-B01BSE-002CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3462	AVEQ-B01BSE-003	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3463	AVEQ-B01BSE-003CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3465	AVEQ-B01BSE-004	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3466	AVEQ-B01BSE-004CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3468	AVEQ-B01BSE-005	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3469	AVEQ-B01BSE-005CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3471	AVEQ-B01BSE-006	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3472	AVEQ-B01BSE-006CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3474	AVEQ-B01BSE-007	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3475	AVEQ-B01BSE-007CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3477	AVEQ-B01BSE-008	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3478	AVEQ-B01BSE-008CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3480	AVEQ-B02BNE-001	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3481	AVEQ-B02BNE-001CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3483	AVEQ-B02BNE-002	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3484	AVEQ-B02BNE-002CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3486	AVEQ-B02BNE-003	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3487	AVEQ-B02BNE-003CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3489	AVEQ-B02BNE-004	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3490	AVEQ-B02BNE-004CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3492	AVEQ-B02BSE-001	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3493	AVEQ-B02BSE-001CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3495	AVEQ-B02BSW-001	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3496	AVEQ-B02BSW-001CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3498	AVEQ-B02BSW-002	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3499	AVEQ-B02BSW-002CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3501	AVEQ-B02BSW-003	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3502	AVEQ-B02BSW-003CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3504	AVEQ-B02BSW-004	Rack-based AV Control, Process, and Dist	\$3,084			\$0	\$0	\$3,393	\$0
3505	AVEQ-B02BSW-004CA1	EoLC - Replace Asset	\$3,084	REPLACE	3	\$0	\$0	\$3,393	\$0
3508	AVRK-B02BNE-001	Audiovisual Equipment Racks	\$2,313			\$0	\$0	\$2,545	\$0
3509	AVRK-B02BNE-001CA1	EoLC - Replace Asset	\$2,313	REPLACE	3	\$0	\$0	\$2,545	\$0
3511	AVRK-B03BNE-001	Audiovisual Equipment Racks	\$2,313			\$0	\$0	\$2,545	\$0
3512	AVRK-B03BNE-001CA1	EoLC - Replace Asset	\$2,313	REPLACE	3	\$0	\$0	\$2,545	\$0
3514	AVRK-BB1BSW-001	Audiovisual Equipment Racks	\$2,313			\$0	\$0	\$2,545	\$0
3515	AVRK-BB1BSW-001CA1	EoLC - Replace Asset	\$2,313	REPLACE	3	\$0	\$0	\$2,545	\$0
3518	AVTP-B01BNE-001	Control Touch Panel / Telestrator	\$1,851			\$0	\$0	\$2,036	\$0
3519	AVTP-B01BNE-001CA1	EoLC - Replace Asset	\$1,851	REPLACE	3	\$0	\$0	\$2,036	\$0
3521	AVTP-B01BNE-002	Control Touch Panel / Telestrator	\$1,851			\$0	\$0	\$2,036	\$0
3522	AVTP-B01BNE-002CA1	EoLC - Replace Asset	\$1,851	REPLACE	3	\$0	\$0	\$2,036	\$0
3524	AVTP-B01BSE-001	Control Touch Panel / Telestrator	\$1,851			\$0	\$0	\$2,036	\$0
3525	AVTP-B01BSE-001CA1	EoLC - Replace Asset	\$1,851	REPLACE	3	\$0	\$0	\$2,036	\$0
3527	AVTP-B01BSE-002	Control Touch Panel / Telestrator	\$1,851			\$0	\$0	\$2,036	\$0
3528	AVTP-B01BSE-002CA1	EoLC - Replace Asset	\$1,851	REPLACE	3	\$0	\$0	\$2,036	\$0
3530	E20	Furnishings	\$50,524			\$0	\$0	\$55,576	\$0
3533	FS00-B01000-001	Seating (Fixed)	\$37,893			\$0	\$0	\$41,682	\$0
3534	FS00-B01000-001CA1	Repair wood scratches	\$22,104	REPAIR	3	\$0	\$0	\$24,315	\$0
3536	FS00-B01000-001CA2	Replace missing top edge	\$15,789	REPAIR	3	\$0	\$0	\$17,368	\$0
3538	FS00-B01000-002	Seating (Fixed)	\$2,105			\$0	\$0	\$2,316	\$0
3539	FS00-B01000-002CA1	Repair wood scratches	\$2,105	REPAIR	3	\$0	\$0	\$2,316	\$0
3541	FS00-B02000-001	Seating (Fixed)	\$9,473			\$0	\$0	\$10,421	\$0
3542	FS00-B02000-001CA1	Repair wood scratches	\$9,473	REPAIR	3	\$0	\$0	\$10,421	\$0
3544	FS00-B02000-002	Seating (Fixed)	\$1,053			\$0	\$0	\$1,158	\$0
3545	FS00-B02000-002CA1	Repair wood scratches	\$1,053	REPAIR	3	\$0	\$0	\$1,158	\$0
3547	G	Sitework	\$1,031,789			\$3,077	\$24,574	\$1,075,027	\$35,566
3548	G20	Site Improvements	\$1,031,789			\$3,077	\$24,574	\$1,075,027	\$35,566
3551	PASU-B005NW-002	Roadway Paved Surfaces	\$12,868			\$0	\$0	\$0	\$16,471
3552	PASU-B005NW-002CA1	EoLC - Service Drive granite border.	\$12,868	REPLACE	4	\$0	\$0	\$0	\$16,471



SMITHGROUP Level 2 Corrective Action Summary



DC Courts Building B FCA

Asset
Corrective Action

EoLC... = End of Lifecycle

Line #	Uniformat / Asset ID	Description	2021 Cost	Req. Type	Priority	COSTS BY PRIORITY			
						IMMEDIATE	1-2 YEARS	3-5 YEARS	6-10 YEARS
						1	2	3	4
3555	PASU-B00SSW-002	Roadway Paved Surfaces	\$9,265			\$0	\$0	\$0	\$11,859
3556	PASU-B00SSW-002CA1	EoLC - Service Drive granite border.	\$9,265	REPLACE	4	\$0	\$0	\$0	\$11,859
3560	CUGU-B01000-001	Parking Lots Curbs and Gutters	\$52,845			\$0	\$0	\$58,130	\$0
3561	CUGU-B01000-001CA1	Repair or replace damaged curbs as required. Reset all curbs	\$52,845	REPAIR	3	\$0	\$0	\$58,130	\$0
3564	PASU-B00SSE-002	Parking Lots Paved Surfaces	\$9,253			\$0	\$0	\$10,179	\$0
3565	PASU-B00SSE-002CA1	EoLC - South Concrete Driveway	\$9,253	REPLACE	3	\$0	\$0	\$10,179	\$0
3567	PASU-B00SSE-003	Parking Lots Paved Surfaces	\$5,244			\$0	\$5,453	\$0	\$0
3568	PASU-B00SSE-003CA1	EoLC - South Dumpster Alley Concrete Driveway	\$5,244	REPLACE	2	\$0	\$5,453	\$0	\$0
3570	PASU-B01000-001	Parking Lots Paved Surfaces	\$815,825			\$0	\$0	\$897,407	\$0
3571	PASU-B01000-001CA1	Replace Parking Lot	\$815,825	REPLACE	3	\$0	\$0	\$897,407	\$0
3575	CGCG-B01SNE-001	Pedestrian Paving Curbs and Gutters	\$18,545			\$0	\$0	\$20,400	\$0
3576	CGCG-B01SNE-001CA1	Repair or replace damaged curbs as required. Reset all curbs	\$18,545	REPLACE	3	\$0	\$0	\$20,400	\$0
3578	CGCG-B01SSE-001	Pedestrian Paving Curbs and Gutters	\$18,082			\$0	\$0	\$19,890	\$0
3579	CGCG-B01SSE-001CA1	Repair or replace damaged curbs as required. Reset all curbs	\$18,082	REPAIR	3	\$0	\$0	\$19,890	\$0
3582	PASU-B00ELW-H01	Pedestrian Paving Paved Surfaces	\$235			\$0	\$0	\$258	\$0
3583	PASU-B00ELW-H01CA1	Granite pavement cleaning	\$235	REPAIR	3	\$0	\$0	\$258	\$0
3585	PASU-B01SNE-001	Pedestrian Paving Paved Surfaces	\$27,760			\$0	\$0	\$30,536	\$0
3586	PASU-B01SNE-001CA1	Replace Sidewalks	\$27,760	REPLACE	3	\$0	\$0	\$30,536	\$0
3588	PASU-B01SSE-001	Pedestrian Paving Paved Surfaces	\$27,760			\$0	\$0	\$30,536	\$0
3589	PASU-B01SSE-001CA1	Replace Sidewalks	\$27,760	REPLACE	3	\$0	\$0	\$30,536	\$0
3592	RETW-B01SNE-001	Retaining Walls	\$30			\$15	\$0	\$17	\$0
3593	RETW-B01SNE-001CA1	CA Name	\$15	REPLACE	1	\$15	\$0	\$0	\$0
3595	RETW-B01SNE-001CA2	Realign / reset retaining wall stones. RegROUT joints.	\$15	REPAIR	3	\$0	\$0	\$17	\$0
3598	EFRN-B00SSE-001	Exterior Furnishings	\$1,002			\$1,002	\$0	\$0	\$0
3599	EFRN-B00SSE-001CA1	Replace damaged trash receptacle	\$1,002	REPLACE	1	\$1,002	\$0	\$0	\$0
3602	SIGN-B00SNE-001	Signage	\$1,323			\$0	\$0	\$1,456	\$0
3603	SIGN-B00SNE-001CA1	Repair dislodged granite veneer on plinth	\$1,323	REPAIR	3	\$0	\$0	\$1,456	\$0
3605	SIGN-B00SSW-001	Signage	\$1,323			\$0	\$1,376	\$0	\$0
3606	SIGN-B00SSW-001CA1	Repair dislodged granite veneer on plinth	\$1,323	REPAIR	2	\$0	\$1,376	\$0	\$0
3609	TPWL-B00SNE-001	Terrace and Perimeter Walls	\$2,814			\$0	\$688	\$1,184	\$1,378
3610	TPWL-B00SNE-001CA1	Clean wall	\$1,076	REPAIR	3	\$0	\$0	\$1,184	\$0
3612	TPWL-B00SNE-001CA2	Repoint 18 joints	\$1,076	REPAIR	4	\$0	\$0	\$0	\$1,378
3614	TPWL-B00SNE-001CA3	Reset one granite wall cap stone	\$662	REPAIR	2	\$0	\$688	\$0	\$0
3616	TPWL-B00SSE-001	Terrace and Perimeter Walls	\$749			\$0	\$0	\$412	\$479
3617	TPWL-B00SSE-001CA1	Clean cheek wall cap stone	\$374	REPAIR	3	\$0	\$0	\$412	\$0
3619	TPWL-B00SSE-001CA2	Repoint 22 joints	\$374	REPAIR	4	\$0	\$0	\$0	\$479
3621	TPWL-B00SSE-002	Terrace and Perimeter Walls	\$7,127			\$0	\$0	\$3,920	\$4,562
3622	TPWL-B00SSE-002CA1	Clean biological growth	\$3,564	REPAIR	3	\$0	\$0	\$3,920	\$0
3624	TPWL-B00SSE-002CA2	Repoint 13 joints	\$3,564	REPAIR	4	\$0	\$0	\$0	\$4,562
3626	TPWL-B00SSE-003	Terrace and Perimeter Walls	\$1,277			\$0	\$0	\$702	\$817
3627	TPWL-B00SSE-003CA1	Clean staining and biological growth	\$638	REPAIR	3	\$0	\$0	\$702	\$0
3629	TPWL-B00SSE-003CA2	Repoint 5 joints	\$638	REPAIR	4	\$0	\$0	\$0	\$817
3632	PLTG-B00SNE-005	Plantings	\$686			\$0	\$714	\$0	\$0
3633	PLTG-B00SNE-005CA1	Replace 1 dead shrub	\$686	REPLACE	2	\$0	\$714	\$0	\$0
3635	PLTG-B00SSE-001	Plantings	\$634			\$0	\$659	\$0	\$0
3636	PLTG-B00SSE-001CA1	Remove dead tree stump	\$634	REMOVE	2	\$0	\$659	\$0	\$0
3638	PLTG-B00SSE-003	Plantings	\$2,059			\$2,059	\$0	\$0	\$0
3639	PLTG-B00SSE-003CA1	Replace 3 dead shrubs	\$2,059	REPLACE	1	\$2,059	\$0	\$0	\$0
3642	PLTR-B00SNE-001	Planters	\$12,975			\$0	\$13,494	\$0	\$0
3643	PLTR-B00SNE-001CA1	Clean all planters	\$1,732	REPAIR	2	\$0	\$1,802	\$0	\$0
3645	PLTR-B00SNE-001CA2	Replace one circular planter	\$5,398	REPLACE	2	\$0	\$5,614	\$0	\$0
3647	PLTR-B00SNE-001CA3	Replace one rectangular planter	\$5,845	REPLACE	2	\$0	\$6,079	\$0	\$0
3650	SLTG-B00ELE-H01	Exterior Lighting Fixtures and Controls	\$526			\$0	\$547	\$0	\$0
3651	SLTG-B00ELE-H01CA1	Refinish Light Post	\$376	REPAIR	2	\$0	\$391	\$0	\$0
3653	SLTG-B00ELE-H01CA2	Replace Joint Sealant	\$150	REPAIR	2	\$0	\$156	\$0	\$0
3655	SLTG-B00ELN-H01	Exterior Lighting Fixtures and Controls	\$526			\$0	\$547	\$0	\$0
3656	SLTG-B00ELN-H01CA1	Refinish Light Post	\$376	REPAIR	2	\$0	\$391	\$0	\$0
3658	SLTG-B00ELN-H01CA2	Replace Joint Sealant	\$150	REPAIR	2	\$0	\$156	\$0	\$0
3660	SLTG-B00ELS-H01	Exterior Lighting Fixtures and Controls	\$526			\$0	\$547	\$0	\$0
3661	SLTG-B00ELS-H01CA1	Refinish Light Post	\$376	REPAIR	2	\$0	\$391	\$0	\$0
3663	SLTG-B00ELS-H01CA2	Replace Joint Sealant	\$150	REPAIR	2	\$0	\$156	\$0	\$0
3665	SLTG-B00ELW-H01	Exterior Lighting Fixtures and Controls	\$526			\$0	\$547	\$0	\$0
3666	SLTG-B00ELW-H01CA1	Refinish Light Post	\$376	REPAIR	2	\$0	\$391	\$0	\$0
3668	SLTG-B00ELW-H01CA2	Replace Joint Sealant	\$150	REPAIR	2	\$0	\$156	\$0	\$0





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
1			DC Courts Building B FCA	1	LS		\$9,036,930	\$4,830,858	\$13,867,787			
2	Estimate Tree	A	Substructure	1	LS		\$88,500	\$44,576	\$133,076			
3	Substructure	A20	Basement Construction	1	LS		\$88,500	\$44,576	\$133,076			
4	Basement Construction	A2020	Basement Walls	1	LS		\$88,500	\$44,576	\$133,076			
5	Basement Walls	A202001	Basement Wall Construction	1	LS		\$88,500	\$44,576	\$133,076			
6	Basement Wall Construction	BSWL-B00BSE-001	Basement Wall Construction	1	LS		\$88,500	\$44,576	\$133,076			
7	Basement Wall Construction	BSWL-B00BSE-001CA1	Treat exposed rebar and patch concrete. Lift equipment likely needs to be replaced.	1	LS		\$88,500	\$44,576	\$133,076		REPAIR	2
8			Treat exposed rebar and patch concrete. Lift equipment likely needs to be replaced.	1.00	LS	\$2,500.00	\$2,500.00	\$1,259.21	\$3,759.21		REPAIR	2
9			Replace Lift Equipment	1.00	LS	\$86,000.00	\$86,000.00	\$43,316.82	\$129,316.82		REPAIR	2
10	Estimate Tree	B	Shell	1	LS		\$524,364	\$267,921	\$792,285			
11	Shell	B10	Superstructure	1	LS		\$750	\$378	\$1,128			
12	Superstructure	B1010	Floor Construction	1	LS		\$400	\$201	\$601			
13	Floor Construction	B101003	Floor Decks and Slabs	1	LS		\$400	\$201	\$601			
14	Floor Decks and Slabs	FDSL-B04000-001	Floor Decks and Slabs	1	LS		\$400	\$201	\$601			
15	Floor Decks and Slabs	FDSL-B04000-001CA1	Patch cracked areas. Assume 50 ft of cracks for budget purposes.	1	L.F.		\$400	\$201	\$601		REPAIR	4
16			Patch cracked areas. Assume 50 ft of cracks for budget purposes.	50.00	L.F.	\$8.00	\$400.00	\$201.47	\$601.47	\$12.03	REPAIR	4
17	Superstructure	B1020	Roof Construction	1	LS		\$350	\$176	\$526			
18	Roof Construction	B102001	Structural Frame - Roof	1	LS		\$350	\$176	\$526			
19	Structural Frame - Roof	RFRO-BR1000-001	Structural Frame - Roof	1	LS		\$350	\$176	\$526			
20	Structural Frame - Roof	RFRO-BR1000-001CA1	clean and paint corroded area	1	LS		\$350	\$176	\$526		REPAIR	4
21			clean and paint corroded area	1.00	LS	\$350.00	\$350.00	\$176.29	\$526.29		REPAIR	4
22	Shell	B20	Exterior Enclosure	1	LS		\$445,244	\$228,006	\$673,250			
23	Exterior Enclosure	B2010	Exterior Walls	1	LS		\$236,299	\$120,722	\$357,021			
24	Exterior Walls	B201001	Exterior Closure	1	LS		\$5,650	\$2,846	\$8,496			
25	Exterior Closure	EXCL-B00ELE-H01	Exterior Closure	1	LS		\$4,500	\$2,267	\$6,767			
26	Exterior Closure	EXCL-B00ELE-H01CA1	Limestone Pilasters Cleaning	1	S.F.		\$4,500	\$2,267	\$6,767		REPAIR	4
27			Limestone Pilasters Cleaning	1,000.00	S.F.	\$3.00	\$3,000.00	\$1,511.05	\$4,511.05	\$4.51	REPAIR	4
28			50' Scissor lift Rental	1.00	Month	\$1,500.00	\$1,500.00	\$755.53	\$2,255.53		REPAIR	4
29	Exterior Closure	EXCL-B00ELW-001	Exterior Closure	1	LS		\$1,150	\$579	\$1,729			
30	Exterior Closure	EXCL-B00ELW-001CA1	Repair spalled and cracked stones. Clean stones at discoloration.	1	LS		\$1,150	\$579	\$1,729		REPAIR	4
31			Repair spalled and cracked stones. Clean stones at discoloration.	1.00	LS	\$350.00	\$350.00	\$176.29	\$526.29		REPAIR	4
32			50' Scissor lift Rental	1.00	Week	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	4
33	Exterior Walls	B201001A	Exterior Closure Materials	1	LS		\$4,860	\$2,448	\$7,308			
34	Exterior Closure Materials	EXLS-B00ELE-001	Exterior Closure Materials	1	LS		\$540	\$272	\$812			
35	Exterior Closure Materials	EXLS-B00ELE-001CA1	Louvers Cleaning	1	S.F.		\$540	\$272	\$812		REPAIR	3
36			Louvers Cleaning	180.00	S.F.	\$3.00	\$540.00	\$271.99	\$811.99	\$4.51	REPAIR	3
37	Exterior Closure Materials	EXLS-B00ELE-H01	Exterior Closure Materials	1	LS		\$900	\$453	\$1,353			
38	Exterior Closure Materials	EXLS-B00ELE-H01CA1	Limestone Louvers Cleaning	1	S.F.		\$900	\$453	\$1,353		REPAIR	4
39			Limestone Louvers Cleaning	180.00	S.F.	\$5.00	\$900.00	\$453.32	\$1,353.32	\$7.52	REPAIR	4
40	Exterior Closure Materials	EXLS-B00ELN-001	Exterior Closure Materials	1	LS		\$360	\$181	\$541			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
41	Exterior Closure Materials	EXLS-B00ELN-001CA1	Louvers Cleaning	1	S.F.		\$360	\$181	\$541		REPAIR	3
42			Louvers Cleaning	120.00	S.F.	\$3.00	\$360.00	\$181.33	\$541.33	\$4.51	REPAIR	3
43	Exterior Closure Materials	EXLS-B00ELN-H01	Exterior Closure Materials	1	LS		\$900	\$453	\$1,353			
44	Exterior Closure Materials	EXLS-B00ELN-H01CA1	Limestone Louvers Cleaning	1	S.F.		\$900	\$453	\$1,353		REPAIR	4
45			Limestone Louvers Cleaning	180.00	S.F.	\$5.00	\$900.00	\$453.32	\$1,353.32	\$7.52	REPAIR	4
46	Exterior Closure Materials	EXLS-B00ELS-001	Exterior Closure Materials	1	LS		\$90	\$45	\$135			
47	Exterior Closure Materials	EXLS-B00ELS-001CA1	Louvers Cleaning	1	S.F.		\$90	\$45	\$135		REPAIR	3
48			Louvers Cleaning	30.00	S.F.	\$3.00	\$90.00	\$45.33	\$135.33	\$4.51	REPAIR	3
49	Exterior Closure Materials	EXLS-B00ELS-H01	Exterior Closure Materials	1	LS		\$900	\$453	\$1,353			
50	Exterior Closure Materials	EXLS-B00ELS-H01CA1	Limestone Louvers Cleaning	1	S.F.		\$900	\$453	\$1,353		REPAIR	4
51			Limestone Louvers Cleaning	180.00	S.F.	\$5.00	\$900.00	\$453.32	\$1,353.32	\$7.52	REPAIR	4
52	Exterior Closure Materials	EXLS-B00ELW-001	Exterior Closure Materials	1	LS		\$270	\$136	\$406			
53	Exterior Closure Materials	EXLS-B00ELW-001CA1	Louvers Cleaning	1	S.F.		\$270	\$136	\$406		REPAIR	3
54			Louvers Cleaning	90.00	S.F.	\$3.00	\$270.00	\$135.99	\$405.99	\$4.51	REPAIR	3
55	Exterior Closure Materials	EXLS-B00ELW-H01	Exterior Closure Materials	1	LS		\$900	\$453	\$1,353			
56	Exterior Closure Materials	EXLS-B00ELW-H01CA1	Limestone Louvers Cleaning	1	S.F.		\$900	\$453	\$1,353		REPAIR	4
57			Limestone Louvers Cleaning	180.00	S.F.	\$5.00	\$900.00	\$453.32	\$1,353.32	\$7.52	REPAIR	4
58	Exterior Walls	B201004	Parapets	1	LS		\$17,400	\$8,764	\$26,164			
59	Parapets	PRPT-B00ELE-H01	Parapets	1	LS		\$6,300	\$3,173	\$9,473			
60	Parapets	PRPT-B00ELE-H01CA1	Limestone Parapet Cleaning	1	S.F.		\$6,300	\$3,173	\$9,473		REPAIR	3
61			Limestone Parapet Cleaning	1,100.00	S.F.	\$5.00	\$5,500.00	\$2,770.26	\$8,270.26	\$7.52	REPAIR	3
62			50' Scissor Lift	1.00	Week	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	3
63	Parapets	PRPT-B00ELN-H01	Parapets	1	LS		\$2,400	\$1,209	\$3,609			
64	Parapets	PRPT-B00ELN-H01CA1	Limestone Parapet Cleaning	1	S.F.		\$2,400	\$1,209	\$3,609		REPAIR	3
65			Limestone Parapet Cleaning	380.00	S.F.	\$5.00	\$1,900.00	\$957.00	\$2,857.00	\$7.52	REPAIR	3
66			50' Scissor Lift	1.00	Day	\$500.00	\$500.00	\$251.84	\$751.84		REPAIR	3
67	Parapets	PRPT-B00ELS-H01	Parapets	1	LS		\$2,400	\$1,209	\$3,609			
68	Parapets	PRPT-B00ELS-H01CA1	Limestone Parapet Cleaning	1	S.F.		\$2,400	\$1,209	\$3,609		REPAIR	3
69			Limestone Parapet Cleaning	380.00	S.F.	\$5.00	\$1,900.00	\$957.00	\$2,857.00	\$7.52	REPAIR	3
70			50' Scissor Lift	1.00	Day	\$500.00	\$500.00	\$251.84	\$751.84		REPAIR	3
71	Parapets	PRPT-B00ELW-H01	Parapets	1	LS		\$6,300	\$3,173	\$9,473			
72	Parapets	PRPT-B00ELW-H01CA1	Limestone Parapet Cleaning	1	S.F.		\$6,300	\$3,173	\$9,473		REPAIR	3
73			Limestone Parapet Cleaning	1,100.00	S.F.	\$5.00	\$5,500.00	\$2,770.26	\$8,270.26	\$7.52	REPAIR	3
74			50' Scissor Lift	1.00	Week	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	3
75	Exterior Walls	B201005	Exterior Louvers and Screens	1	LS		\$36,909	\$19,827	\$56,736			
76	Exterior Louvers and Screens	EXSO-B00ELN-H01	Exterior Louvers and Screens	1	LS		\$875	\$441	\$1,316			
77	Exterior Louvers and Screens	EXSO-B00ELN-H01CA1	Limestone Cornice Cleaning	1	L.F.		\$875	\$441	\$1,316		REPAIR	4
78			Limestone Cornice Cleaning	125.00	L.F.	\$3.00	\$375.00	\$188.88	\$563.88	\$4.51	REPAIR	4
79			50' Scissor Lift	1.00	Day	\$500.00	\$500.00	\$251.84	\$751.84		REPAIR	4





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
80	Exterior Louvers and Screens	EXSO-B00ELE-H01	Exterior Louvers and Screens	1	LS		\$1,550	\$781	\$2,331			
81	Exterior Louvers and Screens	EXSO-B00ELE-H01CA1	Limestone Cornice Cleaning	1	L.F.		\$1,550	\$781	\$2,331		REPAIR	4
82			Limestone Cornice Cleaning	350.00	L.F.	\$3.00	\$1,050.00	\$528.87	\$1,578.87	\$4.51	REPAIR	4
83			50' Scissor Lift	1.00	Day	\$500.00	\$500.00	\$251.84	\$751.84		REPAIR	4
84	Exterior Louvers and Screens	EXSO-B00ELS-H01	Exterior Louvers and Screens	1	LS		\$875	\$441	\$1,316			
85	Exterior Louvers and Screens	EXSO-B00ELS-H01CA1	Limestone Cornice Cleaning	1	L.F.		\$875	\$441	\$1,316		REPAIR	4
86			Limestone Cornice Cleaning	125.00	L.F.	\$3.00	\$375.00	\$188.88	\$563.88	\$4.51	REPAIR	4
87			50' Scissor Lift	1.00	Day	\$500.00	\$500.00	\$251.84	\$751.84		REPAIR	4
88	Exterior Louvers and Screens	EXSO-B00ELW-H01	Exterior Louvers and Screens	1	LS		\$1,550	\$781	\$2,331			
89	Exterior Louvers and Screens	EXSO-B00ELW-H01CA1	Limestone Cornice Cleaning	1	L.F.		\$1,550	\$781	\$2,331		REPAIR	4
90			Limestone Cornice Cleaning	350.00	L.F.	\$3.00	\$1,050.00	\$528.87	\$1,578.87	\$4.51	REPAIR	4
91			50' Scissor Lift	1.00	Day	\$500.00	\$500.00	\$251.84	\$751.84		REPAIR	4
92	Exterior Louvers and Screens	JNTS-B00ELE-001	Exterior Louvers and Screens	1	LS		\$7,275	\$3,945	\$11,220			
93	Exterior Louvers and Screens	JNTS-B00ELE-001CA1	Replace Joint Selant	1	L.F.		\$2,425	\$1,315	\$3,740		REPLACE	3
94			Replace Joint Selant	485.00	L.F.	\$5.00	\$2,425.00	\$1,314.93	\$3,739.93	\$7.71	REPLACE	3
95	Exterior Louvers and Screens	JNTS-B00ELE-001CA2	Replace Joint Selant	1	L.F.		\$4,850	\$2,630	\$7,480		REPLACE	3
96			Clean Stains around Windows	2,425.00	L.F.	\$2.00	\$4,850.00	\$2,629.86	\$7,479.86	\$3.08	REPLACE	3
97	Exterior Louvers and Screens	JNTS-B00ELN-001	Exterior Louvers and Screens	1	LS		\$11,884	\$6,444	\$18,328			
98	Exterior Louvers and Screens	JNTS-B00ELN-001CA1	Replace Joint Selant	1	L.F.		\$4,609	\$2,499	\$7,108		REPLACE	3
99			Replace Joint Sealant at Granite	364.00	L.F.	\$6.00	\$2,184.00	\$1,184.25	\$3,368.25	\$9.25	REPLACE	3
100			Replace Sealant	485.00	L.F.	\$5.00	\$2,425.00	\$1,314.93	\$3,739.93	\$7.71	REPLACE	3
101	Exterior Louvers and Screens	JNTS-B00ELN-001CA2	Replace Joint Selant	1	L.F.		\$7,275	\$3,945	\$11,220		REPLACE	3
102			Clean Stains	2,425.00	L.F.	\$3.00	\$7,275.00	\$3,944.80	\$11,219.80	\$4.63	REPLACE	3
103	Exterior Louvers and Screens	JNTS-B00ELS-001	Exterior Louvers and Screens	1	LS		\$3,400	\$1,844	\$5,244			
104	Exterior Louvers and Screens	JNTS-B00ELS-001CA1	Replace Joint Selant	1	L.F.		\$850	\$461	\$1,311		REPLACE	2
105			Replace Joint Selant	170.00	L.F.	\$5.00	\$850.00	\$460.90	\$1,310.90	\$7.71	REPLACE	2
106	Exterior Louvers and Screens	JNTS-B00ELS-001CA2	Replace Joint Selant	1	L.F.		\$2,550	\$1,383	\$3,933		REPLACE	2
107			Clean Stains	850.00	L.F.	\$3.00	\$2,550.00	\$1,382.71	\$3,932.71	\$4.63	REPLACE	2
108	Exterior Louvers and Screens	JNTS-B00ELW-001	Exterior Louvers and Screens	1	LS		\$9,500	\$5,151	\$14,651			
109	Exterior Louvers and Screens	JNTS-B00ELW-001CA1	Replace Joint Selant	1	L.F.		\$2,375	\$1,288	\$3,663		REPLACE	3
110			Replace Joint Selant	475.00	L.F.	\$5.00	\$2,375.00	\$1,287.82	\$3,662.82	\$7.71	REPLACE	3
111	Exterior Louvers and Screens	JNTS-B00ELW-001CA2	Replace Joint Selant	1	L.F.		\$7,125	\$3,863	\$10,988		REPLACE	3
112			Clean Stains	2,375.00	L.F.	\$3.00	\$7,125.00	\$3,863.46	\$10,988.46	\$4.63	REPLACE	3
113	Exterior Walls	B201007	Balcony Walls and Railings	1	LS		\$11,100	\$5,866	\$16,966			
114	Balcony Walls and Railings	BAWR-B00ELW-H01	Balcony Walls and Railings	1	LS		\$6,600	\$3,600	\$10,200			





DC Courts Building B FCA

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115	Balcony Walls and Railings	BAWR-B00ELW-H01CA1	Repair and Refinish Cast Iron Railing	1	L.F.		\$600	\$302	\$902		REPAIR	3
116			Repair and Refinish Cast Iron Railing	24.00	L.F.	\$25.00	\$600.00	\$302.21	\$902.21	\$37.59	REPAIR	3
117	Balcony Walls and Railings	BAWR-B00ELW-H01CA2	Upgrade Railing	1	L.F.		\$3,000	\$1,649	\$4,649		UPGRADE	1
118			Upgrade Railing	24.00	L.F.	\$125.00	\$3,000.00	\$1,648.75	\$4,648.75	\$193.70	UPGRADE	1
119	Balcony Walls and Railings	BAWR-B00ELW-H01CA3	Upgrade Railing	1	L.F.		\$3,000	\$1,649	\$4,649		UPGRADE	1
120			Upgrade Railing	24.00	L.F.	\$125.00	\$3,000.00	\$1,648.75	\$4,648.75	\$193.70	UPGRADE	1
121	Balcony Walls and Railings	BAWR-B00ELW-H02	Balcony Walls and Railings	1	LS		\$3,000	\$1,511	\$4,511			
122	Balcony Walls and Railings	BAWR-B00ELW-H02CA1	Limestone Walls Cleaning	1	S.F.		\$3,000	\$1,511	\$4,511		REPAIR	3
123			Limestone Walls Cleaning	1,500.00	S.F.	\$2.00	\$3,000.00	\$1,511.05	\$4,511.05	\$3.01	REPAIR	3
124	Balcony Walls and Railings	BAWR-B00ELW-H03	Balcony Walls and Railings	1	LS		\$1,500	\$756	\$2,256			
125	Balcony Walls and Railings	BAWR-B00ELW-H03CA1	Limestone Flooring Cleaning	1	S.F.		\$1,500	\$756	\$2,256		REPAIR	3
126			Limestone Flooring Cleaning	500.00	S.F.	\$3.00	\$1,500.00	\$755.53	\$2,255.53	\$4.51	REPAIR	3
127	Exterior Walls	B201008	Exterior Soffits	1	LS		\$71,640	\$36,084	\$107,724			
128	Exterior Soffits	MTRL-B00ELE-H01	Exterior Soffits	1	LS		\$48,300	\$24,328	\$72,628			
129	Exterior Soffits	MTRL-B00ELE-H01CA1	Limestone Wall Cleaning	1	S.F.		\$48,300	\$24,328	\$72,628		REPAIR	4
130			Limestone Wall Cleaning	16,100.00	S.F.	\$3.00	\$48,300.00	\$24,327.94	\$72,627.94	\$4.51	REPAIR	4
131	Exterior Soffits	MTRL-B00ELE-H02	Exterior Soffits	1	LS		\$3,300	\$1,662	\$4,962			
132	Exterior Soffits	MTRL-B00ELE-H02CA1	Granite Base Cleaning	1	S.F.		\$3,300	\$1,662	\$4,962		REPAIR	3
133			Granite Base Cleaning	1,100.00	S.F.	\$3.00	\$3,300.00	\$1,662.16	\$4,962.16	\$4.51	REPAIR	3
134	Exterior Soffits	MTRL-B00ELN-H01	Exterior Soffits	1	LS		\$18,900	\$9,520	\$28,420			
135	Exterior Soffits	MTRL-B00ELN-H01CA1	Limestone Wall Cleaning	1	S.F.		\$18,900	\$9,520	\$28,420		REPAIR	4
136			Limestone Wall Cleaning	6,300.00	S.F.	\$3.00	\$18,900.00	\$9,519.63	\$28,419.63	\$4.51	REPAIR	4
137	Exterior Soffits	MTRL-B00ELN-H02	Exterior Soffits	1	LS		\$1,140	\$574	\$1,714			
138	Exterior Soffits	MTRL-B00ELN-H02CA1	Granite Base Cleaning	1	S.F.		\$1,140	\$574	\$1,714		REPAIR	3
139			Granite Base Cleaning	380.00	S.F.	\$3.00	\$1,140.00	\$574.20	\$1,714.20	\$4.51	REPAIR	3
140	Exterior Walls	B201011	Joint Sealant	1	LS		\$72,540	\$36,537	\$109,077			
141	Joint Sealant	MTRL-B00ELS-H01	Joint Sealant	1	LS		\$17,400	\$8,764	\$26,164			
142	Joint Sealant	MTRL-B00ELS-H01CA1	Limestone Wall Cleaning	1	S.F.		\$17,400	\$8,764	\$26,164		REPAIR	4
143			Limestone Wall Cleaning	5,800.00	S.F.	\$3.00	\$17,400.00	\$8,764.10	\$26,164.10	\$4.51	REPAIR	4
144	Joint Sealant	MTRL-B00ELS-H02	Joint Sealant	1	LS		\$1,140	\$574	\$1,714			
145	Joint Sealant	MTRL-B00ELS-H02CA1	Granite Base Cleaning	1	S.F.		\$1,140	\$574	\$1,714		REPAIR	3
146			Granite Base Cleaning	380.00	S.F.	\$3.00	\$1,140.00	\$574.20	\$1,714.20	\$4.51	REPAIR	3
147	Joint Sealant	MTRL-B00ELW-H01	Joint Sealant	1	LS		\$50,700	\$25,537	\$76,237			
148	Joint Sealant	MTRL-B00ELW-H01CA1	Limestone Wall Cleaning	1	S.F.		\$50,700	\$25,537	\$76,237		REPAIR	4
149			Limestone Wall Cleaning	16,900.00	S.F.	\$3.00	\$50,700.00	\$25,536.78	\$76,236.78	\$4.51	REPAIR	4
150	Joint Sealant	MTRL-B00ELW-H02	Joint Sealant	1	LS		\$3,300	\$1,662	\$4,962			
151	Joint Sealant	MTRL-B00ELW-H02CA1	Granite Base Cleaning	1	S.F.		\$3,300	\$1,662	\$4,962		REPAIR	3
152			Granite Base Cleaning	1,100.00	S.F.	\$3.00	\$3,300.00	\$1,662.16	\$4,962.16	\$4.51	REPAIR	3
153	Exterior Walls	B201099	Other Exterior Walls	1	LS		\$16,200	\$8,351	\$24,551			
154	Other Exterior Walls	OTWL-B00ELE-001	Other Exterior Walls	1	LS		\$2,223	\$1,151	\$3,374			
155	Other Exterior Walls	OTWL-B00ELE-001CA1	Granite curb cleaning	1	S.F.		\$405	\$204	\$609		REPAIR	3
156			Granite curb cleaning	135.00	S.F.	\$3.00	\$405.00	\$203.99	\$608.99	\$4.51	REPAIR	3
157	Other Exterior Walls	OTWL-B00ELE-001CA2	Mortar joint replacement	1	S.F.		\$810	\$439	\$1,249		REPLACE	2
158			Mortar joint replacement	135.00	S.F.	\$6.00	\$810.00	\$439.21	\$1,249.21	\$9.25	REPLACE	2





DC Courts Building B FCA

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159	Other Exterior Walls	OTWL-B00ELE-001CA3	Refinish grates	1	S.F.		\$1,008	\$508	\$1,516		REPAIR	3
160			Refinish grates	84.00	S.F.	\$12.00	\$1,008.00	\$507.71	\$1,515.71	\$18.04	REPAIR	3
161	Other Exterior Walls	OTWL-B00ELE-002	Other Exterior Walls	1	LS		\$2,070	\$1,074	\$3,144			
162	Other Exterior Walls	OTWL-B00ELE-002CA1	Granite curb cleaning	1	S.F.		\$252	\$127	\$379		REPAIR	3
163			Granite curb cleaning	84.00	S.F.	\$3.00	\$252.00	\$126.93	\$378.93	\$4.51	REPAIR	3
164	Other Exterior Walls	OTWL-B00ELE-002CA2	Mortar joint replacement	1	L.F.		\$810	\$439	\$1,249		REPLACE	2
165			Mortar joint replacement	135.00	L.F.	\$6.00	\$810.00	\$439.21	\$1,249.21	\$9.25	REPLACE	2
166	Other Exterior Walls	OTWL-B00ELE-002CA3	Refinish grates	1	S.F.		\$1,008	\$508	\$1,516		REPAIR	3
167			Refinish grates	84.00	S.F.	\$12.00	\$1,008.00	\$507.71	\$1,515.71	\$18.04	REPAIR	3
168	Other Exterior Walls	OTWL-B00ELN-001	Other Exterior Walls	1	LS		\$6,825	\$3,513	\$10,338			
169	Other Exterior Walls	OTWL-B00ELN-001CA1	Granite curb cleaning	1	S.F.		\$975	\$491	\$1,466		REPAIR	3
170			Granite curb cleaning	325.00	S.F.	\$3.00	\$975.00	\$491.09	\$1,466.09	\$4.51	REPAIR	3
171	Other Exterior Walls	OTWL-B00ELN-001CA2	Mortar joint replacement	1	S.F.		\$1,950	\$1,057	\$3,007		REPLACE	2
172			Mortar joint replacement	325.00	S.F.	\$6.00	\$1,950.00	\$1,057.37	\$3,007.37	\$9.25	REPLACE	2
173	Other Exterior Walls	OTWL-B00ELN-001CA3	Refinish grates	1	S.F.		\$3,900	\$1,964	\$5,864		REPAIR	3
174			Refinish grates	325.00	S.F.	\$12.00	\$3,900.00	\$1,964.37	\$5,864.37	\$18.04	REPAIR	3
175	Other Exterior Walls	OTWL-B00ELN-002	Other Exterior Walls	1	LS		\$252	\$127	\$379			
176	Other Exterior Walls	OTWL-B00ELN-002CA1	Limestone Wall Cleaning	1	S.F.		\$252	\$127	\$379		REPAIR	3
177			Limestone Wall Cleaning	84.00	S.F.	\$3.00	\$252.00	\$126.93	\$378.93	\$4.51	REPAIR	3
178	Other Exterior Walls	OTWL-B00ELS-001	Other Exterior Walls	1	LS		\$630	\$324	\$954			
179	Other Exterior Walls	OTWL-B00ELS-001CA1	Granite curb cleaning	1	S.F.		\$90	\$45	\$135		REPAIR	3
180			Granite curb cleaning	30.00	S.F.	\$3.00	\$90.00	\$45.33	\$135.33	\$4.51	REPAIR	3
181	Other Exterior Walls	OTWL-B00ELS-001CA2	Mortar joint replacement	1	S.F.		\$180	\$98	\$278		REPLACE	2
182			Mortar joint replacement	30.00	S.F.	\$6.00	\$180.00	\$97.60	\$277.60	\$9.25	REPLACE	2
183	Other Exterior Walls	OTWL-B00ELS-001CA3	Refinish grates	1	S.F.		\$360	\$181	\$541		REPAIR	3
184			Refinish grates	30.00	S.F.	\$12.00	\$360.00	\$181.33	\$541.33	\$18.04	REPAIR	3
185	Other Exterior Walls	OTWL-B00ELW-001	Other Exterior Walls	1	LS		\$4,200	\$2,162	\$6,362			
186	Other Exterior Walls	OTWL-B00ELW-001CA1	Granite curb cleaning	1	S.F.		\$600	\$302	\$902		REPAIR	3
187			Granite curb cleaning	200.00	S.F.	\$3.00	\$600.00	\$302.21	\$902.21	\$4.51	REPAIR	3
188	Other Exterior Walls	OTWL-B00ELW-001CA2	Mortar joint replacement	1	S.F.		\$1,200	\$651	\$1,851		REPLACE	2
189			Mortar joint replacement	200.00	S.F.	\$6.00	\$1,200.00	\$650.69	\$1,850.69	\$9.25	REPLACE	2
190	Other Exterior Walls	OTWL-B00ELW-001CA3	Refinish grates	1	S.F.		\$2,400	\$1,209	\$3,609		REPAIR	3
191			Refinish grates	200.00	S.F.	\$12.00	\$2,400.00	\$1,208.84	\$3,608.84	\$18.04	REPAIR	3
192	Exterior Enclosure	B2020	Exterior Windows	1	LS		\$187,470	\$96,402	\$283,872			
193	Exterior Windows	B202001	Windows	1	LS		\$187,470	\$96,402	\$283,872			
194	Windows	WIND-B00ELE-H01	Windows	1	LS		\$12,400	\$6,304	\$18,704			
195	Windows	WIND-B00ELE-H01CA1	Refinish Wood Trim	1	Ea.		\$4,500	\$2,267	\$6,767		REPAIR	2
196			Refinish Wood Trim	10.00	Ea.	\$450.00	\$4,500.00	\$2,266.58	\$6,766.58	\$676.66	REPAIR	2
197	Windows	WIND-B00ELE-H01CA2	Replace Window Wood Sill	1	Ea.		\$1,500	\$813	\$2,313		REPLACE	2
198			Replace Window Wood Sill	10.00	Ea.	\$150.00	\$1,500.00	\$813.36	\$2,313.36	\$231.34	REPLACE	2
199	Windows	WIND-B00ELE-H01CA3	Window Cleaning	1	S.F.		\$6,400	\$3,224	\$9,624		REPAIR	3
200			Window Cleaning - Repair Glass	400.00	S.F.	\$16.00	\$6,400.00	\$3,223.58	\$9,623.58	\$24.06	REPAIR	3
201	Windows	WIND-B00ELE-H02	Windows	1	LS		\$10,000	\$5,072	\$15,072			
202	Windows	WIND-B00ELE-H02CA1	Refinish Wood Trim	1	Ea.		\$2,700	\$1,360	\$4,060		REPAIR	2
203			Refinish Wood Trim	6.00	Ea.	\$450.00	\$2,700.00	\$1,359.95	\$4,059.95	\$676.66	REPAIR	2
204	Windows	WIND-B00ELE-H02CA2	Replace Window Wood Sill	1	Ea.		\$900	\$488	\$1,388		REPLACE	2
205			Replace Window Wood Sill	6.00	Ea.	\$150.00	\$900.00	\$488.02	\$1,388.02	\$231.34	REPLACE	2
206	Windows	WIND-B00ELE-H02CA3	Window Cleaning	1	S.F.		\$6,400	\$3,224	\$9,624		REPAIR	3
207			Window Cleaning - Repair Glass	400.00	S.F.	\$16.00	\$6,400.00	\$3,223.58	\$9,623.58	\$24.06	REPAIR	3
208	Windows	WIND-B00ELE-H03	Windows	1	LS		\$12,400	\$6,492	\$18,892			





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
209	Windows	WIND-B00ELE-H03CA1	Refinish Wood Trim	1	Ea.		\$4,500	\$2,267	\$6,767		REPAIR	2
210			Refinish Wood Trim	10.00	Ea.	\$450.00	\$4,500.00	\$2,266.58	\$6,766.58	\$676.66	REPAIR	2
211	Windows	WIND-B00ELE-H03CA2	Replace Window Wood Sill	1	Ea.		\$1,500	\$756	\$2,256		REPAIR	2
212			Replace Window Wood Sill	10.00	Ea.	\$150.00	\$1,500.00	\$755.53	\$2,255.53	\$225.55	REPAIR	2
213	Windows	WIND-B00ELE-H03CA3	Window Cleaning	1	S.F.		\$6,400	\$3,470	\$9,870		REPLACE	3
214			Window Cleaning/Glass Replace	400.00	S.F.	\$16.00	\$6,400.00	\$3,470.34	\$9,870.34	\$24.68	REPLACE	3
215	Windows	WIND-B00ELE-H04	Windows	1	LS		\$11,950	\$6,266	\$18,216			
216	Windows	WIND-B00ELE-H04CA1	Refinish Wood Trim	1	Ea.		\$4,050	\$2,040	\$6,090		REPAIR	2
217			Refinish Wood Trim	9.00	Ea.	\$450.00	\$4,050.00	\$2,039.92	\$6,089.92	\$676.66	REPAIR	2
218	Windows	WIND-B00ELE-H04CA2	Replace Window Wood Sill	1	Ea.		\$1,500	\$756	\$2,256		REPAIR	2
219			Replace Window Wood Sill	10.00	Ea.	\$150.00	\$1,500.00	\$755.53	\$2,255.53	\$225.55	REPAIR	2
220	Windows	WIND-B00ELE-H04CA3	Window Cleaning	1	S.F.		\$6,400	\$3,470	\$9,870		REPLACE	3
221			Window Cleaning - Replace Glass	400.00	S.F.	\$16.00	\$6,400.00	\$3,470.34	\$9,870.34	\$24.68	REPLACE	3
222	Windows	WIND-B00ELE-H05	Windows	1	LS		\$8,040	\$4,198	\$12,238			
223	Windows	WIND-B00ELE-H05CA1	Refinish Wood Trim	1	Ea.		\$2,700	\$1,360	\$4,060		REPAIR	2
224			Refinish Wood Trim	6.00	Ea.	\$450.00	\$2,700.00	\$1,359.95	\$4,059.95	\$676.66	REPAIR	2
225	Windows	WIND-B00ELE-H05CA2	Replace Window Wood Sill	1	Ea.		\$1,500	\$756	\$2,256		REPAIR	2
226			Replace Window Wood Sill	10.00	Ea.	\$150.00	\$1,500.00	\$755.53	\$2,255.53	\$225.55	REPAIR	2
227	Windows	WIND-B00ELE-H05CA3	Window Cleaning	1	S.F.		\$3,840	\$2,082	\$5,922		REPLACE	3
228			Window Cleaning	240.00	S.F.	\$16.00	\$3,840.00	\$2,082.20	\$5,922.20	\$24.68	REPLACE	3
229	Windows	WIND-B00ELE-H06	Windows	1	LS		\$4,960	\$2,597	\$7,557			
230	Windows	WIND-B00ELE-H06CA1	Refinish Wood Trim	1	Ea.		\$1,800	\$907	\$2,707		REPAIR	2
231			Refinish Wood Trim	4.00	Ea.	\$450.00	\$1,800.00	\$906.63	\$2,706.63	\$676.66	REPAIR	2
232	Windows	WIND-B00ELE-H06CA2	Replace Window Wood Sill	1	Ea.		\$600	\$302	\$902		REPAIR	2
233			Replace Window Wood Sill	4.00	Ea.	\$150.00	\$600.00	\$302.21	\$902.21	\$225.55	REPAIR	2
234	Windows	WIND-B00ELE-H06CA3	Window Cleaning	1	S.F.		\$2,560	\$1,388	\$3,948		REPLACE	3
235			Window Cleaning - Replace Glass	160.00	S.F.	\$16.00	\$2,560.00	\$1,388.13	\$3,948.13	\$24.68	REPLACE	3
236	Windows	WIND-B00ELE-H07	Windows	1	LS		\$11,160	\$5,843	\$17,003			
237	Windows	WIND-B00ELE-H07CA1	Refinish Wood Trim	1	Ea.		\$4,050	\$2,040	\$6,090		REPAIR	2
238			Refinish Wood Trim	9.00	Ea.	\$450.00	\$4,050.00	\$2,039.92	\$6,089.92	\$676.66	REPAIR	2
239	Windows	WIND-B00ELE-H07CA2	Replace Window Wood Sill	1	Ea.		\$1,350	\$680	\$2,030		REPAIR	2
240			Replace Window Wood Sill	9.00	Ea.	\$150.00	\$1,350.00	\$679.97	\$2,029.97	\$225.55	REPAIR	2
241	Windows	WIND-B00ELE-H07CA3	Window Cleaning	1	S.F.		\$5,760	\$3,123	\$8,883		REPLACE	3
242			Window Cleaning - Replace Glass	360.00	S.F.	\$16.00	\$5,760.00	\$3,123.30	\$8,883.30	\$24.68	REPLACE	3
243	Windows	WIND-B00ELN-H01	Windows	1	LS		\$7,440	\$3,895	\$11,335			
244	Windows	WIND-B00ELN-H01CA1	Refinish Wood Trim	1	Ea.		\$2,700	\$1,360	\$4,060		REPAIR	2
245			Refinish Wood Trim	6.00	Ea.	\$450.00	\$2,700.00	\$1,359.95	\$4,059.95	\$676.66	REPAIR	2
246	Windows	WIND-B00ELN-H01CA2	Replace Window Wood Sill	1	Ea.		\$900	\$453	\$1,353		REPAIR	2
247			Replace Window Wood Sill	6.00	Ea.	\$150.00	\$900.00	\$453.32	\$1,353.32	\$225.55	REPAIR	2
248	Windows	WIND-B00ELN-H01CA3	Window Cleaning	1	S.F.		\$3,840	\$2,082	\$5,922		REPLACE	3
249			Window Cleaning - Replace Glass	240.00	S.F.	\$16.00	\$3,840.00	\$2,082.20	\$5,922.20	\$24.68	REPLACE	3
250	Windows	WIND-B00ELN-H02	Windows	1	LS		\$7,440	\$3,895	\$11,335			
251	Windows	WIND-B00ELN-H02CA1	Refinish Wood Trim	1	Ea.		\$2,700	\$1,360	\$4,060		REPAIR	2
252			Refinish Wood Trim	6.00	Ea.	\$450.00	\$2,700.00	\$1,359.95	\$4,059.95	\$676.66	REPAIR	2
253	Windows	WIND-B00ELN-H02CA2	Replace Window Wood Sill	1	Ea.		\$900	\$453	\$1,353		REPAIR	2
254			Replace Window Wood Sill	6.00	Ea.	\$150.00	\$900.00	\$453.32	\$1,353.32	\$225.55	REPAIR	2
255	Windows	WIND-B00ELN-H02CA3	Window Cleaning	1	S.F.		\$3,840	\$2,082	\$5,922		REPLACE	3
256			Window Cleaning - Replace Glass	240.00	S.F.	\$16.00	\$3,840.00	\$2,082.20	\$5,922.20	\$24.68	REPLACE	3
257	Windows	WIND-B00ELN-H03	Windows	1	LS		\$1,240	\$649	\$1,889			
258	Windows	WIND-B00ELN-H03CA1	Refinish Wood Trim	1	Ea.		\$450	\$227	\$677		REPAIR	2





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
259			Refinish Wood Trim	1.00	Ea.	\$450.00	\$450.00	\$226.66	\$676.66		REPAIR	2
260	Windows	WIND-B00ELN-H03CA2	Replace Window Wood Sill	1	Ea.		\$150	\$76	\$226		REPAIR	2
261			Replace Window Wood Sill	1.00	Ea.	\$150.00	\$150.00	\$75.55	\$225.55		REPAIR	2
262	Windows	WIND-B00ELN-H03CA3	Window Cleaning	1	S.F.		\$640	\$347	\$987		REPLACE	3
263			Window Cleaning - Replace Glass	40.00	S.F.	\$16.00	\$640.00	\$347.03	\$987.03	\$24.68	REPLACE	3
264	Windows	WIND-B00ELN-H04	Windows	1	LS		\$8,680	\$4,545	\$13,225			
265	Windows	WIND-B00ELN-H04CA1	Refinish Wood Trim	1	Ea.		\$3,150	\$1,587	\$4,737		REPAIR	2
266			Refinish Wood Trim	7.00	Ea.	\$450.00	\$3,150.00	\$1,586.60	\$4,736.60	\$676.66	REPAIR	2
267	Windows	WIND-B00ELN-H04CA2	Replace Window Wood Sill	1	Ea.		\$1,050	\$529	\$1,579		REPAIR	2
268			Replace Window Wood Sill	7.00	Ea.	\$150.00	\$1,050.00	\$528.87	\$1,578.87	\$225.55	REPAIR	2
269	Windows	WIND-B00ELN-H04CA3	Window Cleaning	1	S.F.		\$4,480	\$2,429	\$6,909		REPLACE	3
270			Window Cleaning - Replace Glass	280.00	S.F.	\$16.00	\$4,480.00	\$2,429.24	\$6,909.24	\$24.68	REPLACE	3
271	Windows	WIND-B00ELS-H01	Windows	1	LS		\$7,440	\$3,782	\$11,222			
272	Windows	WIND-B00ELS-H01CA1	Refinish Wood Trim	1	Ea.		\$2,700	\$1,360	\$4,060		REPAIR	2
273			Refinish Wood Trim	6.00	Ea.	\$450.00	\$2,700.00	\$1,359.95	\$4,059.95	\$676.66	REPAIR	2
274	Windows	WIND-B00ELS-H01CA2	Replace Window Wood Sill	1	Ea.		\$900	\$488	\$1,388		REPLACE	1
275			Replace Window Wood Sill	6.00	Ea.	\$150.00	\$900.00	\$488.02	\$1,388.02	\$231.34	REPLACE	1
276	Windows	WIND-B00ELS-H01CA3	Window Cleaning	1	S.F.		\$3,840	\$1,934	\$5,774		REPAIR	3
277			Window Cleaning - Replace Glass	240.00	S.F.	\$16.00	\$3,840.00	\$1,934.15	\$5,774.15	\$24.06	REPAIR	3
278	Windows	WIND-B00ELS-H02	Windows	1	LS		\$7,440	\$3,782	\$11,222			
279	Windows	WIND-B00ELS-H02CA1	Refinish Wood Trim	1	Ea.		\$2,700	\$1,360	\$4,060		REPAIR	2
280			Refinish Wood Trim	6.00	Ea.	\$450.00	\$2,700.00	\$1,359.95	\$4,059.95	\$676.66	REPAIR	2
281	Windows	WIND-B00ELS-H02CA2	Replace Window Wood Sill	1	Ea.		\$900	\$488	\$1,388		REPLACE	1
282			Replace Window Wood Sill	6.00	Ea.	\$150.00	\$900.00	\$488.02	\$1,388.02	\$231.34	REPLACE	1
283	Windows	WIND-B00ELS-H02CA3	Window Cleaning	1	S.F.		\$3,840	\$1,934	\$5,774		REPAIR	3
284			Window Cleaning - Replace Glass	240.00	S.F.	\$16.00	\$3,840.00	\$1,934.15	\$5,774.15	\$24.06	REPAIR	3
285	Windows	WIND-B00ELS-H03	Windows	1	LS		\$8,680	\$4,412	\$13,092			
286	Windows	WIND-B00ELS-H03CA1	Refinish Wood Trim	1	Ea.		\$3,150	\$1,587	\$4,737		REPAIR	2
287			Refinish Wood Trim	7.00	Ea.	\$450.00	\$3,150.00	\$1,586.60	\$4,736.60	\$676.66	REPAIR	2
288	Windows	WIND-B00ELS-H03CA2	Replace Window Wood Sill	1	Ea.		\$1,050	\$569	\$1,619		REPLACE	1
289			Replace Window Wood Sill	7.00	Ea.	\$150.00	\$1,050.00	\$569.35	\$1,619.35	\$231.34	REPLACE	1
290	Windows	WIND-B00ELS-H03CA3	Window Cleaning	1	S.F.		\$4,480	\$2,257	\$6,737		REPAIR	3
291			Window Cleaning - Replace Glass	280.00	S.F.	\$16.00	\$4,480.00	\$2,256.50	\$6,736.50	\$24.06	REPAIR	3
292	Windows	WIND-B00ELS-H04	Windows	1	LS		\$1,240	\$630	\$1,870			
293	Windows	WIND-B00ELS-H04CA1	Refinish Wood Trim	1	Ea.		\$450	\$227	\$677		REPAIR	2
294			Refinish Wood Trim	1.00	Ea.	\$450.00	\$450.00	\$226.66	\$676.66		REPAIR	2
295	Windows	WIND-B00ELS-H04CA2	Replace Window Wood Sill	1	Ea.		\$150	\$81	\$231		REPLACE	1
296			Replace Window Wood Sill	1.00	Ea.	\$150.00	\$150.00	\$81.34	\$231.34		REPLACE	1
297	Windows	WIND-B00ELS-H04CA3	Window Cleaning	1	S.F.		\$640	\$322	\$962		REPAIR	3
298			Window Cleaning - Replace Glass	40.00	S.F.	\$16.00	\$640.00	\$322.36	\$962.36	\$24.06	REPAIR	3
299	Windows	WIND-B00ELW-H01	Windows	1	LS		\$12,400	\$6,304	\$18,704			
300	Windows	WIND-B00ELW-H01CA1	Refinish Window Trim	1	Ea.		\$4,500	\$2,267	\$6,767		REPAIR	2
301			Refinish Window Trim	10.00	Ea.	\$450.00	\$4,500.00	\$2,266.58	\$6,766.58	\$676.66	REPAIR	2
302	Windows	WIND-B00ELW-H01CA2	Replace Window Sill	1	Ea.		\$1,500	\$813	\$2,313		REPLACE	2
303			Replace Window Sill	10.00	Ea.	\$150.00	\$1,500.00	\$813.36	\$2,313.36	\$231.34	REPLACE	2
304	Windows	WIND-B00ELW-H01CA3	Window Cleaning	1	S.F.		\$6,400	\$3,224	\$9,624		REPAIR	3
305			Window Cleaning - Replace Glass	400.00	S.F.	\$16.00	\$6,400.00	\$3,223.58	\$9,623.58	\$24.06	REPAIR	3
306	Windows	WIND-B00ELW-H02	Windows	1	LS		\$9,920	\$5,043	\$14,963			
307	Windows	WIND-B00ELW-H02CA1	Refinish Window Trim	1	Ea.		\$3,600	\$1,813	\$5,413		REPAIR	2
308			Refinish Window Trim	8.00	Ea.	\$450.00	\$3,600.00	\$1,813.26	\$5,413.26	\$676.66	REPAIR	2





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
309	Windows	WIND-B00ELW-H02CA2	Replace Window Sill	1	Ea.		\$1,200	\$651	\$1,851		REPLACE	2
310			Replace Window Sill	8.00	Ea.	\$150.00	\$1,200.00	\$650.69	\$1,850.69	\$231.34	REPLACE	2
311	Windows	WIND-B00ELW-H02CA3	Window Cleaning	1	S.F.		\$5,120	\$2,579	\$7,699		REPAIR	3
312			Window Cleaning - Replace Glass	320.00	S.F.	\$16.00	\$5,120.00	\$2,578.86	\$7,698.86	\$24.06	REPAIR	3
313	Windows	WIND-B00ELW-H03	Windows	1	LS		\$9,920	\$5,043	\$14,963			
314	Windows	WIND-B00ELW-H03CA1	Refinish Window Trim	1	Ea.		\$3,600	\$1,813	\$5,413		REPAIR	2
315			Refinish Window Trim	8.00	Ea.	\$450.00	\$3,600.00	\$1,813.26	\$5,413.26	\$676.66	REPAIR	2
316	Windows	WIND-B00ELW-H03CA2	Replace Window Sill	1	Ea.		\$1,200	\$651	\$1,851		REPLACE	2
317			Replace Window Sill	8.00	Ea.	\$150.00	\$1,200.00	\$650.69	\$1,850.69	\$231.34	REPLACE	2
318	Windows	WIND-B00ELW-H03CA3	Window Cleaning	1	S.F.		\$5,120	\$2,579	\$7,699		REPAIR	3
319			Window Cleaning - Replace glass	320.00	S.F.	\$16.00	\$5,120.00	\$2,578.86	\$7,698.86	\$24.06	REPAIR	3
320	Windows	WIND-B00ELW-H04	Windows	1	LS		\$11,160	\$5,673	\$16,833			
321	Windows	WIND-B00ELW-H04CA1	Refinish Window Trim	1	Ea.		\$4,050	\$2,040	\$6,090		REPAIR	2
322			Refinish Window Trim	9.00	Ea.	\$450.00	\$4,050.00	\$2,039.92	\$6,089.92	\$676.66	REPAIR	2
323	Windows	WIND-B00ELW-H04CA2	Replace Window Sill	1	Ea.		\$1,350	\$732	\$2,082		REPLACE	2
324			Replace Window Sill	9.00	Ea.	\$150.00	\$1,350.00	\$732.02	\$2,082.02	\$231.34	REPLACE	2
325	Windows	WIND-B00ELW-H04CA3	Window Cleaning	1	S.F.		\$5,760	\$2,901	\$8,661		REPAIR	3
326			Window Cleaning - Replace glass	360.00	S.F.	\$16.00	\$5,760.00	\$2,901.22	\$8,661.22	\$24.06	REPAIR	3
327	Windows	WIND-B00ELW-H05	Windows	1	LS		\$7,440	\$3,782	\$11,222			
328	Windows	WIND-B00ELW-H05CA1	Refinish Window Trim	1	Ea.		\$2,700	\$1,360	\$4,060		REPAIR	2
329			Refinish Window Trim	6.00	Ea.	\$450.00	\$2,700.00	\$1,359.95	\$4,059.95	\$676.66	REPAIR	2
330	Windows	WIND-B00ELW-H05CA2	Replace Window Sill	1	Ea.		\$900	\$488	\$1,388		REPLACE	2
331			Replace Window Sill	6.00	Ea.	\$150.00	\$900.00	\$488.02	\$1,388.02	\$231.34	REPLACE	2
332	Windows	WIND-B00ELW-H05CA3	Window Cleaning	1	S.F.		\$3,840	\$1,934	\$5,774		REPAIR	3
333			Window Cleaning - Replace Glass	240.00	S.F.	\$16.00	\$3,840.00	\$1,934.15	\$5,774.15	\$24.06	REPAIR	3
334	Windows	WIND-B00ELW-H06	Windows	1	LS		\$4,960	\$2,521	\$7,481			
335	Windows	WIND-B00ELW-H06CA1	Refinish Window Trim	1	Ea.		\$1,800	\$907	\$2,707		REPAIR	2
336			Refinish Window Trim	4.00	Ea.	\$450.00	\$1,800.00	\$906.63	\$2,706.63	\$676.66	REPAIR	2
337	Windows	WIND-B00ELW-H06CA2	Replace Window Sill	1	Ea.		\$600	\$325	\$925		REPLACE	2
338			Replace Window Sill	4.00	Ea.	\$150.00	\$600.00	\$325.34	\$925.34	\$231.34	REPLACE	2
339	Windows	WIND-B00ELW-H06CA3	Window Cleaning	1	S.F.		\$2,560	\$1,289	\$3,849		REPAIR	3
340			Window Cleaning - Replace Glass	160.00	S.F.	\$16.00	\$2,560.00	\$1,289.43	\$3,849.43	\$24.06	REPAIR	3
341	Windows	WIND-B00ELW-H07	Windows	1	LS		\$11,160	\$5,673	\$16,833			
342	Windows	WIND-B00ELW-H07CA1	Refinish Window Trim	1	Ea.		\$4,050	\$2,040	\$6,090		REPAIR	2
343			Refinish Window Trim	9.00	Ea.	\$450.00	\$4,050.00	\$2,039.92	\$6,089.92	\$676.66	REPAIR	2
344	Windows	WIND-B00ELW-H07CA2	Replace Window Sill	1	Ea.		\$1,350	\$732	\$2,082		REPLACE	2
345			Replace Window Sill	9.00	Ea.	\$150.00	\$1,350.00	\$732.02	\$2,082.02	\$231.34	REPLACE	2
346	Windows	WIND-B00ELW-H07CA3	Window Cleaning	1	S.F.		\$5,760	\$2,901	\$8,661		REPAIR	3
347			Window Cleaning - Replace Glass	360.00	S.F.	\$16.00	\$5,760.00	\$2,901.22	\$8,661.22	\$24.06	REPAIR	3
348	Exterior Enclosure	B2030	Exterior Doors	1	LS		\$21,475	\$10,882	\$32,357			
349	Exterior Doors	B203001	Solid Doors	1	LS		\$3,105	\$1,564	\$4,669			
350	Solid Doors	SODR-B00ELE-H01	Solid Doors	1	LS		\$1,050	\$529	\$1,579			
351	Solid Doors	SODR-B00ELE-H01CA1	Refinish wood door	1	Door		\$1,050	\$529	\$1,579		REPAIR	2
352			Refinish wood door	3.00	Door	\$350.00	\$1,050.00	\$528.87	\$1,578.87	\$526.29	REPAIR	2
353	Solid Doors	SODR-B00ELN-H01	Solid Doors	1	LS		\$350	\$176	\$526			
354	Solid Doors	SODR-B00ELN-H01CA1	Refinish wood door	1	Door		\$350	\$176	\$526		REPAIR	2
355			Refinish wood door	1.00	Door	\$350.00	\$350.00	\$176.29	\$526.29		REPAIR	2
356	Solid Doors	SODR-B00ELN-H02	Solid Doors	1	LS		\$635	\$320	\$955			
357	Solid Doors	SODR-B00ELN-H02CA1	Refinish door and frame	1	Door		\$350	\$176	\$526		REPAIR	2
358			Refinish door and frame	1.00	Door	\$350.00	\$350.00	\$176.29	\$526.29		REPAIR	2





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
359	Solid Doors	SODR-B00ELN-H02CA2	Repair door	1	Door		\$160	\$81	\$241		REPAIR	1
360			Repair door	1.00	Door	\$160.00	\$160.00	\$80.59	\$240.59		REPAIR	1
361	Solid Doors	SODR-B00ELN-H02CA3	Replace door sill	1	Door		\$125	\$63	\$188		REPAIR	1
362			Replace door sill	1.00	Door	\$125.00	\$125.00	\$62.96	\$187.96		REPAIR	1
363	Solid Doors	SODR-B00ELS-H01	Solid Doors	1	LS		\$350	\$176	\$526			
364	Solid Doors	SODR-B00ELS-H01CA1	Refinish wood door	1	Door		\$350	\$176	\$526		REPAIR	1
365			Refinish wood door	1.00	Door	\$350.00	\$350.00	\$176.29	\$526.29		REPAIR	1
366	Solid Doors	SODR-B00ELW-001	Solid Doors	1	LS		\$120	\$60	\$180			
367	Solid Doors	SODR-B00ELW-001CA1	Door painting	1	Door		\$120	\$60	\$180		REPAIR	2
368			Door painting	1.00	Door	\$120.00	\$120.00	\$60.44	\$180.44		REPAIR	2
369	Solid Doors	SODR-B00ELW-002	Solid Doors	1	LS		\$240	\$121	\$361			
370	Solid Doors	SODR-B00ELW-002CA1	Door painting	1	Door		\$240	\$121	\$361		REPAIR	2
371			Door painting	2.00	Door	\$120.00	\$240.00	\$120.88	\$360.88	\$180.44	REPAIR	2
372	Solid Doors	SODR-B00ELW-H01	Solid Doors	1	LS		\$180	\$91	\$271			
373	Solid Doors	SODR-B00ELW-H01CA1	Refinish wood door	1	Door		\$180	\$91	\$271		REPAIR	2
374			Refinish wood door	1.00	Door	\$180.00	\$180.00	\$90.66	\$270.66		REPAIR	2
375	Solid Doors	SODR-B00ELW-H02	Solid Doors	1	LS		\$180	\$91	\$271			
376	Solid Doors	SODR-B00ELW-H02CA1	Door painting	1	Door		\$180	\$91	\$271		REPAIR	2
377			Door painting	1.00	Door	\$180.00	\$180.00	\$90.66	\$270.66		REPAIR	2
378	Exterior Doors	B203002	Glazed Doors	1	LS		\$450	\$227	\$677			
379	Glazed Doors	GLDR-B00ELW-H01	Glazed Doors	1	LS		\$450	\$227	\$677			
380	Glazed Doors	GLDR-B00ELW-H01CA1	Repair/Refinish Door	1	Door		\$450	\$227	\$677		REPAIR	2
381			Repair/Refinish Door	2.00	Door	\$225.00	\$450.00	\$226.66	\$676.66	\$338.33	REPAIR	2
382	Exterior Doors	B203007	Gates	1	LS		\$3,125	\$1,574	\$4,699			
383	Gates	GAT-B00ELE-001	Gates	1	LS		\$1,875	\$944	\$2,819			
384	Gates	GAT-B00ELE-001CA1	Gate Refinishing	1	L.F.		\$1,875	\$944	\$2,819		REPAIR	3
385			Gate Refinishing	75.00	L.F.	\$25.00	\$1,875.00	\$944.41	\$2,819.41	\$37.59	REPAIR	3
386	Gates	GAT-B00ELW-001	Gates	1	LS		\$1,250	\$630	\$1,880			
387	Gates	GAT-B00ELW-001CA1	Gate Refinishing	1	L.F.		\$1,250	\$630	\$1,880		REPAIR	3
388			Gate Refinishing	50.00	L.F.	\$25.00	\$1,250.00	\$629.61	\$1,879.61	\$37.59	REPAIR	3
389	Exterior Doors	B203008	Exterior Door Hardware	1	LS		\$14,795	\$7,517	\$22,312			
390	Exterior Door Hardware	EXDH-B00ELE-001	Exterior Door Hardware	1	LS		\$1,570	\$791	\$2,361			
391	Exterior Door Hardware	EXDH-B00ELE-001CA1	Repair Hardware	1	Hardware		\$1,570	\$791	\$2,361		REPAIR	3
392			Repair Hardware	2.00	Hardware	\$785.00	\$1,570.00	\$790.78	\$2,360.78	\$1,180.39	REPAIR	3
393	Exterior Door Hardware	EXDH-B00ELE-002	Exterior Door Hardware	1	LS		\$3,300	\$1,662	\$4,962			
394	Exterior Door Hardware	EXDH-B00ELE-002CA1	Clean/Refinish Hardware	1	Hardware		\$3,300	\$1,662	\$4,962		REPAIR	2
395			Clean/Refinish Hardware	3.00	Hardware	\$1,100.00	\$3,300.00	\$1,662.16	\$4,962.16	\$1,654.05	REPAIR	2
396	Exterior Door Hardware	EXDH-B00ELN-001	Exterior Door Hardware	1	LS		\$1,100	\$596	\$1,696			
397	Exterior Door Hardware	EXDH-B00ELN-001CA1	Replace Hardware	1	Hardware		\$1,100	\$596	\$1,696		REPLACE	1
398			Replace Hardware	1.00	Hardware	\$1,100.00	\$1,100.00	\$596.46	\$1,696.46		REPLACE	1
399	Exterior Door Hardware	EXDH-B00ELN-002	Exterior Door Hardware	1	LS		\$1,100	\$554	\$1,654			
400	Exterior Door Hardware	EXDH-B00ELN-002CA1	Clean/Refinish Hardware	1	Hardware		\$1,100	\$554	\$1,654		REPAIR	2
401			Clean/Refinish Hardware	1.00	Hardware	\$1,100.00	\$1,100.00	\$554.05	\$1,654.05		REPAIR	2
402	Exterior Door Hardware	EXDH-B00ELS-001	Exterior Door Hardware	1	LS		\$1,100	\$554	\$1,654			
403	Exterior Door Hardware	EXDH-B00ELS-001CA1	Clean/Refinish Hardware	1	Hardware		\$1,100	\$554	\$1,654		REPAIR	2
404			Clean/Refinish Hardware	1.00	Hardware	\$1,100.00	\$1,100.00	\$554.05	\$1,654.05		REPAIR	2
405	Exterior Door Hardware	EXDH-B00ELW-001	Exterior Door Hardware	1	LS		\$1,570	\$791	\$2,361			
406	Exterior Door Hardware	EXDH-B00ELW-001CA1	Repair Hardware	1	Hardware		\$1,570	\$791	\$2,361		REPAIR	3
407			Repair Hardware	2.00	Hardware	\$785.00	\$1,570.00	\$790.78	\$2,360.78	\$1,180.39	REPAIR	3
408	Exterior Door Hardware	EXDH-B00ELW-002	Exterior Door Hardware	1	LS		\$1,170	\$589	\$1,759			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
409	Exterior Door Hardware	EXDH-B00ELW-002CA1	Repair Hardware	1	Hardware		\$1,170	\$589	\$1,759		REPAIR	3
410			Repair Hardware	2.00	Hardware	\$585.00	\$1,170.00	\$589.31	\$1,759.31	\$879.66	REPAIR	3
411	Exterior Door Hardware	EXDH-B00ELW-003	Exterior Door Hardware	1	LS		\$2,200	\$1,108	\$3,308			
412	Exterior Door Hardware	EXDH-B00ELW-003CA1	Clean/Refinish Hardware	1	Hardware		\$2,200	\$1,108	\$3,308		REPAIR	2
413			Clean/Refinish Hardware	2.00	Hardware	\$1,100.00	\$2,200.00	\$1,108.10	\$3,308.10	\$1,654.05	REPAIR	2
414	Exterior Door Hardware	EXDH-B00ELW-004	Exterior Door Hardware	1	LS		\$1,100	\$554	\$1,654			
415	Exterior Door Hardware	EXDH-B00ELW-004CA1	Clean/Refinish Hardware	1	Hardware		\$1,100	\$554	\$1,654		REPAIR	3
416			Clean/Refinish Hardware	1.00	Hardware	\$1,100.00	\$1,100.00	\$554.05	\$1,654.05		REPAIR	3
417	Exterior Door Hardware	EXDH-B00ELW-005	Exterior Door Hardware	1	LS		\$585	\$317	\$902			
418	Exterior Door Hardware	EXDH-B00ELW-005CA1	Replace Hardware	1	Hardware		\$585	\$317	\$902		REPLACE	1
419			Replace Hardware	1.00	Hardware	\$585.00	\$585.00	\$317.21	\$902.21		REPLACE	1
420	Shell	B30	Roofing	1	LS		\$78,370	\$39,537	\$117,907			
421	Roofing	B3010	Roof Coverings	1	LS		\$78,370	\$39,537	\$117,907			
422	Roof Coverings	B301001	High Slope Roof Coverings	1	LS		\$69,630	\$35,135	\$104,765			
423	High Slope Roof Coverings	HSRC-BR2000-001	High Slope Roof Coverings	1	LS		\$69,630	\$35,135	\$104,765			
424	High Slope Roof Coverings	HSRC-BR2000-001CA1	Replace Roofing Sealant	1	S.F.		\$1,650	\$895	\$2,545		REPLACE	3
425			Replace Roofing Sealant	3,300.00	S.F.	\$0.50	\$1,650.00	\$894.70	\$2,544.70	\$0.77	REPLACE	3
426	High Slope Roof Coverings	HSRC-BR2000-001CA2	Roofing Cleaning	1	S.F.		\$66,000	\$33,243	\$99,243		REPAIR	4
427			Roofing Cleaning	22,000.00	S.F.	\$3.00	\$66,000.00	\$33,243.14	\$99,243.14	\$4.51	REPAIR	4
428	High Slope Roof Coverings	HSRC-BR2000-001CA3	Roofing Repair	1	S.F.		\$1,980	\$997	\$2,977		REPAIR	3
429			Roofing Repair	220.00	S.F.	\$9.00	\$1,980.00	\$997.29	\$2,977.29	\$13.53	REPAIR	3
430	Roof Coverings	B301002	Low Slope Membrane Systems	1	LS		\$5,340	\$2,690	\$8,030			
431	Low Slope Membrane Systems	LSMS-BR1000-001	Low Slope Membrane Systems	1	LS		\$1,860	\$937	\$2,797			
432	Low Slope Membrane Systems	LSMS-BR1000-001CA1	Repair Roof Membrane	1	S.F.		\$1,860	\$937	\$2,797		REPAIR	2
433			Repair Roof Membrane	465.00	S.F.	\$4.00	\$1,860.00	\$936.85	\$2,796.85	\$6.01	REPAIR	2
434	Low Slope Membrane Systems	LSMS-BR2000-001	Low Slope Membrane Systems	1	LS		\$3,480	\$1,753	\$5,233			
435	Low Slope Membrane Systems	LSMS-BR2000-001CA1	Repair Roof Membrane	1	S.F.		\$3,480	\$1,753	\$5,233		REPAIR	2
436			Repair Roof Membrane	870.00	S.F.	\$4.00	\$3,480.00	\$1,752.82	\$5,232.82	\$6.01	REPAIR	2
437	Roof Coverings	B301004	Flashings and Trim	1	LS		\$3,400	\$1,713	\$5,113			
438	Flashings and Trim	FLTR-BR1000-001	Flashings and Trim	1	LS		\$1,560	\$786	\$2,346			
439	Flashings and Trim	FLTR-BR1000-001CA1	Parapet Flashing Cleaning	1	L.F.		\$1,560	\$786	\$2,346		REPAIR	4
440			Parapet Flashing Cleaning	195.00	L.F.	\$8.00	\$1,560.00	\$785.75	\$2,345.75	\$12.03	REPAIR	4
441	Flashings and Trim	FLTR-BR2000-001	Flashings and Trim	1	LS		\$1,840	\$927	\$2,767			
442	Flashings and Trim	FLTR-BR2000-001CA1	Parapet Flashing Cleaning	1	L.F.		\$1,840	\$927	\$2,767		REPAIR	4
443			Parapet Flashing Cleaning	230.00	L.F.	\$8.00	\$1,840.00	\$926.78	\$2,766.78	\$12.03	REPAIR	4
444	Estimate Tree	C	Interiors	1	LS		\$2,118,544	\$1,105,722	\$3,224,266			
445	Interiors	C10	Interior Construction	1	LS		\$813,769	\$426,937	\$1,240,706			
446	Interior Construction	C1010	Partitions	1	LS		\$120,356	\$60,641	\$180,997			
447	Partitions	C101001	Fixed Partitions	1	LS		\$119,856	\$60,370	\$180,226			
448	Fixed Partitions	FPRT-B01000-001	Fixed Partitions	1	LS		\$25,000	\$12,592	\$37,592			
449	Fixed Partitions	FPRT-B01000-001CA1	Repair water damage and cracking.	1	S.F.		\$25,000	\$12,592	\$37,592		REPAIR	1
450			Repair water damage and cracking.	2,500.00	S.F.	\$10.00	\$25,000.00	\$12,592.10	\$37,592.10	\$15.04	REPAIR	1
451	Fixed Partitions	FPRT-B01000-002	Fixed Partitions	1	LS		\$1,188	\$598	\$1,786			





DC Courts Building B FCA

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452	Fixed Partitions	FPRT-B01000-002CA1	Repair wood paneling at half wall.	1	S.F.		\$1,188	\$598	\$1,786		REPAIR	3
453			Repair wood paneling at half wall.	132.00	S.F.	\$9.00	\$1,188.00	\$598.38	\$1,786.38	\$13.53	REPAIR	3
454	Fixed Partitions	FPRT-B01000-003	Fixed Partitions	1	LS		\$1,188	\$598	\$1,786			
455	Fixed Partitions	FPRT-B01000-003CA1	Repair wood paneling at half wall.	1	S.F.		\$1,188	\$598	\$1,786		REPAIR	3
456			Repair wood paneling at half wall.	132.00	S.F.	\$9.00	\$1,188.00	\$598.38	\$1,786.38	\$13.53	REPAIR	3
457	Fixed Partitions	FPRT-B02000-001	Fixed Partitions	1	LS		\$40,000	\$20,147	\$60,147			
458	Fixed Partitions	FPRT-B02000-001CA1	Repair water damage and cracking.	1	S.F.		\$40,000	\$20,147	\$60,147		REPAIR	1
459			Repair water damage and cracking.	4,000.00	S.F.	\$10.00	\$40,000.00	\$20,147.36	\$60,147.36	\$15.04	REPAIR	1
460	Fixed Partitions	FPRT-B02000-002	Fixed Partitions	1	LS		\$1,080	\$544	\$1,624			
461	Fixed Partitions	FPRT-B02000-002CA1	Repair wood paneling at half wall.	1	S.F.		\$1,080	\$544	\$1,624		REPAIR	3
462			Repair wood paneling at half wall.	120.00	S.F.	\$9.00	\$1,080.00	\$543.98	\$1,623.98	\$13.53	REPAIR	3
463	Fixed Partitions	FPRT-B02000-003	Fixed Partitions	1	LS		\$700	\$353	\$1,053			
464	Fixed Partitions	FPRT-B02000-003CA1	Repair half wall and wood top.	1	S.F.		\$700	\$353	\$1,053		REPAIR	3
465			Repair half wall and wood top.	70.00	S.F.	\$10.00	\$700.00	\$352.58	\$1,052.58	\$15.04	REPAIR	3
466	Fixed Partitions	FPRT-B02000-004	Fixed Partitions	1	LS		\$700	\$353	\$1,053			
467	Fixed Partitions	FPRT-B02000-004CA1	Repair half wall and wood top.	1	S.F.		\$700	\$353	\$1,053		REPAIR	3
468			Repair half wall and wood top.	70.00	S.F.	\$10.00	\$700.00	\$352.58	\$1,052.58	\$15.04	REPAIR	3
469	Fixed Partitions	FPRT-B03000-001	Fixed Partitions	1	LS		\$40,000	\$20,147	\$60,147			
470	Fixed Partitions	FPRT-B03000-001CA1	Repair signs of cracking.	1	S.F.		\$40,000	\$20,147	\$60,147		REPAIR	1
471			Repair signs of cracking.	4,000.00	S.F.	\$10.00	\$40,000.00	\$20,147.36	\$60,147.36	\$15.04	REPAIR	1
472	Fixed Partitions	FPRT-BB1000-001	Fixed Partitions	1	LS		\$10,000	\$5,037	\$15,037			
473	Fixed Partitions	FPRT-BB1000-001CA1	Repair water damage and cracking.	1	S.F.		\$10,000	\$5,037	\$15,037		REPAIR	1
474			Repair water damage and cracking.	1,000.00	S.F.	\$10.00	\$10,000.00	\$5,036.84	\$15,036.84	\$15.04	REPAIR	1
475	Partitions	C101005	Interior Windows	1	LS		\$500	\$271	\$771			
476	Interior Windows	INWD-B01000-001	Interior Windows	1	LS		\$500	\$271	\$771			
477	Interior Windows	INWD-B01000-001CA1	Replace missing glass at transaction windows.	1	Unit		\$500	\$271	\$771		REPLACE	1
478			Replace missing glass at transaction windows.	2.00	Unit	\$250.00	\$500.00	\$271.12	\$771.12	\$385.56	REPLACE	1
479	Interior Construction	C1020	Interior Doors	1	LS		\$541,388	\$283,495	\$824,883			
480	Interior Doors	C102001	Standard Interior Doors	1	LS		\$230,050	\$119,358	\$349,408			
481	Standard Interior Doors	INDR-B01000-001	Standard Interior Doors	1	LS		\$28,000	\$14,103	\$42,103			
482	Standard Interior Doors	INDR-B01000-001CA1	Repair wood door and hollow metal frame.	1	Unit		\$28,000	\$14,103	\$42,103		REPAIR	3
483			Repair wood door and hollow metal frame.	28.00	Unit	\$1,000.00	\$28,000.00	\$14,103.15	\$42,103.15	\$1,503.68	REPAIR	3
484	Standard Interior Doors	INDR-B01000-H02	Standard Interior Doors	1	LS		\$7,000	\$3,526	\$10,526			
485	Standard Interior Doors	INDR-B01000-H02CA1	Repair wood door and historic wood frame.	1	Unit		\$7,000	\$3,526	\$10,526		REPAIR	3
486			Repair wood door and historic wood frame.	7.00	Unit	\$1,000.00	\$7,000.00	\$3,525.79	\$10,525.79	\$1,503.68	REPAIR	3
487	Standard Interior Doors	INDR-B01000-H03	Standard Interior Doors	1	LS		\$800	\$403	\$1,203			
488	Standard Interior Doors	INDR-B01000-H03CA1	Repair historic wood frame.	1	Unit		\$800	\$403	\$1,203		REPAIR	3
489			Repair historic wood frame.	1.00	Unit	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	3
490	Standard Interior Doors	INDR-B01000-H04	Standard Interior Doors	1	LS		\$1,000	\$504	\$1,504			
491	Standard Interior Doors	INDR-B01000-H04CA1	Repair historic metal frame.	1	Unit		\$1,000	\$504	\$1,504		REPAIR	3
492			Repair historic metal frame.	2.00	Unit	\$500.00	\$1,000.00	\$503.68	\$1,503.68	\$751.84	REPAIR	3
493	Standard Interior Doors	INDR-B01000-H05	Standard Interior Doors	1	LS		\$800	\$403	\$1,203			
494	Standard Interior Doors	INDR-B01000-H05CA1	Repair historic wood frame.	1	Unit		\$800	\$403	\$1,203		REPAIR	3
495			Repair historic wood frame.	1.00	Unit	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	3
496	Standard Interior Doors	INDR-B02000-001	Standard Interior Doors	1	LS		\$17,000	\$8,563	\$25,563			
497	Standard Interior Doors	INDR-B02000-001CA1	Repair wood door and hollow metal frame.	1	Unit		\$17,000	\$8,563	\$25,563		REPAIR	3
498			Repair wood door and hollow metal frame.	34.00	Unit	\$500.00	\$17,000.00	\$8,562.63	\$25,562.63	\$751.84	REPAIR	3
499	Standard Interior Doors	INDR-B02000-004	Standard Interior Doors	1	LS		\$2,400	\$1,209	\$3,609			
500	Standard Interior Doors	INDR-B02000-004CA1	Repair double wood door and hollow metal frame.	1	Unit		\$2,400	\$1,209	\$3,609		REPAIR	3
501			Repair double wood door and hollow metal frame.	2.00	Unit	\$1,200.00	\$2,400.00	\$1,208.84	\$3,608.84	\$1,804.42	REPAIR	3





DC Courts Building B FCA

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502	Standard Interior Doors	INDR-B02000-H02	Standard Interior Doors	1	LS		\$21,600	\$10,880	\$32,480			
503	Standard Interior Doors	INDR-B02000-H02CA1	Repair wood door and historic wood frame.	1	Unit		\$21,600	\$10,880	\$32,480		REPAIR	3
504			Repair wood door and historic wood frame.	27.00	Unit	\$800.00	\$21,600.00	\$10,879.57	\$32,479.57	\$1,202.95	REPAIR	3
505	Standard Interior Doors	INDR-B02000-H03	Standard Interior Doors	1	LS		\$1,600	\$806	\$2,406			
506	Standard Interior Doors	INDR-B02000-H03CA1	Repair historic wood frame.	1	Unit		\$1,600	\$806	\$2,406		REPAIR	3
507			Repair historic wood frame.	2.00	Unit	\$800.00	\$1,600.00	\$805.89	\$2,405.89	\$1,202.95	REPAIR	3
508	Standard Interior Doors	INDR-B02000-H04	Standard Interior Doors	1	LS		\$150	\$76	\$226			
509	Standard Interior Doors	INDR-B02000-H04CA1	Repair historic metal frame.	1	Unit		\$150	\$76	\$226		REPAIR	3
510			Repair historic metal frame.	1.00	Unit	\$150.00	\$150.00	\$75.55	\$225.55		REPAIR	3
511	Standard Interior Doors	INDR-B03000-001	Standard Interior Doors	1	LS		\$27,000	\$13,599	\$40,599			
512	Standard Interior Doors	INDR-B03000-001CA1	Repair wood door and hollow metal frame.	1	Unit		\$27,000	\$13,599	\$40,599		REPAIR	3
513			Repair wood door and hollow metal frame.	27.00	Unit	\$1,000.00	\$27,000.00	\$13,599.47	\$40,599.47	\$1,503.68	REPAIR	3
514	Standard Interior Doors	INDR-B03000-H02	Standard Interior Doors	1	LS		\$32,000	\$16,118	\$48,118			
515	Standard Interior Doors	INDR-B03000-H02CA1	Repair historic wood frame.	1	Unit		\$32,000	\$16,118	\$48,118		REPAIR	3
516			Repair historic wood frame.	40.00	Unit	\$800.00	\$32,000.00	\$16,117.89	\$48,117.89	\$1,202.95	REPAIR	3
517	Standard Interior Doors	INDR-B03000-H04	Standard Interior Doors	1	LS		\$300	\$151	\$451			
518	Standard Interior Doors	INDR-B03000-H04CA1	Paint and restore historic metal frame.	1	Unit		\$300	\$151	\$451		REPAIR	3
519			Paint and restore historic metal frame.	2.00	Unit	\$150.00	\$300.00	\$151.11	\$451.11	\$225.55	REPAIR	3
520	Standard Interior Doors	INDR-BB1000-001	Standard Interior Doors	1	LS		\$86,400	\$46,850	\$133,250			
521	Standard Interior Doors	INDR-BB1000-001CA1	Replace interior door.	1	Unit		\$86,400	\$46,850	\$133,250		REPLACE	3
522			Replace interior door.	48.00	Unit	\$1,800.00	\$86,400.00	\$46,849.54	\$133,249.54	\$2,776.03	REPLACE	3
523	Standard Interior Doors	INDR-BB1000-002	Standard Interior Doors	1	LS		\$4,000	\$2,169	\$6,169			
524	Standard Interior Doors	INDR-BB1000-002CA1	Replace interior double door.	1	Unit		\$4,000	\$2,169	\$6,169		REPLACE	3
525			Replace interior double door.	2.00	Unit	\$2,000.00	\$4,000.00	\$2,168.96	\$6,168.96	\$3,084.48	REPLACE	3
526	Interior Doors	C102003	Fire Doors	1	LS		\$194,488	\$103,863	\$298,351			
527	Fire Doors	FRDR-B01000-001	Fire Doors	1	LS		\$1,780	\$897	\$2,677			
528	Fire Doors	FRDR-B01000-001CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
529			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
530			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
531			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
532	Fire Doors	FRDR-B01000-002	Fire Doors	1	LS		\$1,780	\$897	\$2,677			
533	Fire Doors	FRDR-B01000-002CA1	Replace listing through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
534			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
535			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
536			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
537	Fire Doors	FRDR-B01000-003	Fire Doors	1	LS		\$1,780	\$897	\$2,677			
538	Fire Doors	FRDR-B01000-003CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
539			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
540			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
541			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
542	Fire Doors	FRDR-B01000-005	Fire Doors	1	LS		\$1,780	\$897	\$2,677			
543	Fire Doors	FRDR-B01000-005CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
544			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
545			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
546			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
547	Fire Doors	FRDR-B01000-006	Fire Doors	1	LS		\$1,780	\$897	\$2,677			





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
548	Fire Doors	FRDR-B01000-006CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
549			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
550			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
551			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
552	Fire Doors	FRDR-B01000-008	Fire Doors	1	LS		\$3,560	\$1,793	\$5,353			
553	Fire Doors	FRDR-B01000-008CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
554			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
555			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
556			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
557	Fire Doors	FRDR-B01000-008CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
558			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
559			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
560			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
561	Fire Doors	FRDR-B01000-010	Fire Doors	1	LS		\$1,780	\$897	\$2,677			
562	Fire Doors	FRDR-B01000-010CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
563			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
564			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
565			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
566	Fire Doors	FRDR-B01000-011	Fire Doors	1	LS		\$1,815	\$914	\$2,729			
567	Fire Doors	FRDR-B01000-011CA1	Remove tape from latch to allow fire door to latch.	1	Ea.		\$35	\$18	\$53		REPAIR	1
568			Remove tape from latch to allow fire door to latch.	1.00	Ea.	\$35.00	\$35.00	\$17.63	\$52.63		REPAIR	1
569	Fire Doors	FRDR-B01000-011CA2	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
570			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
571			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
572			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
573	Fire Doors	FRDR-B01000-013	Fire Doors	1	LS		\$2,015	\$1,015	\$3,030			
574	Fire Doors	FRDR-B01000-013CA1	Repair door hardware, including door closer screw/bolt and door latch and latch-plate.	1	LS		\$235	\$118	\$353		REPAIR	1
575			Replace latch and plate	1.00	LS	\$200.00	\$200.00	\$100.74	\$300.74		REPAIR	1
576			Labor to replace missing bolt securing closer	1.00	LS	\$35.00	\$35.00	\$17.63	\$52.63		REPAIR	1
577	Fire Doors	FRDR-B01000-013CA2	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
578			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
579			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
580			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
581	Fire Doors	FRDR-B01000-014	Fire Doors	1	LS		\$6,246	\$3,146	\$9,392			
582	Fire Doors	FRDR-B01000-014CA1	Remove paint from fire door frame listing label.	1	Ea.		\$35	\$18	\$53		REPAIR	4
583			Remove paint from fire door frame listing label.	1.00	Ea.	\$35.00	\$35.00	\$17.63	\$52.63		REPAIR	4
584	Fire Doors	FRDR-B01000-014CA2	Replace unrated door with fire door.	1	Ea.		\$6,211	\$3,128	\$9,339		REPAIR	1
585			Remove and discard existing door	1.00	Ea.	\$35.00	\$35.00	\$17.63	\$52.63		REPAIR	1
586			Remove hardware (store and protect for re-install)	1.00	LS	\$200.00	\$200.00	\$100.74	\$300.74		REPAIR	1
587			3x7' Fire rated door, painted	1.00	Ea.	\$1,091.00	\$1,091.00	\$549.52	\$1,640.52		REPAIR	1
588			Labor to reinstall/adjust hardware	1.00	LS	\$200.00	\$200.00	\$100.74	\$300.74		REPAIR	1
589			Touch up existing frame to ME	1.00	LS	\$35.00	\$35.00	\$17.63	\$52.63		REPAIR	1
590			Install air-transfer above door with Fire/Smoke damper	1.00	Ea.	\$3,850.00	\$3,850.00	\$1,939.18	\$5,789.18		REPAIR	1
591			Patch adjacent surface to match ME	1.00	LS	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
592	Fire Doors	FRDR-B01000-015	Fire Doors	1	LS		\$1,780	\$897	\$2,677			
593	Fire Doors	FRDR-B01000-015CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
594			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
595			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
596			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
597	Fire Doors	FRDR-B01000-017	Fire Doors	1	LS		\$35	\$18	\$53			
598	Fire Doors	FRDR-B01000-017CA1	Remove paint from fire door frame listing label.	1	Ea.		\$35	\$18	\$53		REPAIR	4
599			Remove paint from fire door frame listing label.	1.00	Ea.	\$35.00	\$35.00	\$17.63	\$52.63		REPAIR	4
600	Fire Doors	FRDR-B01000-018	Fire Doors	1	LS		\$6,246	\$3,146	\$9,392			
601	Fire Doors	FRDR-B01000-018CA1	Remove paint from fire door frame listing label.	1	Ea.		\$35	\$18	\$53		REPAIR	4
602			Remove paint from fire door frame listing label.	1.00	Ea.	\$35.00	\$35.00	\$17.63	\$52.63		REPAIR	4
603	Fire Doors	FRDR-B01000-018CA2	Replace unrated door with fire door.	1	Ea.		\$6,211	\$3,128	\$9,339		REPAIR	1
604			Remove and discard existing door	1.00	Ea.	\$35.00	\$35.00	\$17.63	\$52.63		REPAIR	1
605			Remove hardware (store and protect for re-install)	1.00	LS	\$200.00	\$200.00	\$100.74	\$300.74		REPAIR	1
606			3'x7' Fire rated door, painted	1.00	Ea.	\$1,091.00	\$1,091.00	\$549.52	\$1,640.52		REPAIR	1
607			Labot to reinstall/adjust hardware	1.00	LS	\$200.00	\$200.00	\$100.74	\$300.74		REPAIR	1
608			Touch up existing frame to ME	1.00	LS	\$35.00	\$35.00	\$17.63	\$52.63		REPAIR	1
609			Install air-transfer above door with Fire/Smoke damper	1.00	Ea.	\$3,850.00	\$3,850.00	\$1,939.18	\$5,789.18		REPAIR	1
610			Patch adjacent surface to match ME	1.00	LS	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
611	Fire Doors	FRDR-B01000-019	Fire Doors	1	LS		\$1,780	\$897	\$2,677			
612	Fire Doors	FRDR-B01000-019CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
613			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
614			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
615			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
616	Fire Doors	FRDR-B01000-020	Fire Doors	1	LS		\$1,780	\$897	\$2,677			
617	Fire Doors	FRDR-B01000-020CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
618			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
619			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
620			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
621	Fire Doors	FRDR-B01000-022	Fire Doors	1	LS		\$1,780	\$897	\$2,677			
622	Fire Doors	FRDR-B01000-022CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
623			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
624			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
625			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
626	Fire Doors	FRDR-B01000-024	Fire Doors	1	LS		\$1,780	\$965	\$2,745			
627	Fire Doors	FRDR-B01000-024CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$965	\$2,745		REPLACE	1
628			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
629			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
630			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$439.21	\$1,249.21		REPLACE	1
631	Fire Doors	FRDR-B01000-H04	Fire Doors	1	LS		\$9,630	\$5,222	\$14,852			
632	Fire Doors	FRDR-B01000-H04CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$9,630	\$5,222	\$14,852		REPLACE	1
633			Remove custom double door (2 panels x 22")	2.00	Ea.	\$35.00	\$70.00	\$37.96	\$107.96	\$53.98	REPLACE	1
634			Remove frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
635			New custom 44" fire rated door, historic appearance to ME	1.00	Ea.	\$2,390.00	\$2,390.00	\$1,295.95	\$3,685.95		REPLACE	1
636			New custom fire rated metal frame, historic appearance to ME	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	1





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
637			New fire hardware with card reader, electromagnetic lock with sensor release, push-to-exit	1.00	Ea.	\$2,850.00	\$2,850.00	\$1,545.38	\$4,395.38		REPLACE	1
638			Hardware Installation	1.00	LS	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
639			Automatic release and fire alarm tie-in	1.00	Ea.	\$1,950.00	\$1,950.00	\$1,057.37	\$3,007.37		REPLACE	1
640			Allowance for patching of adjacent finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
641	Fire Doors	FRDR-B01000-H16	Fire Doors	1	LS		\$9,630	\$5,222	\$14,852			
642	Fire Doors	FRDR-B01000-H16CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$9,630	\$5,222	\$14,852		REPLACE	1
643			Remove custom double door (2 panels x 22")	2.00	Ea.	\$35.00	\$70.00	\$37.96	\$107.96	\$53.98	REPLACE	1
644			Remove frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
645			New custom 44" fire rated door, historic appearance to ME	1.00	Ea.	\$2,390.00	\$2,390.00	\$1,295.95	\$3,685.95		REPLACE	1
646			New custom fire rated metal frame, historic appearance to ME	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	1
647			New fire hardware with card reader, electromagnetic lock with sensor release, push-to-exit	1.00	Ea.	\$2,850.00	\$2,850.00	\$1,545.38	\$4,395.38		REPLACE	1
648			Hardware Installation	1.00	LS	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
649			Automatic release and fire alarm tie-in	1.00	Ea.	\$1,950.00	\$1,950.00	\$1,057.37	\$3,007.37		REPLACE	1
650			Allowance for patching of adjacent finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
651	Fire Doors	FRDR-B01000-H21	Fire Doors	1	LS		\$9,630	\$5,222	\$14,852			
652	Fire Doors	FRDR-B01000-H21CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$9,630	\$5,222	\$14,852		REPLACE	1
653			Remove custom double door (2 panels x 22")	2.00	Ea.	\$35.00	\$70.00	\$37.96	\$107.96	\$53.98	REPLACE	1
654			Remove frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
655			New custom 44" fire rated door, historic appearance to ME	1.00	Ea.	\$2,390.00	\$2,390.00	\$1,295.95	\$3,685.95		REPLACE	1
656			New custom fire rated metal frame, historic appearance to ME	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	1
657			New fire hardware with card reader, electromagnetic lock with sensor release, push-to-exit	1.00	Ea.	\$2,850.00	\$2,850.00	\$1,545.38	\$4,395.38		REPLACE	1
658			Hardware Installation	1.00	LS	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
659			Automatic release and fire alarm tie-in	1.00	Ea.	\$1,950.00	\$1,950.00	\$1,057.37	\$3,007.37		REPLACE	1
660			Allowance for patching of adjacent finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
661	Fire Doors	FRDR-B02000-002	Fire Doors	1	LS		\$1,780	\$897	\$2,677			
662	Fire Doors	FRDR-B02000-002CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
663			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
664			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
665			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
666	Fire Doors	FRDR-B02000-005	Fire Doors	1	LS		\$1,780	\$897	\$2,677			
667	Fire Doors	FRDR-B02000-005CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$897	\$2,677		REPAIR	1
668			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$85.63	\$255.63		REPAIR	1
669			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$402.95	\$1,202.95		REPAIR	1
670			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$407.98	\$1,217.98		REPAIR	1
671	Fire Doors	FRDR-B02000-006	Fire Doors	1	LS		\$120	\$60	\$180			
672	Fire Doors	FRDR-B02000-006CA1	Remove non-compliant door hardware and repair mounting holes.	1	Ea.		\$120	\$60	\$180		REPAIR	1
673			Remove non-compliant door hardware and repair mounting holes.	1.00	Ea.	\$120.00	\$120.00	\$60.44	\$180.44		REPAIR	1
674	Fire Doors	FRDR-B02000-007	Fire Doors	1	LS		\$9,256	\$5,019	\$14,275			
675	Fire Doors	FRDR-B02000-007CA1	Replace unrated door, frame, and hardware with fire-rated door assembly.	1	Ea.		\$9,256	\$5,019	\$14,275		REPLACE	1
676			Remove and discard existing door	1.00	Ea.	\$35.00	\$35.00	\$18.98	\$53.98		REPLACE	1
677			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
678			3½" Fire rated door, painted	1.00	Ea.	\$1,091.00	\$1,091.00	\$591.58	\$1,682.58		REPLACE	1
679			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$439.21	\$1,249.21		REPLACE	1





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
680			Hardware	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	1
681			Install air-transfer above door with Fire/Smoke damper	1.00	Ea.	\$3,850.00	\$3,850.00	\$2,087.62	\$5,937.62		REPLACE	1
682			Patch adjacent surface to match ME	1.00	LS	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
683	Fire Doors	FRDR-B02000-009	Fire Doors	1	LS		\$120	\$65	\$185			
684	Fire Doors	FRDR-B02000-009CA1	Repair extra mounting holes.	1	Ea.		\$120	\$65	\$185		REPLACE	1
685			Repair extra mounting holes.	1.00	Ea.	\$120.00	\$120.00	\$65.07	\$185.07		REPLACE	1
686	Fire Doors	FRDR-B02000-011	Fire Doors	1	LS		\$1,780	\$965	\$2,745			
687	Fire Doors	FRDR-B02000-011CA1	Replace listing label through field-labeling service or replace fire door frame.	1	Ea.		\$1,780	\$965	\$2,745		REPLACE	1
688			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
689			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
690			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$439.21	\$1,249.21		REPLACE	1
691	Fire Doors	FRDR-B02000-013	Fire Doors	1	LS		\$35	\$19	\$54			
692	Fire Doors	FRDR-B02000-013CA1	Remove paint from fire door listing label.	1	Ea.		\$35	\$19	\$54		REPLACE	4
693			Remove paint from fire door listing label.	1.00	Ea.	\$35.00	\$35.00	\$18.98	\$53.98		REPLACE	4
694	Fire Doors	FRDR-B02000-014	Fire Doors	1	LS		\$1,780	\$965	\$2,745			
695	Fire Doors	FRDR-B02000-014CA1	Replace listing label through field-labeling service or replace fire door, frame, and hardware.	1	Ea.		\$1,780	\$965	\$2,745		REPLACE	1
696			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
697			Allowance for patching of finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
698			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$439.21	\$1,249.21		REPLACE	1
699	Fire Doors	FRDR-B02000-015	Fire Doors	1	LS		\$35	\$19	\$54			
700	Fire Doors	FRDR-B02000-015CA1	Remove paint from fire door frame listing label.	1	Ea.		\$35	\$19	\$54		REPLACE	4
701			Remove paint from fire door frame listing label.	1.00	Ea.	\$35.00	\$35.00	\$18.98	\$53.98		REPLACE	4
702	Fire Doors	FRDR-B02000-018	Fire Doors	1	LS		\$35	\$19	\$54			
703	Fire Doors	FRDR-B02000-018CA1	Remove paint from fire door frame listing label.	1	Ea.		\$35	\$19	\$54		REPLACE	4
704			Remove paint from fire door frame listing label.	1.00	Ea.	\$35.00	\$35.00	\$18.98	\$53.98		REPLACE	4
705	Fire Doors	FRDR-B02000-H04	Fire Doors	1	LS		\$9,630	\$5,222	\$14,852			
706	Fire Doors	FRDR-B02000-H04CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$9,630	\$5,222	\$14,852		REPLACE	1
707			Remove custom double door (2 panels x 22")	2.00	Ea.	\$35.00	\$70.00	\$37.96	\$107.96	\$53.98	REPLACE	1
708			Remove frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
709			New custom 44" fire rated door, historic appearance to ME	1.00	Ea.	\$2,390.00	\$2,390.00	\$1,295.95	\$3,685.95		REPLACE	1
710			New custom fire rated metal frame, historic appearance to ME	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	1
711			New fire hardware with card reader, electromagnetic lock with sensor release, push-to-exit	1.00	Ea.	\$2,850.00	\$2,850.00	\$1,545.38	\$4,395.38		REPLACE	1
712			Hardware Installation	1.00	LS	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
713			Automatic release and fire alarm tie-in	1.00	Ea.	\$1,950.00	\$1,950.00	\$1,057.37	\$3,007.37		REPLACE	1
714			Allowance for patching of adjacent finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
715	Fire Doors	FRDR-B02000-H10	Fire Doors	1	LS		\$9,630	\$5,222	\$14,852			
716	Fire Doors	FRDR-B02000-H10CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$9,630	\$5,222	\$14,852		REPLACE	1
717			Remove custom double door (2 panels x 22")	2.00	Ea.	\$35.00	\$70.00	\$37.96	\$107.96	\$53.98	REPLACE	1
718			Remove frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
719			New custom 44" fire rated door, historic appearance to ME	1.00	Ea.	\$2,390.00	\$2,390.00	\$1,295.95	\$3,685.95		REPLACE	1
720			New custom fire rated metal frame, historic appearance to ME	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	1
721			New fire hardware with card reader, electromagnetic lock with sensor release, push-to-exit	1.00	Ea.	\$2,850.00	\$2,850.00	\$1,545.38	\$4,395.38		REPLACE	1
722			Hardware Installation	1.00	LS	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
723			Automatic release and fire alarm tie-in	1.00	Ea.	\$1,950.00	\$1,950.00	\$1,057.37	\$3,007.37		REPLACE	1
724			Allowance for patching of adjacent finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
725	Fire Doors	FRDR-B02000-H21	Fire Doors	1	LS		\$9,630	\$5,222	\$14,852			
726	Fire Doors	FRDR-B02000-H21CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$9,630	\$5,222	\$14,852		REPLACE	1
727			Remove custom double door (2 panels x 22")	2.00	Ea.	\$35.00	\$70.00	\$37.96	\$107.96	\$53.98	REPLACE	1
728			Remove frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
729			New custom 44" fire rated door, historic appearance to ME	1.00	Ea.	\$2,390.00	\$2,390.00	\$1,295.95	\$3,685.95		REPLACE	1
730			New custom fire rated metal frame, historic appearance to ME	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	1
731			New fire hardware with card reader, electromagnetic lock with sensor release, push-to-exit	1.00	Ea.	\$2,850.00	\$2,850.00	\$1,545.38	\$4,395.38		REPLACE	1
732			Hardware Installation	1.00	LS	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
733			Automatic release and fire alarm tie-in	1.00	Ea.	\$1,950.00	\$1,950.00	\$1,057.37	\$3,007.37		REPLACE	1
734			Allowance for patching of adjacent finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
735	Fire Doors	FRDR-B03000-H01	Fire Doors	1	LS		\$9,630	\$5,222	\$14,852			
736	Fire Doors	FRDR-B03000-H01CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$9,630	\$5,222	\$14,852		REPLACE	1
737			Remove custom double door (2 panels x 22")	2.00	Ea.	\$35.00	\$70.00	\$37.96	\$107.96	\$53.98	REPLACE	1
738			Remove frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
739			New custom 44" fire rated door, historic appearance to ME	1.00	Ea.	\$2,390.00	\$2,390.00	\$1,295.95	\$3,685.95		REPLACE	1
740			New custom fire rated metal frame, historic appearance to ME	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	1
741			New fire hardware with card reader, electromagnetic lock with sensor release, push-to-exit	1.00	Ea.	\$2,850.00	\$2,850.00	\$1,545.38	\$4,395.38		REPLACE	1
742			Hardware Installation	1.00	LS	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
743			Automatic release and fire alarm tie-in	1.00	Ea.	\$1,950.00	\$1,950.00	\$1,057.37	\$3,007.37		REPLACE	1
744			Allowance for patching of adjacent finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
745	Fire Doors	FRDR-B03000-H02	Fire Doors	1	LS		\$9,630	\$5,222	\$14,852			
746	Fire Doors	FRDR-B03000-H02CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$9,630	\$5,222	\$14,852		REPLACE	1
747			Remove custom double door (2 panels x 22")	2.00	Ea.	\$35.00	\$70.00	\$37.96	\$107.96	\$53.98	REPLACE	1
748			Remove frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
749			New custom 44" fire rated door, historic appearance to ME	1.00	Ea.	\$2,390.00	\$2,390.00	\$1,295.95	\$3,685.95		REPLACE	1
750			New custom fire rated metal frame, historic appearance to ME	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	1
751			New fire hardware with card reader, electromagnetic lock with sensor release, push-to-exit	1.00	Ea.	\$2,850.00	\$2,850.00	\$1,545.38	\$4,395.38		REPLACE	1
752			Hardware Installation	1.00	LS	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
753			Automatic release and fire alarm tie-in	1.00	Ea.	\$1,950.00	\$1,950.00	\$1,057.37	\$3,007.37		REPLACE	1
754			Allowance for patching of adjacent finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
755	Fire Doors	FRDR-B03000-H03	Fire Doors	1	LS		\$9,630	\$5,222	\$14,852			
756	Fire Doors	FRDR-B03000-H03CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$9,630	\$5,222	\$14,852		REPLACE	1
757			Remove custom double door (2 panels x 22")	2.00	Ea.	\$35.00	\$70.00	\$37.96	\$107.96	\$53.98	REPLACE	1
758			Remove frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
759			New custom 44" fire rated door, historic appearance to ME	1.00	Ea.	\$2,390.00	\$2,390.00	\$1,295.95	\$3,685.95		REPLACE	1
760			New custom fire rated metal frame, historic appearance to ME	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	1
761			New fire hardware with card reader, electromagnetic lock with sensor release, push-to-exit	1.00	Ea.	\$2,850.00	\$2,850.00	\$1,545.38	\$4,395.38		REPLACE	1
762			Hardware Installation	1.00	LS	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
763			Automatic release and fire alarm tie-in	1.00	Ea.	\$1,950.00	\$1,950.00	\$1,057.37	\$3,007.37		REPLACE	1
764			Allowance for patching of adjacent finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
765	Fire Doors	FRDR-BB1000-002	Fire Doors	1	LS		\$2,935	\$1,591	\$4,526			
766	Fire Doors	FRDR-BB1000-002CA1	Remove paint from fire door and frame listing labels.	1	Ea.		\$35	\$19	\$54		REPLACE	1
767			Remove paint from fire door and frame listing labels.	1.00	Ea.	\$35.00	\$35.00	\$18.98	\$53.98		REPLACE	1





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
768	Fire Doors	FRDR-BB1000-002CA2	Replace unrated door hardware with labeled fire door hardware.	1	LS		\$2,900	\$1,572	\$4,472		REPLACE	1
769			Remove hardware	1.00	LS	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
770			New fire rated Hardware	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	1
771			Hardware installation	1.00	LS	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
772	Fire Doors	FRDR-BB1000-003	Fire Doors	1	LS		\$3,861	\$2,094	\$5,955			
773	Fire Doors	FRDR-BB1000-003CA1	Replace unrated door with fire-rated door and hardware.	1	Ea.		\$3,861	\$2,094	\$5,955		REPLACE	1
774			Remove and discard existing door	1.00	Ea.	\$35.00	\$35.00	\$18.98	\$53.98		REPLACE	1
775			3'x7' Fire rated door, painted	1.00	Ea.	\$1,091.00	\$1,091.00	\$591.58	\$1,682.58		REPLACE	1
776			Hardware	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	1
777			Labor to install hardware	1.00	LS	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
778			Labor to remove paint from existing door and frame labels	1.00	LS	\$35.00	\$35.00	\$18.98	\$53.98		REPLACE	1
779	Fire Doors	FRDR-BB1000-004	Fire Doors	1	LS		\$35	\$19	\$54			
780	Fire Doors	FRDR-BB1000-004CA1	Remove paint from fire door frame listing label.	1	Ea.		\$35	\$19	\$54		REPLACE	1
781			Remove paint from fire door frame listing label.	1.00	Ea.	\$35.00	\$35.00	\$18.98	\$53.98		REPLACE	1
782	Fire Doors	FRDR-BB1000-005	Fire Doors	1	LS		\$35	\$19	\$54			
783	Fire Doors	FRDR-BB1000-005CA1	Remove paint from fire door frame listing label.	1	Ea.		\$35	\$19	\$54		REPLACE	1
784			Remove paint from fire door frame listing label.	1.00	Ea.	\$35.00	\$35.00	\$18.98	\$53.98		REPLACE	1
785	Fire Doors	FRDR-BB1000-H01	Fire Doors	1	LS		\$9,630	\$5,222	\$14,852			
786	Fire Doors	FRDR-BB1000-H01CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$9,630	\$5,222	\$14,852		REPLACE	1
787			Remove custom double door (2 panels x 22")	2.00	Ea.	\$35.00	\$70.00	\$37.96	\$107.96	\$53.98	REPLACE	1
788			Remove frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
789			New custom 44" fire rated door, historic appearance to ME	1.00	Ea.	\$2,390.00	\$2,390.00	\$1,295.95	\$3,685.95		REPLACE	1
790			New custom fire rated metal frame, historic appearance to ME	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	1
791			New fire hardware with card reader, electromagnetic lock with sensor release, push-to-exit	1.00	Ea.	\$2,850.00	\$2,850.00	\$1,545.38	\$4,395.38		REPLACE	1
792			Hardware Installation	1.00	LS	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
793			Automatic release and fire alarm tie-in	1.00	Ea.	\$1,950.00	\$1,950.00	\$1,057.37	\$3,007.37		REPLACE	1
794			Allowance for patching of adjacent finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
795	Fire Doors	FRDR-BB1000-H07	Fire Doors	1	LS		\$9,630	\$5,222	\$14,852			
796	Fire Doors	FRDR-BB1000-H07CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$9,630	\$5,222	\$14,852		REPLACE	1
797			Remove custom double door (2 panels x 22")	2.00	Ea.	\$35.00	\$70.00	\$37.96	\$107.96	\$53.98	REPLACE	1
798			Remove frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
799			New custom 44" fire rated door, historic appearance to ME	1.00	Ea.	\$2,390.00	\$2,390.00	\$1,295.95	\$3,685.95		REPLACE	1
800			New custom fire rated metal frame, historic appearance to ME	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	1
801			New fire hardware with card reader, electromagnetic lock with sensor release, push-to-exit	1.00	Ea.	\$2,850.00	\$2,850.00	\$1,545.38	\$4,395.38		REPLACE	1
802			Hardware Installation	1.00	LS	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
803			Automatic release and fire alarm tie-in	1.00	Ea.	\$1,950.00	\$1,950.00	\$1,057.37	\$3,007.37		REPLACE	1
804			Allowance for patching of adjacent finishes at frame installation	1.00	Ea.	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
805	Fire Doors	FRDR-BPH000-001	Fire Doors	1	LS		\$9,256	\$5,019	\$14,275			
806	Fire Doors	FRDR-BPH000-001CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$9,256	\$5,019	\$14,275		REPLACE	1
807			Remove and discard existing door	1.00	Ea.	\$35.00	\$35.00	\$18.98	\$53.98		REPLACE	1
808			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
809			3'x7' Fire rated door, painted	1.00	Ea.	\$1,091.00	\$1,091.00	\$591.58	\$1,682.58		REPLACE	1
810			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$439.21	\$1,249.21		REPLACE	1
811			Hardware	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	1
812			Install air-transfer above door with Fire/Smoke damper	1.00	Ea.	\$3,850.00	\$3,850.00	\$2,087.62	\$5,937.62		REPLACE	1
813			Patch adjacent surface to match ME	1.00	LS	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
814	Fire Doors	FRDR-BPH000-002	Fire Doors	1	LS		\$5,406	\$2,931	\$8,337			
815	Fire Doors	FRDR-BPH000-002CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$5,406	\$2,931	\$8,337		REPLACE	1
816			Remove and discard existing door	1.00	Ea.	\$35.00	\$35.00	\$18.98	\$53.98		REPLACE	1
817			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
818			3'x7' Fire rated door, painted	1.00	Ea.	\$1,091.00	\$1,091.00	\$591.58	\$1,682.58		REPLACE	1
819			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$439.21	\$1,249.21		REPLACE	1
820			Hardware	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	1
821			Patch adjacent surface to match ME	1.00	LS	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
822	Fire Doors	FRDR-BPH000-003	Fire Doors	1	LS		\$10,812	\$5,863	\$16,675			
823	Fire Doors	FRDR-BPH000-003CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$5,406	\$2,931	\$8,337		REPLACE	1
824			Remove and discard existing door	1.00	Ea.	\$35.00	\$35.00	\$18.98	\$53.98		REPLACE	1
825			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
826			3'x7' Fire rated door, painted	1.00	Ea.	\$1,091.00	\$1,091.00	\$591.58	\$1,682.58		REPLACE	1
827			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$439.21	\$1,249.21		REPLACE	1
828			Hardware	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	1
829			Patch adjacent surface to match ME	1.00	LS	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
830	Fire Doors	FRDR-BPH000-003CA1	Replace unrated door assembly with fire-rated door assembly and hardware.	1	Ea.		\$5,406	\$2,931	\$8,337		REPLACE	1
831			Remove and discard existing door	1.00	Ea.	\$35.00	\$35.00	\$18.98	\$53.98		REPLACE	1
832			Remove door frame	1.00	Ea.	\$170.00	\$170.00	\$92.18	\$262.18		REPLACE	1
833			3'x7' Fire rated door, painted	1.00	Ea.	\$1,091.00	\$1,091.00	\$591.58	\$1,682.58		REPLACE	1
834			New fire rated metal frame with FR labeling	1.00	LS	\$810.00	\$810.00	\$439.21	\$1,249.21		REPLACE	1
835			Hardware	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	1
836			Patch adjacent surface to match ME	1.00	LS	\$800.00	\$800.00	\$433.79	\$1,233.79		REPLACE	1
837	Interior Doors	C102004	Sliding and Folding Doors	1	LS		\$1,000	\$504	\$1,504			
838	Sliding and Folding Doors	DLDR-BB1000-001	Sliding and Folding Doors	1	LS		\$1,000	\$504	\$1,504			
839	Sliding and Folding Doors	DLDR-BB1000-001CA1	Repair sliding door at mechanical room.	1	Unit		\$1,000	\$504	\$1,504		REPAIR	3
840			Repair sliding door at mechanical room.	2.00	Unit	\$500.00	\$1,000.00	\$503.68	\$1,503.68	\$751.84	REPAIR	3
841	Interior Doors	C102006	Interior Gates	1	LS		\$3,750	\$1,889	\$5,639			
842	Interior Gates	INGT-B01000-001	Interior Gates	1	LS		\$1,500	\$756	\$2,256			
843	Interior Gates	INGT-B01000-001CA1	Repair or replace missing interior gate.	1	Unit		\$1,500	\$756	\$2,256		REPAIR	3
844			Repair or replace missing interior gate.	2.00	Unit	\$750.00	\$1,500.00	\$755.53	\$2,255.53	\$1,127.76	REPAIR	3
845	Interior Gates	INGT-B02000-001	Interior Gates	1	LS		\$2,250	\$1,133	\$3,383			
846	Interior Gates	INGT-B02000-001CA1	Repair or replace missing interior gate.	1	Unit		\$2,250	\$1,133	\$3,383		REPAIR	3
847			Repair or replace missing interior gate.	3.00	Unit	\$750.00	\$2,250.00	\$1,133.29	\$3,383.29	\$1,127.76	REPAIR	3
848	Interior Doors	C102007	Interior Door Hardware	1	LS		\$10,000	\$5,484	\$15,484			
849	Interior Door Hardware	DRHD-B01000-001	Interior Door Hardware	1	LS		\$3,600	\$1,979	\$5,579			
850	Interior Door Hardware	DRHD-B01000-001CA1	Upgrade panic hardware.	1	Unit		\$3,600	\$1,979	\$5,579		UPGRADE	1
851			Upgrade panic hardware.	3.00	Unit	\$1,200.00	\$3,600.00	\$1,978.50	\$5,578.50	\$1,859.50	UPGRADE	1
852	Interior Door Hardware	DRHD-B02000-001	Interior Door Hardware	1	LS		\$4,800	\$2,638	\$7,438			
853	Interior Door Hardware	DRHD-B02000-001CA1	Upgrade panic hardware.	1	Unit		\$4,800	\$2,638	\$7,438		UPGRADE	1
854			Upgrade panic hardware.	3.00	Unit	\$1,600.00	\$4,800.00	\$2,638.00	\$7,438.00	\$2,479.33	UPGRADE	1
855	Interior Door Hardware	DRHD-B02000-003	Interior Door Hardware	1	LS		\$1,600	\$868	\$2,468			
856	Interior Door Hardware	DRHD-B02000-003CA1	Replace door closer.	1	Unit		\$1,600	\$868	\$2,468		REPLACE	1
857			Replace door closer.	1.00	Unit	\$1,600.00	\$1,600.00	\$867.58	\$2,467.58		REPLACE	1
858	Interior Doors	C102098	Other Interior Specialty Doors	1	LS		\$102,100	\$52,398	\$154,498			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$ [†]	2021 Cost	2021 Unit Cost	Req. Type	Priority
859	Other Interior Specialty Doors	INTS-BB1000-003	Other Interior Specialty Doors	1	LS		\$20,000	\$10,074	\$30,074			
860	Other Interior Specialty Doors	INTS-BB1000-003CA1	Repair and paint metal	1	Unit		\$7,000	\$3,526	\$10,526		REPAIR	4
861			Repair and paint metal	2.00	Unit	\$3,500.00	\$7,000.00	\$3,525.79	\$10,525.79	\$5,262.89	REPAIR	4
862	Other Interior Specialty Doors	INTS-BB1000-003CA2	Repair and restore historic clocks.	1	Unit		\$13,000	\$6,548	\$19,548		REPAIR	1
863			Repair and restore historic clocks.	2.00	Unit	\$6,500.00	\$13,000.00	\$6,547.89	\$19,547.89	\$9,773.95	REPAIR	1
864	Other Interior Specialty Doors	SPDR-B01000-H01	Other Interior Specialty Doors	1	LS		\$14,000	\$7,052	\$21,052			
865	Other Interior Specialty Doors	SPDR-B01000-H01CA1	Repair and restore historic metal frames.	1	Unit		\$14,000	\$7,052	\$21,052		REPAIR	3
866			Repair and restore historic metal frames.	4.00	Unit	\$3,500.00	\$14,000.00	\$7,051.58	\$21,051.58	\$5,262.89	REPAIR	3
867	Other Interior Specialty Doors	SPDR-B01000-H02	Other Interior Specialty Doors	1	LS		\$7,000	\$3,526	\$10,526			
868	Other Interior Specialty Doors	SPDR-B01000-H02CA1	Repair and restore historic metal frames.	1	Unit		\$7,000	\$3,526	\$10,526		REPAIR	3
869			Repair and restore historic metal frames.	2.00	Unit	\$3,500.00	\$7,000.00	\$3,525.79	\$10,525.79	\$5,262.89	REPAIR	3
870	Other Interior Specialty Doors	SPDR-B02000-H01	Other Interior Specialty Doors	1	LS		\$14,000	\$7,052	\$21,052			
871	Other Interior Specialty Doors	SPDR-B02000-H01CA1	Repair and restore historic metal frames.	1	Unit		\$14,000	\$7,052	\$21,052		REPAIR	3
872			Repair and restore historic metal frames.	4.00	Unit	\$3,500.00	\$14,000.00	\$7,051.58	\$21,051.58	\$5,262.89	REPAIR	3
873	Other Interior Specialty Doors	SPDR-B03000-H01	Other Interior Specialty Doors	1	LS		\$14,000	\$7,052	\$21,052			
874	Other Interior Specialty Doors	SPDR-B03000-H01CA1	Repair and restore historic metal frames.	1	Unit		\$14,000	\$7,052	\$21,052		REPAIR	3
875			Repair and restore historic metal frames.	4.00	Unit	\$3,500.00	\$14,000.00	\$7,051.58	\$21,051.58	\$5,262.89	REPAIR	3
876	Other Interior Specialty Doors	SPDR-B03000-H02	Other Interior Specialty Doors	1	LS		\$7,000	\$3,526	\$10,526			
877	Other Interior Specialty Doors	SPDR-B03000-H02CA1	Repair and restore historic metal frames.	1	Unit		\$7,000	\$3,526	\$10,526		REPAIR	3
878			Repair and restore historic metal frames.	2.00	Unit	\$3,500.00	\$7,000.00	\$3,525.79	\$10,525.79	\$5,262.89	REPAIR	3
879	Other Interior Specialty Doors	SPDR-BB1000-001	Other Interior Specialty Doors	1	LS		\$900	\$453	\$1,353			
880	Other Interior Specialty Doors	SPDR-BB1000-001CA1	Repair deteriorated double door to exterior lift.	1	Unit		\$900	\$453	\$1,353		REPAIR	3
881			Repair deteriorated double door to exterior lift.	1.00	Unit	\$900.00	\$900.00	\$453.32	\$1,353.32		REPAIR	3
882	Other Interior Specialty Doors	SPDR-BB1000-002	Other Interior Specialty Doors	1	LS		\$25,200	\$13,664	\$38,864			
883	Other Interior Specialty Doors	SPDR-BB1000-002CA1	Replace all detainee doors.	1	Unit		\$25,200	\$13,664	\$38,864		REPLACE	1
884			Replace all detainee doors.	14.00	Unit	\$1,800.00	\$25,200.00	\$13,664.45	\$38,864.45	\$2,776.03	REPLACE	1
885	Interior Construction	C1030	Fittings	1	LS		\$152,025	\$82,801	\$234,826			
886	Fittings	C103001	Compartments, Cubicles, Toilet Partitions	1	LS		\$6,800	\$3,425	\$10,225			
887	Compartments, Cubicles, Toilet Partitions	TPTN-B02000-H01	Compartments, Cubicles, Toilet Partitions	1	LS		\$2,400	\$1,209	\$3,609			
888	Compartments, Cubicles, Toilet Partitions	TPTN-B02000-H01CA1	Install missing hardware.	1	Unit		\$2,400	\$1,209	\$3,609		REPAIR	2
889			Install missing hardware.	2.00	Unit	\$1,200.00	\$2,400.00	\$1,208.84	\$3,608.84	\$1,804.42	REPAIR	2





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
890	Compartments, Cubicles, Toilet Partitions	TPTN-B03000-H01	Compartments, Cubicles, Toilet Partitions	1	LS		\$4,400	\$2,216	\$6,616			
891	Compartments, Cubicles, Toilet Partitions	TPTN-B03000-H01CA1	Install missing door.	1	Set		\$4,400	\$2,216	\$6,616		REPAIR	2
892			Install missing door.	4.00	Set	\$1,100.00	\$4,400.00	\$2,216.21	\$6,616.21	\$1,654.05	REPAIR	2
893	Fittings	C103002	Toilet and Bath Accessories	1	LS		\$10,210	\$5,564	\$15,774			
894	Toilet and Bath Accessories	TA-B01000-002	Toilet and Bath Accessories	1	LS		\$500	\$271	\$771			
895	Toilet and Bath Accessories	TA-B01000-002CA1	Replace mirror.	1	Unit		\$500	\$271	\$771		REPLACE	2
896			Replace mirror.	1.00	Unit	\$500.00	\$500.00	\$271.12	\$771.12		REPLACE	2
897	Toilet and Bath Accessories	TA-B01000-006	Toilet and Bath Accessories	1	LS		\$2,000	\$1,099	\$3,099			
898	Toilet and Bath Accessories	TA-B01000-006CA1	Upgrade changing station.	1	Unit		\$2,000	\$1,099	\$3,099		UPGRADE	3
899			Upgrade changing station.	2.00	Unit	\$1,000.00	\$2,000.00	\$1,099.17	\$3,099.17	\$1,549.58	UPGRADE	3
900	Toilet and Bath Accessories	TA-B01000-008	Toilet and Bath Accessories	1	LS		\$325	\$176	\$501			
901	Toilet and Bath Accessories	TA-B01000-008CA1	Replace dispenser.	1	Unit		\$325	\$176	\$501		REPLACE	3
902			Replace dispenser.	5.00	Unit	\$65.00	\$325.00	\$176.23	\$501.23	\$100.25	REPLACE	3
903	Toilet and Bath Accessories	TA-B01000-013	Toilet and Bath Accessories	1	LS		\$65	\$35	\$100			
904	Toilet and Bath Accessories	TA-B01000-013CA1	Replace toilet tissue dispenser.	1	Unit		\$65	\$35	\$100		REPLACE	1
905			Replace toilet tissue dispenser.	1.00	Unit	\$65.00	\$65.00	\$35.25	\$100.25		REPLACE	1
906	Toilet and Bath Accessories	TA-B02000-001	Toilet and Bath Accessories	1	LS		\$90	\$49	\$139			
907	Toilet and Bath Accessories	TA-B02000-001CA1	Replace soap dish.	1	Unit		\$90	\$49	\$139		REPLACE	3
908			Replace soap dish.	2.00	Unit	\$45.00	\$90.00	\$48.80	\$138.80	\$69.40	REPLACE	3
909	Toilet and Bath Accessories	TA-B02000-009	Toilet and Bath Accessories	1	LS		\$2,000	\$1,099	\$3,099			
910	Toilet and Bath Accessories	TA-B02000-009CA1	Upgrade changing station.	1	Unit		\$2,000	\$1,099	\$3,099		UPGRADE	3
911			Upgrade changing station.	2.00	Unit	\$1,000.00	\$2,000.00	\$1,099.17	\$3,099.17	\$1,549.58	UPGRADE	3
912	Toilet and Bath Accessories	TA-B02000-015	Toilet and Bath Accessories	1	LS		\$585	\$317	\$902			
913	Toilet and Bath Accessories	TA-B02000-015CA1	Replace toilet tissue dispenser.	1	Set		\$585	\$317	\$902		REPLACE	1
914			Replace toilet tissue dispenser.	13.00	Set	\$45.00	\$585.00	\$317.21	\$902.21	\$69.40	REPLACE	1
915	Toilet and Bath Accessories	TA-B02000-016	Toilet and Bath Accessories	1	LS		\$130	\$70	\$200			
916	Toilet and Bath Accessories	TA-B02000-016CA1	Replace toilet tissue dispenser.	1	Unit		\$130	\$70	\$200		REPLACE	1
917			Replace toilet tissue dispenser.	2.00	Unit	\$65.00	\$130.00	\$70.49	\$200.49	\$100.25	REPLACE	1
918	Toilet and Bath Accessories	TA-B03000-001	Toilet and Bath Accessories	1	LS		\$180	\$99	\$279			
919	Toilet and Bath Accessories	TA-B03000-001CA1	Replace soap dish.	1	Unit		\$180	\$99	\$279		UPGRADE	3
920			Replace soap dish.	4.00	Unit	\$45.00	\$180.00	\$98.93	\$278.93	\$69.73	UPGRADE	3





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
921	Toilet and Bath Accessories	TA-B03000-006	Toilet and Bath Accessories	1	LS		\$2,000	\$1,084	\$3,084			
922	Toilet and Bath Accessories	TA-B03000-006CA1	Upgrade changing station.	1	Unit		\$2,000	\$1,084	\$3,084		REPLACE	3
923			Upgrade changing station.	2.00	Unit	\$1,000.00	\$2,000.00	\$1,084.48	\$3,084.48	\$1,542.24	REPLACE	3
924	Toilet and Bath Accessories	TA-B03000-007	Toilet and Bath Accessories	1	LS		\$270	\$136	\$406			
925	Toilet and Bath Accessories	TA-B03000-007CA1	Add missing parts.	1	Unit		\$270	\$136	\$406		REPAIR	2
926			Add missing parts.	6.00	Unit	\$45.00	\$270.00	\$135.99	\$405.99	\$67.67	REPAIR	2
927	Toilet and Bath Accessories	TA-B03000-009	Toilet and Bath Accessories	1	LS		\$330	\$174	\$504			
928	Toilet and Bath Accessories	TA-B03000-009CA1	Install soap dispenser.	1	Unit		\$135	\$68	\$203		REPAIR	1
929			Install soap dispenser.	3.00	Unit	\$45.00	\$135.00	\$68.00	\$203.00	\$67.67	REPAIR	1
930	Toilet and Bath Accessories	TA-B03000-009CA2	Replace dispenser.	1	Unit		\$195	\$106	\$301		REPLACE	3
931			Replace dispenser.	3.00	Unit	\$65.00	\$195.00	\$105.74	\$300.74	\$100.25	REPLACE	3
932	Toilet and Bath Accessories	TA-BB1000-001	Toilet and Bath Accessories	1	LS		\$500	\$275	\$775			
933	Toilet and Bath Accessories	TA-BB1000-001CA1	Install ADA grab bars.	1	Set		\$500	\$275	\$775		UPGRADE	2
934			Install ADA grab bars.	2.00	Set	\$250.00	\$500.00	\$274.79	\$774.79	\$387.40	UPGRADE	2
935	Toilet and Bath Accessories	TA-BB1000-002	Toilet and Bath Accessories	1	LS		\$90	\$49	\$139			
936	Toilet and Bath Accessories	TA-BB1000-002CA1	Install soap dish.	1	Set		\$90	\$49	\$139		UPGRADE	2
937			Install soap dish.	2.00	Set	\$45.00	\$90.00	\$49.46	\$139.46	\$69.73	UPGRADE	2
938	Toilet and Bath Accessories	TA-BB1000-003	Toilet and Bath Accessories	1	LS		\$240	\$132	\$372			
939	Toilet and Bath Accessories	TA-BB1000-003CA1	Install ADA grab bars.	1	Set		\$175	\$96	\$271		UPGRADE	2
940			Install ADA grab bars.	1.00	Set	\$175.00	\$175.00	\$96.18	\$271.18		UPGRADE	2
941	Toilet and Bath Accessories	TA-BB1000-003CA2	Install toilet paper dispenser.	1	Set		\$65	\$36	\$101		UPGRADE	1
942			Install toilet paper dispenser.	1.00	Set	\$65.00	\$65.00	\$35.72	\$100.72		UPGRADE	1
943	Toilet and Bath Accessories	TA-BB1000-005	Toilet and Bath Accessories	1	LS		\$175	\$96	\$271			
944	Toilet and Bath Accessories	TA-BB1000-005CA1	Install ADA grab bars.	1	Set		\$175	\$96	\$271		UPGRADE	2
945			Install ADA grab bars.	1.00	Set	\$175.00	\$175.00	\$96.18	\$271.18		UPGRADE	2
946	Toilet and Bath Accessories	TA-BB1000-011	Toilet and Bath Accessories	1	LS		\$350	\$192	\$542			
947	Toilet and Bath Accessories	TA-BB1000-011CA1	Install ADA grab bars.	1	Set		\$350	\$192	\$542		UPGRADE	2
948			Install ADA grab bars.	2.00	Set	\$175.00	\$350.00	\$192.35	\$542.35	\$271.18	UPGRADE	2
949	Toilet and Bath Accessories	TA-BB1000-012	Toilet and Bath Accessories	1	LS		\$45	\$25	\$70			
950	Toilet and Bath Accessories	TA-BB1000-012CA1	Install soap dish.	1	Unit		\$45	\$25	\$70		UPGRADE	2
951			Install soap dish.	1.00	Unit	\$45.00	\$45.00	\$24.73	\$69.73		UPGRADE	2
952	Toilet and Bath Accessories	TA-BB1000-013	Toilet and Bath Accessories	1	LS		\$110	\$60	\$170			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
953	Toilet and Bath Accessories	TA-BB1000-013CA1	Install soap dish.	1	Unit		\$45	\$25	\$70		UPGRADE	2
954			Install soap dish.	1.00	Unit	\$45.00	\$45.00	\$24.73	\$69.73		UPGRADE	2
955	Toilet and Bath Accessories	TA-BB1000-013CA2	Replace dispenser.	1	Unit		\$65	\$35	\$100		REPLACE	2
956			Replace dispenser.	1.00	Unit	\$65.00	\$65.00	\$35.25	\$100.25		REPLACE	2
957	Toilet and Bath Accessories	TA-BB1000-017	Toilet and Bath Accessories	1	LS		\$225	\$124	\$349			
958	Toilet and Bath Accessories	TA-BB1000-017CA1	Replace accessories.	1	Set		\$225	\$124	\$349		UPGRADE	2
959			Replace accessories.	1.00	Set	\$225.00	\$225.00	\$123.66	\$348.66		UPGRADE	2
960	Fittings	C103004	Identifying Devices	1	LS		\$8,050	\$4,424	\$12,474			
961	Identifying Devices	IDD-B01000-001	Identifying Devices	1	LS		\$7,130	\$3,919	\$11,049			
962	Identifying Devices	IDD-B01000-001CA1	Upgrade signage on Basement	1	Unit		\$7,130	\$3,919	\$11,049		UPGRADE	2
963			Upgrade signage on Basement	62.00	Unit	\$115.00	\$7,130.00	\$3,918.53	\$11,048.53	\$178.20	UPGRADE	2
964	Identifying Devices	IDD-BB1000-001	Identifying Devices	1	LS		\$920	\$506	\$1,426			
965	Identifying Devices	IDD-BB1000-001CA1	Install signs to match the building standards in basement	1	Unit		\$920	\$506	\$1,426		UPGRADE	2
966			Install signs to match the building standards in basement	8.00	Unit	\$115.00	\$920.00	\$505.62	\$1,425.62	\$178.20	UPGRADE	2
967	Fittings	C103005	Lockers	1	LS		\$2,755	\$1,388	\$4,143			
968	Lockers	LCKR-BB1000-001	Lockers	1	LS		\$2,755	\$1,388	\$4,143			
969	Lockers	LCKR-BB1000-001CA1	Repair hardware.	1	Unit		\$2,755	\$1,388	\$4,143		REPAIR	3
970			Repair hardware.	19.00	Unit	\$145.00	\$2,755.00	\$1,387.65	\$4,142.65	\$218.03	REPAIR	3
971	Fittings	C103006	Shelving	1	LS		\$1,420	\$770	\$2,190			
972	Shelving	SHLV-B01000-001	Shelving	1	LS		\$130	\$70	\$200			
973	Shelving	SHLV-B01000-001CA1	Replace shelving.	1	Unit		\$130	\$70	\$200		REPLACE	2
974			Replace shelving.	2.00	Unit	\$65.00	\$130.00	\$70.49	\$200.49	\$100.25	REPLACE	2
975	Shelving	SHLV-B02000-002	Shelving	1	LS		\$900	\$488	\$1,388			
976	Shelving	SHLV-B02000-002CA1	Replace shelving.	1	Tier		\$900	\$488	\$1,388		REPLACE	2
977			Replace shelving.	4.00	Tier	\$225.00	\$900.00	\$488.02	\$1,388.02	\$347.00	REPLACE	2
978	Shelving	SHLV-B03000-001	Shelving	1	LS		\$130	\$70	\$200			
979	Shelving	SHLV-B03000-001CA1	Replace shelving.	1	Unit		\$130	\$70	\$200		REPLACE	2
980			Replace shelving.	2.00	Unit	\$65.00	\$130.00	\$70.49	\$200.49	\$100.25	REPLACE	2
981	Shelving	SHLV-BB1000-001	Shelving	1	LS		\$260	\$141	\$401			
982	Shelving	SHLV-BB1000-001CA1	Replace shelving.	1	Unit		\$260	\$141	\$401		REPLACE	2
983			Replace shelving.	4.00	Unit	\$65.00	\$260.00	\$140.98	\$400.98	\$100.25	REPLACE	2
984	Fittings	C103008	Counters	1	LS		\$30,365	\$16,673	\$47,038			
985	Counters	CTR-B01000-001	Counters	1	LS		\$1,575	\$866	\$2,441			
986	Counters	CTR-B01000-001CA1	Upgrade counter	1	S.F.		\$1,575	\$866	\$2,441		UPGRADE	3
987			Upgrade counter	21.00	S.F.	\$75.00	\$1,575.00	\$865.59	\$2,440.59	\$116.22	UPGRADE	3
988	Counters	CTR-B01000-002	Counters	1	LS		\$1,080	\$594	\$1,674			
989	Counters	CTR-B01000-002CA1	Correct ADA Door clearance issue	1	S.F.		\$1,080	\$594	\$1,674		UPGRADE	2
990			Correct ADA Door clearance issue	24.00	S.F.	\$45.00	\$1,080.00	\$593.55	\$1,673.55	\$69.73	UPGRADE	2
991	Counters	CTR-B01000-003	Counters	1	LS		\$1,350	\$742	\$2,092			
992	Counters	CTR-B01000-003CA1	Upgrade counter	1	Unit		\$1,350	\$742	\$2,092		UPGRADE	3
993			Upgrade counter	1.00	Unit	\$1,350.00	\$1,350.00	\$741.94	\$2,091.94		UPGRADE	3
994	Counters	CTR-B01000-004	Counters	1	LS		\$19,800	\$10,882	\$30,682			
995	Counters	CTR-B01000-004CA1	Upgrade counter	1	Unit		\$19,800	\$10,882	\$30,682		UPGRADE	3
996			Upgrade counter	264.00	Unit	\$75.00	\$19,800.00	\$10,881.76	\$30,681.76	\$116.22	UPGRADE	3
997	Counters	CTR-B01000-006	Counters	1	LS		\$825	\$453	\$1,278			
998	Counters	CTR-B01000-006CA1	Upgrade counter	1	S.F.		\$825	\$453	\$1,278		UPGRADE	3





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
999			Upgrade counter	11.00	S.F.	\$75.00	\$825.00	\$453.41	\$1,278.41	\$116.22	UPGRADE	3
1000	Counters	CTR-B02000-001	Counters	1	LS		\$250	\$126	\$376			
1001	Counters	CTR-B02000-001CA1	Repair Sealant	1	L.F.		\$250	\$126	\$376		REPAIR	4
1002			Repair Sealant	50.00	L.F.	\$5.00	\$250.00	\$125.92	\$375.92	\$7.52	REPAIR	4
1003	Counters	CTR-B02000-002	Counters	1	LS		\$3,750	\$2,061	\$5,811			
1004	Counters	CTR-B02000-002CA1	Upgrade counter	1	S.F.		\$3,750	\$2,061	\$5,811		UPGRADE	3
1005			Upgrade counter	36.00	S.F.	\$75.00	\$2,700.00	\$1,483.88	\$4,183.88	\$116.22	UPGRADE	3
1006			7 sinks cut outs	7.00	Ea.	\$150.00	\$1,050.00	\$577.06	\$1,627.06	\$232.44	UPGRADE	3
1007	Counters	CTR-B03000-001	Counters	1	LS		\$1,650	\$907	\$2,557			
1008	Counters	CTR-B03000-001CA1	Upgrade counter	1	S.F.		\$1,650	\$907	\$2,557		UPGRADE	3
1009			Upgrade counter	16.00	S.F.	\$75.00	\$1,200.00	\$659.50	\$1,859.50	\$116.22	UPGRADE	3
1010			3 sinks cut outs	3.00	Ea.	\$150.00	\$450.00	\$247.31	\$697.31	\$232.44	UPGRADE	3
1011	Counters	CTR-BB1000-002	Counters	1	LS		\$55	\$28	\$83			
1012	Counters	CTR-BB1000-002CA1	Repair Sealant	1	L.F.		\$55	\$28	\$83		REPAIR	3
1013			Repair Sealant	11.00	L.F.	\$5.00	\$55.00	\$27.70	\$82.70	\$7.52	REPAIR	3
1014	Counters	CTR-BB1000-003	Counters	1	LS		\$30	\$15	\$45			
1015	Counters	CTR-BB1000-003CA1	Repair Sealant	1	L.F.		\$30	\$15	\$45		REPAIR	3
1016			Repair Sealant	6.00	L.F.	\$5.00	\$30.00	\$15.11	\$45.11	\$7.52	REPAIR	3
1017	Fittings	C103014	Casework	1	LS		\$87,685	\$47,997	\$135,682			
1018	Casework	CSW-B01000-001	Casework	1	LS		\$700	\$353	\$1,053			
1019	Casework	CSW-B01000-001CA1	Repair wood scratches	1	Unit		\$700	\$353	\$1,053		REPAIR	3
1020			Repair wood scratches	2.00	Unit	\$350.00	\$700.00	\$352.58	\$1,052.58	\$526.29	REPAIR	3
1021	Casework	CSW-B01000-002	Casework	1	LS		\$1,200	\$624	\$1,824			
1022	Casework	CSW-B01000-002CA1	Repair wood scratches	1	Unit		\$700	\$353	\$1,053		REPAIR	3
1023			Repair wood scratches	2.00	Unit	\$350.00	\$700.00	\$352.58	\$1,052.58	\$526.29	REPAIR	3
1024	Casework	CSW-B01000-002CA2	Replace damaged base	1	Unit		\$500	\$271	\$771		REPLACE	3
1025			Replace damaged base	2.00	Unit	\$250.00	\$500.00	\$271.12	\$771.12	\$385.56	REPLACE	3
1026	Casework	CSW-B01000-003	Casework	1	LS		\$500	\$271	\$771			
1027	Casework	CSW-B01000-003CA1	Replace damaged base	1	Unit		\$500	\$271	\$771		REPLACE	3
1028			Replace damaged base	2.00	Unit	\$250.00	\$500.00	\$271.12	\$771.12	\$385.56	REPLACE	3
1029	Casework	CSW-B01000-005	Casework	1	LS		\$75,000	\$41,219	\$116,219			
1030	Casework	CSW-B01000-005CA1	Upgrade fixed workstations	1	Unit		\$75,000	\$41,219	\$116,219		UPGRADE	3
1031			Upgrade fixed workstations	10.00	Unit	\$7,500.00	\$75,000.00	\$41,218.80	\$116,218.80	\$11,621.88	UPGRADE	3
1032	Casework	CSW-B02000-002	Casework	1	LS		\$1,200	\$624	\$1,824			
1033	Casework	CSW-B02000-002CA1	Repair wood scratches	1	Unit		\$700	\$353	\$1,053		REPAIR	3
1034			Repair wood scratches	2.00	Unit	\$350.00	\$700.00	\$352.58	\$1,052.58	\$526.29	REPAIR	3
1035	Casework	CSW-B02000-002CA2	Replaced damaged base	1	Unit		\$500	\$271	\$771		REPLACE	3
1036			Replaced damaged base	2.00	Unit	\$250.00	\$500.00	\$271.12	\$771.12	\$385.56	REPLACE	3
1037	Casework	CSW-B02000-003	Casework	1	LS		\$1,200	\$624	\$1,824			
1038	Casework	CSW-B02000-003CA1	Repair wood scratches	1	Unit		\$700	\$353	\$1,053		REPAIR	3
1039			Repair wood scratches	2.00	Unit	\$350.00	\$700.00	\$352.58	\$1,052.58	\$526.29	REPAIR	3
1040	Casework	CSW-B02000-003CA2	Replaced damaged base	1	Unit		\$500	\$271	\$771		REPLACE	3
1041			Replaced damaged base	2.00	Unit	\$250.00	\$500.00	\$271.12	\$771.12	\$385.56	REPLACE	3
1042	Casework	CSW-B02000-005	Casework	1	LS		\$1,050	\$577	\$1,627			
1043	Casework	CSW-B02000-005CA1	Upgrade counter	1	S.F.		\$1,050	\$577	\$1,627		UPGRADE	2
1044			Upgrade counter	14.00	S.F.	\$75.00	\$1,050.00	\$577.06	\$1,627.06	\$116.22	UPGRADE	2
1045	Casework	CSW-B03000-003	Casework	1	LS		\$85	\$43	\$128			
1046	Casework	CSW-B03000-003CA1	Repair wood scratches	1	Tier		\$85	\$43	\$128		REPAIR	3
1047			Repair wood scratches	1.00	Tier	\$85.00	\$85.00	\$42.81	\$127.81		REPAIR	3
1048	Casework	CSW-B03000-004	Casework	1	LS		\$1,050	\$577	\$1,627			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
1049	Casework	CSW-B03000-004CA1	Upgrade counter	1	S.F.		\$1,050	\$577	\$1,627		UPGRADE	2
1050			Upgrade counter	14.00	S.F.	\$75.00	\$1,050.00	\$577.06	\$1,627.06	\$116.22	UPGRADE	2
1051	Casework	CSW-BB1000-001	Casework	1	LS		\$2,500	\$1,374	\$3,874			
1052	Casework	CSW-BB1000-001CA1	Upgrade desk	1	Unit		\$2,500	\$1,374	\$3,874		UPGRADE	2
1053			Upgrade desk	1.00	Unit	\$2,500.00	\$2,500.00	\$1,373.96	\$3,873.96		UPGRADE	2
1054	Casework	CSW-BB1000-002	Casework	1	LS		\$1,000	\$550	\$1,550			
1055	Casework	CSW-BB1000-002CA1	Upgrade desk	1	Unit		\$1,000	\$550	\$1,550		UPGRADE	2
1056			Upgrade desk	1.00	Unit	\$1,000.00	\$1,000.00	\$549.58	\$1,549.58		UPGRADE	2
1057	Casework	CSW-BB1000-003	Casework	1	LS		\$1,200	\$660	\$1,860			
1058	Casework	CSW-BB1000-003CA1	Upgrade credenza	1	Unit		\$1,200	\$660	\$1,860		UPGRADE	2
1059			Upgrade credenza	1.00	Unit	\$1,200.00	\$1,200.00	\$659.50	\$1,859.50		UPGRADE	2
1060	Casework	CSW-BB1000-004	Casework	1	LS		\$1,000	\$504	\$1,504			
1061	Casework	CSW-BB1000-004CA1	Paint metal	1	Unit		\$300	\$151	\$451		REPAIR	2
1062			Paint metal	2.00	Unit	\$150.00	\$300.00	\$151.11	\$451.11	\$225.55	REPAIR	2
1063	Casework	CSW-BB1000-004CA2	Repair wood scratches	1	Unit		\$700	\$353	\$1,053		REPAIR	2
1064			Repair wood scratches	2.00	Unit	\$350.00	\$700.00	\$352.58	\$1,052.58	\$526.29	REPAIR	2
1065	Fittings	C103099	Other Interior Specialties	1	LS		\$4,740	\$2,561	\$7,301			
1066	Other Interior Specialties	INTS-B01000-002	Other Interior Specialties	1	LS		\$150	\$76	\$226			
1067	Other Interior Specialties	INTS-B01000-002CA1	Clean mail box	1	Unit		\$150	\$76	\$226		REPAIR	3
1068			Clean mail box	1.00	Unit	\$150.00	\$150.00	\$75.55	\$225.55		REPAIR	3
1069	Other Interior Specialties	INTS-BB1000-001	Other Interior Specialties	1	LS		\$90	\$45	\$135			
1070	Other Interior Specialties	INTS-BB1000-001CA1	Add Vinyl Signage	1	Unit		\$90	\$45	\$135		REPAIR	3
1071			Add Vinyl Signage	2.00	Unit	\$45.00	\$90.00	\$45.33	\$135.33	\$67.67	REPAIR	3
1072	Other Interior Specialties	INTS-BB1000-002	Other Interior Specialties	1	LS		\$4,500	\$2,440	\$6,940			
1073	Other Interior Specialties	INTS-BB1000-002CA1	Replace cell bench	1	Unit		\$4,500	\$2,440	\$6,940		REPLACE	3
1074			Replace cell bench	3.00	Unit	\$1,500.00	\$4,500.00	\$2,440.08	\$6,940.08	\$2,313.36	REPLACE	3
1075	Interiors	C20	Stairs	1	LS		\$63,490	\$33,314	\$96,804			
1076	Stairs	C2010	Stair Construction	1	LS		\$63,490	\$33,314	\$96,804			
1077	Stair Construction	C201001	Interior Stair Construction	1	LS		\$3,700	\$2,026	\$5,726			
1078	Interior Stair Construction	ISTW-B00000-001	Interior Stair Construction	1	LS		\$850	\$467	\$1,317			
1079	Interior Stair Construction	ISTW-B00000-001CA1	Upgrade Railing	1	Unit		\$850	\$467	\$1,317		UPGRADE	2
1080			Upgrade Railing	1.00	Unit	\$850.00	\$850.00	\$467.15	\$1,317.15		UPGRADE	2
1081	Interior Stair Construction	ISTW-B00000-002	Interior Stair Construction	1	LS		\$1,300	\$710	\$2,010			
1082	Interior Stair Construction	ISTW-B00000-002CA1	Replace stone steps	1	Unit		\$650	\$352	\$1,002		REPLACE	3
1083			Replace stone steps	1.00	Unit	\$650.00	\$650.00	\$352.46	\$1,002.46		REPLACE	3
1084	Interior Stair Construction	ISTW-B00000-002CA2	Upgrade Railing	1	Unit		\$650	\$357	\$1,007		UPGRADE	2
1085			Upgrade Railing	1.00	Unit	\$650.00	\$650.00	\$357.23	\$1,007.23		UPGRADE	2
1086	Interior Stair Construction	ISTW-B00000-003	Interior Stair Construction	1	LS		\$350	\$192	\$542			
1087	Interior Stair Construction	ISTW-B00000-003CA1	Upgrade Railing	1	Unit		\$350	\$192	\$542		UPGRADE	2





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
1088			Upgrade Railing	1.00	Unit	\$350.00	\$350.00	\$192.35	\$542.35		UPGRADE	2
1089	Interior Stair Construction	ISTW-B04000-001	Interior Stair Construction	1	LS		\$350	\$190	\$540			
1090	Interior Stair Construction	ISTW-B04000-001CA1	Repair and paint metal	1	Unit		\$350	\$190	\$540		REPLACE	3
1091			Repair and paint metal	1.00	Unit	\$350.00	\$350.00	\$189.78	\$539.78		REPLACE	3
1092	Interior Stair Construction	ISTW-BB1000-001	Interior Stair Construction	1	LS		\$850	\$467	\$1,317			
1093	Interior Stair Construction	ISTW-BB1000-001CA1	Upgrade Railing	1	Set		\$850	\$467	\$1,317		UPGRADE	2
1094			Upgrade Railing	1.00	Set	\$850.00	\$850.00	\$467.15	\$1,317.15		UPGRADE	2
1095	Stair Construction	C201002	Exterior Stair Construction	1	LS		\$32,790	\$17,478	\$50,268			
1096	Exterior Stair Construction	ESTW-B00ELE-001	Exterior Stair Construction	1	LS		\$14,800	\$7,933	\$22,733			
1097	Exterior Stair Construction	ESTW-B00ELE-001CA1	Replace Mortar Joint	1	L.F.		\$900	\$488	\$1,388		REPLACE	3
1098			Replace Mortar Joint	100.00	L.F.	\$9.00	\$900.00	\$488.02	\$1,388.02	\$13.88	REPLACE	3
1099	Exterior Stair Construction	ESTW-B00ELE-001CA2	Replace Railing	1	L.F.		\$11,500	\$6,236	\$17,736		REPLACE	2
1100			Replace Railing	100.00	L.F.	\$115.00	\$11,500.00	\$6,235.76	\$17,735.76	\$177.36	REPLACE	2
1101	Exterior Stair Construction	ESTW-B00ELE-001CA3	Stair & Walls Cleaning	1	S.F.		\$2,400	\$1,209	\$3,609		REPAIR	2
1102			Stair & Walls Cleaning	800.00	S.F.	\$3.00	\$2,400.00	\$1,208.84	\$3,608.84	\$4.51	REPAIR	2
1103	Exterior Stair Construction	ESTW-B00ELE-H01	Exterior Stair Construction	1	LS		\$100	\$50	\$150			
1104	Exterior Stair Construction	ESTW-B00ELE-H01CA1	Granite Floor Cleaning	1	S.F.		\$100	\$50	\$150		REPAIR	4
1105			Granite Floor Cleaning	20.00	S.F.	\$5.00	\$100.00	\$50.37	\$150.37	\$7.52	REPAIR	4
1106	Exterior Stair Construction	ESTW-B00ELN-001	Exterior Stair Construction	1	LS		\$9,190	\$4,916	\$14,106			
1107	Exterior Stair Construction	ESTW-B00ELN-001CA1	Remove Tree	1	Ea.		\$250	\$126	\$376		REPAIR	3
1108			Remove Tree	1.00	Ea.	\$250.00	\$250.00	\$125.92	\$375.92		REPAIR	3
1109	Exterior Stair Construction	ESTW-B00ELN-001CA2	Replace Mortar Joint	1	L.F.		\$540	\$293	\$833		REPLACE	3
1110			Replace Mortar Joint	60.00	L.F.	\$9.00	\$540.00	\$292.81	\$832.81	\$13.88	REPLACE	3
1111	Exterior Stair Construction	ESTW-B00ELN-001CA3	Replace Railing	1	L.F.		\$6,900	\$3,741	\$10,641		REPLACE	2
1112			Replace Railing	60.00	L.F.	\$115.00	\$6,900.00	\$3,741.46	\$10,641.46	\$177.36	REPLACE	2
1113	Exterior Stair Construction	ESTW-B00ELN-001CA4	Stair & Walls Cleaning	1	S.F.		\$1,500	\$756	\$2,256		REPAIR	2
1114			Stair & Walls Cleaning	500.00	S.F.	\$3.00	\$1,500.00	\$755.53	\$2,255.53	\$4.51	REPAIR	2
1115	Exterior Stair Construction	ESTW-B00ELN-H01	Exterior Stair Construction	1	LS		\$500	\$271	\$771			
1116	Exterior Stair Construction	ESTW-B00ELN-H01CA1	Replace Joint Sealant	1	L.F.		\$500	\$271	\$771		REPLACE	2
1117			Replace Joint Sealant	100.00	L.F.	\$5.00	\$500.00	\$271.12	\$771.12	\$7.71	REPLACE	2
1118	Exterior Stair Construction	ESTW-B00ELS-H01	Exterior Stair Construction	1	LS		\$5,450	\$2,923	\$8,373			
1119	Exterior Stair Construction	ESTW-B00ELS-H01CA1	Install Railing	1	L.F.		\$3,450	\$1,896	\$5,346		UPGRADE	2
1120			Install Railing	30.00	L.F.	\$115.00	\$3,450.00	\$1,896.06	\$5,346.06	\$178.20	UPGRADE	2
1121	Exterior Stair Construction	ESTW-B00ELS-H01CA2	Replace Joint Sealant	1	L.F.		\$500	\$271	\$771		REPLACE	3





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
1122			Replace Joint Sealant	100.00	L.F.	\$5.00	\$500.00	\$271.12	\$771.12	\$7.71	REPLACE	3
1123	Exterior Stair Construction	ESTW-800ELS-H01CA3	Stair Cleaning	1	S.F.		\$1,500	\$756	\$2,256		REPAIR	3
1124			Stair Cleaning	300.00	S.F.	\$5.00	\$1,500.00	\$755.53	\$2,255.53	\$7.52	REPAIR	3
1125	Exterior Stair Construction	ESTW-800ELW-001	Exterior Stair Construction	1	LS		\$2,750	\$1,385	\$4,135			
1126	Exterior Stair Construction	ESTW-800ELW-001CA1	Repair Stair Step	1	S.F.		\$250	\$126	\$376		REPAIR	2
1127			Repair Stair Step	10.00	S.F.	\$25.00	\$250.00	\$125.92	\$375.92	\$37.59	REPAIR	2
1128	Exterior Stair Construction	ESTW-800ELW-001CA2	Stair Cleaning	1	S.F.		\$2,500	\$1,259	\$3,759		REPAIR	2
1129			Stair Cleaning	500.00	S.F.	\$5.00	\$2,500.00	\$1,259.21	\$3,759.21	\$7.52	REPAIR	2
1130	Stair Construction	C201099A	Exterior Ramps	1	LS		\$27,000	\$13,811	\$40,811			
1131	Exterior Ramps	ERMP-800ELN-001	Exterior Ramps	1	LS		\$27,000	\$13,811	\$40,811			
1132	Exterior Ramps	ERMP-800ELN-001CA1	Accessible Ramp Cleaning	1	S.F.		\$2,400	\$1,209	\$3,609		REPAIR	3
1133			Accessible Ramp Cleaning	800.00	S.F.	\$3.00	\$2,400.00	\$1,208.84	\$3,608.84	\$4.51	REPAIR	3
1134	Exterior Ramps	ERMP-800ELN-001CA2	Repair Ramp Flooring	1	S.F.		\$20,000	\$10,074	\$30,074		REPAIR	2
1135			Repair Ramp Flooring	800.00	S.F.	\$25.00	\$20,000.00	\$10,073.68	\$30,073.68	\$37.59	REPAIR	2
1136	Exterior Ramps	ERMP-800ELN-001CA3	Upgrade Railing	1	L.F.		\$4,600	\$2,528	\$7,128		UPGRADE	1
1137			Upgrade Railing	40.00	L.F.	\$115.00	\$4,600.00	\$2,528.09	\$7,128.09	\$178.20	UPGRADE	1
1138	Interiors	C30	Interior Finishes	1	LS		\$1,241,285	\$645,470	\$1,886,755			
1139	Interior Finishes	C3010	Wall Finishes	1	LS		\$796,135	\$414,490	\$1,210,625			
1140	Wall Finishes	C301003	Gypsum Wallboard Finishes	1	LS		\$187,650	\$94,516	\$282,166			
1141	Gypsum Wallboard Finishes	GBF-B01000-001	Gypsum Wallboard Finishes	1	LS		\$146,250	\$73,664	\$219,914			
1142	Gypsum Wallboard Finishes	GBF-B01000-001CA1	Repair/refinish gypsum wall.	1	S.F.		\$146,250	\$73,664	\$219,914		REPAIR	2
1143			Repair/refinish gypsum wall.	48,750.00	S.F.	\$3.00	\$146,250.00	\$73,663.79	\$219,913.79	\$4.51	REPAIR	2
1144	Gypsum Wallboard Finishes	GBF-B0200-001	Gypsum Wallboard Finishes	1	LS		\$23,000	\$11,585	\$34,585			
1145	Gypsum Wallboard Finishes	GBF-B0200-001CA1	Repair/refinish gypsum wall.	1	S.F.		\$23,000	\$11,585	\$34,585		REPAIR	2
1146			Repair/refinish gypsum wall.	2,300.00	S.F.	\$10.00	\$23,000.00	\$11,584.73	\$34,584.73	\$15.04	REPAIR	2
1147	Gypsum Wallboard Finishes	GBF-B03000-001	Gypsum Wallboard Finishes	1	LS		\$6,900	\$3,475	\$10,375			
1148	Gypsum Wallboard Finishes	GBF-B03000-001CA1	Repair/refinish gypsum wall.	1	S.F.		\$6,900	\$3,475	\$10,375		REPAIR	2
1149			Repair/refinish gypsum wall.	2,300.00	S.F.	\$3.00	\$6,900.00	\$3,475.42	\$10,375.42	\$4.51	REPAIR	2
1150	Gypsum Wallboard Finishes	GBF-BB1000-001	Gypsum Wallboard Finishes	1	LS		\$11,500	\$5,792	\$17,292			
1151	Gypsum Wallboard Finishes	GBF-BB1000-001CA1	Repair/refinish gypsum wall.	1	S.F.		\$11,500	\$5,792	\$17,292		REPAIR	2
1152			Repair/refinish gypsum wall.	2,300.00	S.F.	\$5.00	\$11,500.00	\$5,792.37	\$17,292.37	\$7.52	REPAIR	2
1153	Wall Finishes	C301004	Tile and Terrazzo Wall Finishes	1	LS		\$66,120	\$33,617	\$99,737			
1154	Tile and Terrazzo Wall Finishes	TLWF-B01000-001	Tile and Terrazzo Wall Finishes	1	LS		\$42,000	\$21,155	\$63,155			
1155	Tile and Terrazzo Wall Finishes	TLWF-B01000-001CA1	Repair chipped tile.	1	S.F.		\$42,000	\$21,155	\$63,155		REPAIR	1
1156			Repair chipped tile.	3,000.00	S.F.	\$14.00	\$42,000.00	\$21,154.73	\$63,154.73	\$21.05	REPAIR	1
1157	Tile and Terrazzo Wall Finishes	TLWF-B03000-001	Tile and Terrazzo Wall Finishes	1	LS		\$16,000	\$8,059	\$24,059			
1158	Tile and Terrazzo Wall Finishes	TLWF-B03000-001CA1	Repair damaged gypsum wall.	1	S.F.		\$16,000	\$8,059	\$24,059		REPAIR	1





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
1159			Repair damaged gypsum wall.	1,600.00	S.F.	\$10.00	\$16,000.00	\$8,058.94	\$24,058.94	\$15.04	REPAIR	1
1160	Tile and Terrazzo Wall Finishes	TLWF-B03000-002	Tile and Terrazzo Wall Finishes	1	LS		\$2,520	\$1,366	\$3,886			
1161	Tile and Terrazzo Wall Finishes	TLWF-B03000-002CA1	Replace damaged/cracked ceramic tiles.	1	S.F.		\$2,520	\$1,366	\$3,886		REPLACE	4
1162			Replace damaged/cracked ceramic tiles.	180.00	S.F.	\$14.00	\$2,520.00	\$1,366.44	\$3,886.44	\$21.59	REPLACE	4
1163	Tile and Terrazzo Wall Finishes	TLWF-BB1000-002	Tile and Terrazzo Wall Finishes	1	LS		\$5,600	\$3,037	\$8,637			
1164	Tile and Terrazzo Wall Finishes	TLWF-BB1000-002CA1	Replace damaged/cracked ceramic tiles.	1	S.F.		\$5,600	\$3,037	\$8,637		REPLACE	4
1165			Replace damaged/cracked ceramic tiles.	400.00	S.F.	\$14.00	\$5,600.00	\$3,036.54	\$8,636.54	\$21.59	REPLACE	4
1166	Wall Finishes	C301099	Other Wall Finishes	1	LS		\$542,365	\$286,357	\$828,722			
1167	Other Wall Finishes	STWF-B01000-H01	Other Wall Finishes	1	LS		\$103,290	\$55,206	\$158,496			
1168	Other Wall Finishes	STWF-B01000-H01CA1	Repair failing mortar joints at marble wall slabs.	1	S.F.		\$20,790	\$10,472	\$31,262		REPAIR	2
1169			Repair failing mortar joints at marble wall slabs.	2,310.00	S.F.	\$9.00	\$20,790.00	\$10,471.59	\$31,261.59	\$13.53	REPAIR	2
1170	Other Wall Finishes	STWF-B01000-H01CA2	Replace discolored and damaged marble stone slab,	1	S.F.		\$82,500	\$44,735	\$127,235		REPLACE	4
1171			Replace discolored and damaged marble stone slab,	3,300.00	S.F.	\$25.00	\$82,500.00	\$44,734.80	\$127,234.80	\$38.56	REPLACE	4
1172	Other Wall Finishes	STWF-B01000-H02	Other Wall Finishes	1	LS		\$22,590	\$11,812	\$34,402			
1173	Other Wall Finishes	STWF-B01000-H02CA1	Repair failing mortar joints at marble wall slabs.	1	S.F.		\$11,340	\$5,712	\$17,052		REPAIR	2
1174			Repair failing mortar joints at marble wall slabs.	1,260.00	S.F.	\$9.00	\$11,340.00	\$5,711.78	\$17,051.78	\$13.53	REPAIR	2
1175	Other Wall Finishes	STWF-B01000-H02CA2	Replace cracked marble stone slabs at door surrounds in corridors.	1	S.F.		\$11,250	\$6,100	\$17,350		REPLACE	3
1176			Replace cracked marble stone slabs at door surrounds in corridors.	450.00	S.F.	\$25.00	\$11,250.00	\$6,100.20	\$17,350.20	\$38.56	REPLACE	3
1177	Other Wall Finishes	STWF-B02000-H01	Other Wall Finishes	1	LS		\$19,800	\$10,190	\$29,990			
1178	Other Wall Finishes	STWF-B02000-H01CA1	Repair failing mortar joints at marble wall slabs.	1	S.F.		\$14,175	\$7,140	\$21,315		REPAIR	2
1179			Repair failing mortar joints at marble wall slabs.	1,575.00	S.F.	\$9.00	\$14,175.00	\$7,139.72	\$21,314.72	\$13.53	REPAIR	2
1180	Other Wall Finishes	STWF-B02000-H01CA2	Replace damaged marble stone slab with drill holes.	1	S.F.		\$5,625	\$3,050	\$8,675		REPLACE	4
1181			Replace damaged marble stone slab with drill holes.	225.00	S.F.	\$25.00	\$5,625.00	\$3,050.10	\$8,675.10	\$38.56	REPLACE	4
1182	Other Wall Finishes	STWF-B02000-H02	Other Wall Finishes	1	LS		\$8,820	\$4,442	\$13,262			
1183	Other Wall Finishes	STWF-B02000-H02CA1	Repair failing mortar joints at marble wall slabs.	1	S.F.		\$8,820	\$4,442	\$13,262		REPAIR	2
1184			Repair failing mortar joints at marble wall slabs.	980.00	S.F.	\$9.00	\$8,820.00	\$4,442.49	\$13,262.49	\$13.53	REPAIR	2
1185	Other Wall Finishes	STWF-B03000-H03	Other Wall Finishes	1	LS		\$10,710	\$5,394	\$16,104			
1186	Other Wall Finishes	STWF-B03000-H03CA1	Repair failing mortar joints at marble wall slabs.	1	S.F.		\$10,710	\$5,394	\$16,104		REPAIR	2
1187			Repair failing mortar joints at marble wall slabs.	1,190.00	S.F.	\$9.00	\$10,710.00	\$5,394.46	\$16,104.46	\$13.53	REPAIR	2
1188	Other Wall Finishes	STWF-B03000-H04	Other Wall Finishes	1	LS		\$6,930	\$3,491	\$10,421			
1189	Other Wall Finishes	STWF-B03000-H04CA1	Repair failing mortar joints at marble wall slabs.	1	S.F.		\$6,930	\$3,491	\$10,421		REPAIR	2
1190			Repair failing mortar joints at marble wall slabs.	770.00	S.F.	\$9.00	\$6,930.00	\$3,490.53	\$10,420.53	\$13.53	REPAIR	2
1191	Other Wall Finishes	WDWF-B01000-H01	Other Wall Finishes	1	LS		\$50,000	\$27,112	\$77,112			
1192	Other Wall Finishes	WDWF-B01000-H01CA1	Replace wood paneling due to cracking.	1	S.F.		\$50,000	\$27,112	\$77,112		REPLACE	2
1193			Replace wood paneling due to cracking.	5,000.00	S.F.	\$10.00	\$50,000.00	\$27,112.00	\$77,112.00	\$15.42	REPLACE	2
1194	Other Wall Finishes	WDWF-B02000-H01	Other Wall Finishes	1	LS		\$76,000	\$41,210	\$117,210			
1195	Other Wall Finishes	WDWF-B02000-H01CA1	Replace wood paneling due to cracking.	1	S.F.		\$76,000	\$41,210	\$117,210		REPLACE	2
1196			Replace wood paneling due to cracking.	7,600.00	S.F.	\$10.00	\$76,000.00	\$41,210.24	\$117,210.24	\$15.42	REPLACE	2
1197	Other Wall Finishes	WDWF-B03000-H01	Other Wall Finishes	1	LS		\$158,000	\$82,628	\$240,628			
1198	Other Wall Finishes	WDWF-B03000-H01CA1	Refinish wood paneling showing fading.	1	S.F.		\$79,000	\$39,791	\$118,791		REPAIR	2
1199			Refinish wood paneling showing fading.	7,900.00	S.F.	\$10.00	\$79,000.00	\$39,791.04	\$118,791.04	\$15.04	REPAIR	2
1200	Other Wall Finishes	WDWF-B03000-H01CA2	Replace wood paneling due to cracking.	1	S.F.		\$79,000	\$42,837	\$121,837		REPLACE	2
1201			Replace wood paneling due to cracking.	7,900.00	S.F.	\$10.00	\$79,000.00	\$42,836.96	\$121,836.96	\$15.42	REPLACE	2
1202	Other Wall Finishes	WDWF-BB1000-001	Other Wall Finishes	1	LS		\$74,000	\$38,699	\$112,699			
1203	Other Wall Finishes	WDWF-BB1000-001CA1	Refinish wood paneling showing fading.	1	S.F.		\$37,000	\$18,636	\$55,636		REPAIR	2
1204			Refinish wood paneling showing fading.	3,700.00	S.F.	\$10.00	\$37,000.00	\$18,636.31	\$55,636.31	\$15.04	REPAIR	2





DC Courts Building B FCA

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1205	Other Wall Finishes	WDWF-BB1000-001CA2	Replace wood paneling due to cracking.	1	S.F.		\$37,000	\$20,063	\$57,063		REPLACE	2
1206			Replace wood paneling due to cracking.	3,700.00	S.F.	\$10.00	\$37,000.00	\$20,062.88	\$57,062.88	\$15.42	REPLACE	2
1207	Other Wall Finishes	WNSL-B01000-003	Other Wall Finishes	1	LS		\$375	\$203	\$578			
1208	Other Wall Finishes	WNSL-B01000-003CA1	Replace plastic laminate window sill.	1	Unit		\$375	\$203	\$578		REPLACE	3
1209			Replace plastic laminate window sill.	3.00	Unit	\$125.00	\$375.00	\$203.34	\$578.34	\$192.78	REPLACE	3
1210	Other Wall Finishes	WNSL-B01000-H01	Other Wall Finishes	1	LS		\$4,800	\$2,418	\$7,218			
1211	Other Wall Finishes	WNSL-B01000-H01CA1	Repair cracked historic stone window sill.	1	Unit		\$4,800	\$2,418	\$7,218		REPAIR	3
1212			Repair cracked historic stone window sill.	32.00	Unit	\$150.00	\$4,800.00	\$2,417.68	\$7,217.68	\$225.55	REPAIR	3
1213	Other Wall Finishes	WNSL-B02000-H01	Other Wall Finishes	1	LS		\$3,750	\$1,889	\$5,639			
1214	Other Wall Finishes	WNSL-B02000-H01CA1	Repair cracked historic stone window sill.	1	Unit		\$150	\$76	\$226		REPAIR	3
1215			Repair cracked historic stone window sill.	1.00	Unit	\$150.00	\$150.00	\$75.55	\$225.55		REPAIR	3
1216	Other Wall Finishes	WNSL-B02000-H01CA1	Repair cracked historic stone window sill.	1	Unit		\$3,600	\$1,813	\$5,413		REPAIR	3
1217			Repair cracked historic stone window sill.	24.00	Unit	\$150.00	\$3,600.00	\$1,813.26	\$5,413.26	\$225.55	REPAIR	3
1218	Other Wall Finishes	WNSL-B03000-H01	Other Wall Finishes	1	LS		\$3,300	\$1,662	\$4,962			
1219	Other Wall Finishes	WNSL-B03000-H01CA1	Repair cracked historic stone window sill.	1	Unit		\$3,300	\$1,662	\$4,962		REPAIR	3
1220			Repair cracked historic stone window sill.	22.00	Unit	\$150.00	\$3,300.00	\$1,662.16	\$4,962.16	\$225.55	REPAIR	3
1221	Interior Finishes	C3020	Floor Finishes	1	LS		\$382,945	\$198,023	\$580,968			
1222	Floor Finishes	C302002	Terrazzo Floor Finishes	1	LS		\$74,725	\$37,638	\$112,363			
1223	Terrazzo Floor Finishes	TXFL-B02000-H01	Terrazzo Floor Finishes	1	LS		\$70,500	\$35,510	\$106,010			
1224	Terrazzo Floor Finishes	TXFL-B02000-H01CA1	Repair terrazzo flooring.	1	S.F.		\$70,500	\$35,510	\$106,010		REPAIR	4
1225			Repair terrazzo flooring.	4,700.00	S.F.	\$15.00	\$70,500.00	\$35,509.72	\$106,009.72	\$22.56	REPAIR	4
1226	Terrazzo Floor Finishes	TXFL-B02000-H02	Terrazzo Floor Finishes	1	LS		\$4,225	\$2,128	\$6,353			
1227	Terrazzo Floor Finishes	TXFL-B02000-H02CA1	Repair damaged terrazzo flooring.	1	S.F.		\$4,225	\$2,128	\$6,353		REPAIR	4
1228			Repair damaged terrazzo flooring.	65.00	S.F.	\$65.00	\$4,225.00	\$2,128.06	\$6,353.06	\$97.74	REPAIR	4
1229	Floor Finishes	C302004	Resilient Floor Finishes	1	LS		\$4,600	\$2,494	\$7,094			
1230	Resilient Floor Finishes	RSFF-B01000-001	Resilient Floor Finishes	1	LS		\$4,600	\$2,494	\$7,094			
1231	Resilient Floor Finishes	RSFF-B01000-001CA1	Replace vinyl tile.	1	S.F.		\$4,600	\$2,494	\$7,094		REPLACE	1
1232			Replace vinyl tile.	1,150.00	S.F.	\$4.00	\$4,600.00	\$2,494.30	\$7,094.30	\$6.17	REPLACE	1
1233	Floor Finishes	C302005	Carpeting	1	LS		\$103,200	\$55,985	\$159,185			
1234	Carpeting	CPT-B03000-001	Carpeting	1	LS		\$60,950	\$33,075	\$94,025			
1235	Carpeting	CPT-B03000-001CA1	Add missing transition strips.	1	S.F.		\$3,450	\$1,896	\$5,346		UPGRADE	2
1236			Add missing transition strips.	1,150.00	S.F.	\$3.00	\$3,450.00	\$1,896.06	\$5,346.06	\$4.65	UPGRADE	2
1237	Carpeting	CPT-B03000-001CA2	Replace carpet.	1	S.F.		\$57,500	\$31,179	\$88,679		REPLACE	3
1238			Replace carpet.	11,500.00	S.F.	\$5.00	\$57,500.00	\$31,178.80	\$88,678.80	\$7.71	REPLACE	3
1239	Carpeting	CPT-B03000-002	Carpeting	1	LS		\$23,500	\$12,743	\$36,243			
1240	Carpeting	CPT-B03000-002CA1	Replace carpet.	1	S.F.		\$23,500	\$12,743	\$36,243		REPLACE	3
1241			Replace carpet.	4,700.00	S.F.	\$5.00	\$23,500.00	\$12,742.64	\$36,242.64	\$7.71	REPLACE	3
1242	Carpeting	CPT-BB1000-001	Carpeting	1	LS		\$18,750	\$10,167	\$28,917			
1243	Carpeting	CPT-BB1000-001CA1	Replace carpet.	1	S.F.		\$18,750	\$10,167	\$28,917		REPLACE	3
1244			Replace carpet.	3,750.00	S.F.	\$5.00	\$18,750.00	\$10,167.00	\$28,917.00	\$7.71	REPLACE	3
1245	Floor Finishes	C302008	Wall Base Finishes	1	LS		\$200,420	\$101,907	\$302,327			
1246	Wall Base Finishes	WB-B01000-002	Wall Base Finishes	1	LS		\$2,800	\$1,539	\$4,339			
1247	Wall Base Finishes	WB-B01000-002CA1	Upgrade carpet base.	1	L.F.		\$2,800	\$1,539	\$4,339		UPGRADE	3
1248			Upgrade carpet base.	700.00	L.F.	\$4.00	\$2,800.00	\$1,538.84	\$4,338.84	\$6.20	UPGRADE	3
1249	Wall Base Finishes	WB-B01000-003	Wall Base Finishes	1	LS		\$30	\$16	\$46			
1250	Wall Base Finishes	WB-B01000-003CA1	Upgrade vinyl base.	1	L.F.		\$30	\$16	\$46		UPGRADE	3
1251			Upgrade vinyl base.	10.00	L.F.	\$3.00	\$30.00	\$16.49	\$46.49	\$4.65	UPGRADE	3
1252	Wall Base Finishes	WB-B01000-H01	Wall Base Finishes	1	LS		\$22,200	\$11,182	\$33,382			
1253	Wall Base Finishes	WB-B01000-H01CA1	Repair or replace terrazzo base.	1	L.F.		\$22,200	\$11,182	\$33,382		REPAIR	3
1254			Repair or replace terrazzo base.	600.00	L.F.	\$37.00	\$22,200.00	\$11,181.78	\$33,381.78	\$55.64	REPAIR	3





DC Courts Building B FCA

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1255	Wall Base Finishes	WB-B0200-002	Wall Base Finishes	1	LS		\$3,500	\$1,924	\$5,424			
1256	Wall Base Finishes	WB-B0200-002CA1	Upgrade carpet base.	1	LS		\$3,500	\$1,924	\$5,424		UPGRADE	3
1257			Upgrade carpet base.	1.00	LS	\$3,500.00	\$3,500.00	\$1,923.54	\$5,423.54		UPGRADE	3
1258	Wall Base Finishes	WB-B0200-003	Wall Base Finishes	1	LS		\$1,600	\$879	\$2,479			
1259	Wall Base Finishes	WB-B0200-003CA1	Upgrade vinyl base.	1	L.F.		\$1,600	\$879	\$2,479		UPGRADE	3
1260			Upgrade vinyl base.	400.00	L.F.	\$4.00	\$1,600.00	\$879.33	\$2,479.33	\$6.20	UPGRADE	3
1261	Wall Base Finishes	WB-B0200-004	Wall Base Finishes	1	LS		\$3,000	\$1,511	\$4,511			
1262	Wall Base Finishes	WB-B0200-004CA1	Repair or upgrade laminate base.	1	L.F.		\$3,000	\$1,511	\$4,511		REPAIR	3
1263			Repair or upgrade laminate base.	600.00	L.F.	\$5.00	\$3,000.00	\$1,511.05	\$4,511.05	\$7.52	REPAIR	3
1264	Wall Base Finishes	WB-B0200-H01	Wall Base Finishes	1	LS		\$74,000	\$37,273	\$111,273			
1265	Wall Base Finishes	WB-B0200-H01CA1	Repair or replace terrazzo base.	1	L.F.		\$74,000	\$37,273	\$111,273		REPAIR	3
1266			Repair or replace terrazzo base.	2,000.00	L.F.	\$37.00	\$74,000.00	\$37,272.62	\$111,272.62	\$55.64	REPAIR	3
1267	Wall Base Finishes	WB-B0200-H05	Wall Base Finishes	1	LS		\$1,600	\$806	\$2,406			
1268	Wall Base Finishes	WB-B0200-H05CA1	Maintain and repair stone base.	1	L.F.		\$1,600	\$806	\$2,406		REPAIR	3
1269			Maintain and repair stone base.	200.00	L.F.	\$8.00	\$1,600.00	\$805.89	\$2,405.89	\$12.03	REPAIR	3
1270	Wall Base Finishes	WB-B03000-002	Wall Base Finishes	1	LS		\$3,500	\$1,924	\$5,424			
1271	Wall Base Finishes	WB-B03000-002CA1	Upgrade carpet base.	1	LS		\$3,500	\$1,924	\$5,424		UPGRADE	3
1272			Upgrade carpet base.	1.00	LS	\$3,500.00	\$3,500.00	\$1,923.54	\$5,423.54		UPGRADE	3
1273	Wall Base Finishes	WB-B03000-003	Wall Base Finishes	1	LS		\$1,600	\$879	\$2,479			
1274	Wall Base Finishes	WB-B03000-003CA1	Upgrade vinyl base.	1	L.F.		\$1,600	\$879	\$2,479		UPGRADE	3
1275			Upgrade vinyl base.	400.00	L.F.	\$4.00	\$1,600.00	\$879.33	\$2,479.33	\$6.20	UPGRADE	3
1276	Wall Base Finishes	WB-B03000-004	Wall Base Finishes	1	LS		\$3,500	\$1,763	\$5,263			
1277	Wall Base Finishes	WB-B03000-004CA1	Repair or upgrade laminate base.	1	LS		\$3,500	\$1,763	\$5,263		REPAIR	3
1278			Repair or upgrade laminate base.	1.00	LS	\$3,500.00	\$3,500.00	\$1,762.89	\$5,262.89		REPAIR	3
1279	Wall Base Finishes	WB-B03000-H01	Wall Base Finishes	1	LS		\$74,000	\$37,273	\$111,273			
1280	Wall Base Finishes	WB-B03000-H01CA1	Repair or replace terrazzo base.	1	L.F.		\$74,000	\$37,273	\$111,273		REPAIR	3
1281			Repair or replace terrazzo base.	2,000.00	L.F.	\$37.00	\$74,000.00	\$37,272.62	\$111,272.62	\$55.64	REPAIR	3
1282	Wall Base Finishes	WB-BB1000-002	Wall Base Finishes	1	LS		\$1,320	\$725	\$2,045			
1283	Wall Base Finishes	WB-BB1000-002CA1	Upgrade vinyl base.	1	L.F.		\$1,320	\$725	\$2,045		UPGRADE	3
1284			Upgrade vinyl base.	220.00	L.F.	\$6.00	\$1,320.00	\$725.45	\$2,045.45	\$9.30	UPGRADE	3
1285	Wall Base Finishes	WB-BB1000-003	Wall Base Finishes	1	LS		\$7,770	\$4,213	\$11,983			
1286	Wall Base Finishes	WB-BB1000-003CA1	Replace terrazzo wall base.	1	S.F.		\$7,770	\$4,213	\$11,983		REPLACE	3
1287			Replace terrazzo wall base.	210.00	S.F.	\$37.00	\$7,770.00	\$4,213.20	\$11,983.20	\$57.06	REPLACE	3
1288	Interior Finishes	C3030	Ceiling Finishes	1	LS		\$62,205	\$32,957	\$95,162			
1289	Ceiling Finishes	C303001	Exposed Concrete Finishes	1	LS		\$14,100	\$7,646	\$21,746			
1290	Exposed Concrete Finishes	GBCL-B02000-H02	Exposed Concrete Finishes	1	LS		\$14,100	\$7,646	\$21,746			
1291	Exposed Concrete Finishes	GBCL-B02000-H02CA1	Replace discolored spline tiles.	1	S.F.		\$14,100	\$7,646	\$21,746		REPLACE	1
1292			Replace discolored spline tiles.	2,350.00	S.F.	\$6.00	\$14,100.00	\$7,645.58	\$21,745.58	\$9.25	REPLACE	1
1293	Ceiling Finishes	C303002	Plaster Ceiling Finishes	1	LS		\$250	\$126	\$376			
1294	Plaster Ceiling Finishes	PLCL-B01000-H01	Plaster Ceiling Finishes	1	LS		\$250	\$126	\$376			
1295	Plaster Ceiling Finishes	PLCL-B01000-H01CA1	Repair hole in plaster ceiling.	1	LS		\$250	\$126	\$376		REPAIR	2
1296			Repair hole in plaster ceiling.	1.00	LS	\$250.00	\$250.00	\$125.92	\$375.92		REPAIR	2
1297	Ceiling Finishes	C303003	Gypsum Wallboard Ceiling Finishes	1	LS		\$34,200	\$17,781	\$51,981			
1298	Gypsum Wallboard Ceiling Finishes	GBCL-B03000-H02	Gypsum Wallboard Ceiling Finishes	1	LS		\$14,400	\$7,808	\$22,208			
1299	Gypsum Wallboard Ceiling Finishes	GBCL-B03000-H02CA1	Replace discolored spline tiles.	1	S.F.		\$14,400	\$7,808	\$22,208		REPLACE	1
1300			Replace discolored spline tiles.	2,400.00	S.F.	\$6.00	\$14,400.00	\$7,808.26	\$22,208.26	\$9.25	REPLACE	1





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
1301	Gypsum Wallboard Ceiling Finishes	GBCL-BB1000-001	Gypsum Wallboard Ceiling Finishes	1	LS		\$19,800	\$9,973	\$29,773			
1302	Gypsum Wallboard Ceiling Finishes	GBCL-BB1000-001CA1	Repair/refinish gypsum ceiling.	1	S.F.		\$19,800	\$9,973	\$29,773		REPAIR	3
1303			Repair/refinish gypsum ceiling.	2,200.00	S.F.	\$9.00	\$19,800.00	\$9,972.94	\$29,772.94	\$13.53	REPAIR	3
1304	Ceiling Finishes	C303004	Acoustical Ceiling Tiles and Panels	1	LS		\$13,655	\$7,404	\$21,059			
1305	Acoustical Ceiling Tiles and Panels	ACT-B01000-002	Acoustical Ceiling Tiles and Panels	1	LS		\$2,600	\$1,410	\$4,010			
1306	Acoustical Ceiling Tiles and Panels	ACT-B01000-002CA1	Replace ceiling tiles with water damage.	1	S.F.		\$2,600	\$1,410	\$4,010		REPLACE	2
1307			Replace ceiling tiles with water damage.	1,300.00	S.F.	\$2.00	\$2,600.00	\$1,409.82	\$4,009.82	\$3.08	REPLACE	2
1308	Acoustical Ceiling Tiles and Panels	ACT-B02000-002	Acoustical Ceiling Tiles and Panels	1	LS		\$2,600	\$1,410	\$4,010			
1309	Acoustical Ceiling Tiles and Panels	ACT-B02000-002CA1	Replace ceiling tiles with water damage.	1	S.F.		\$2,600	\$1,410	\$4,010		REPLACE	2
1310			Replace ceiling tiles with water damage.	1,300.00	S.F.	\$2.00	\$2,600.00	\$1,409.82	\$4,009.82	\$3.08	REPLACE	2
1311	Acoustical Ceiling Tiles and Panels	ACT-B02000-005	Acoustical Ceiling Tiles and Panels	1	LS		\$50	\$27	\$77			
1312	Acoustical Ceiling Tiles and Panels	ACT-B02000-005CA1	Replace ceiling tiles with water damage.	1	S.F.		\$50	\$27	\$77		REPLACE	2
1313			Replace ceiling tiles with water damage.	25.00	S.F.	\$2.00	\$50.00	\$27.11	\$77.11	\$3.08	REPLACE	2
1314	Acoustical Ceiling Tiles and Panels	ACT-B02000-006	Acoustical Ceiling Tiles and Panels	1	LS		\$1,350	\$732	\$2,082			
1315	Acoustical Ceiling Tiles and Panels	ACT-B02000-006CA1	Replace ceiling system.	1	S.F.		\$1,350	\$732	\$2,082		REPLACE	1
1316			Replace ceiling system.	270.00	S.F.	\$5.00	\$1,350.00	\$732.02	\$2,082.02	\$7.71	REPLACE	1
1317	Acoustical Ceiling Tiles and Panels	ACT-B03000-002	Acoustical Ceiling Tiles and Panels	1	LS		\$4,300	\$2,332	\$6,632			
1318	Acoustical Ceiling Tiles and Panels	ACT-B03000-002CA1	Replace ceiling tiles with water damage.	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	2
1319			Replace ceiling tiles with water damage.	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	2
1320	Acoustical Ceiling Tiles and Panels	ACT-B03000-002CA2	Replace cracked ceiling tiles.	1	LS		\$1,800	\$976	\$2,776		REPLACE	1
1321			Replace cracked ceiling tiles.	1.00	LS	\$1,800.00	\$1,800.00	\$976.03	\$2,776.03		REPLACE	1
1322	Acoustical Ceiling Tiles and Panels	ACT-B03000-003	Acoustical Ceiling Tiles and Panels	1	LS		\$1,075	\$583	\$1,658			
1323	Acoustical Ceiling Tiles and Panels	ACT-B03000-003CA1	Replace ceiling tiles with water damage.	1	S.F.		\$1,075	\$583	\$1,658		REPLACE	1
1324			Replace ceiling tiles with water damage.	215.00	S.F.	\$5.00	\$1,075.00	\$582.91	\$1,657.91	\$7.71	REPLACE	1
1325	Acoustical Ceiling Tiles and Panels	ACT-BB1000-001	Acoustical Ceiling Tiles and Panels	1	LS		\$1,000	\$542	\$1,542			
1326	Acoustical Ceiling Tiles and Panels	ACT-BB1000-001CA1	Replace ceiling tiles with water damage.	1	S.F.		\$1,000	\$542	\$1,542		REPLACE	2
1327			Replace ceiling tiles with water damage.	200.00	S.F.	\$5.00	\$1,000.00	\$542.24	\$1,542.24	\$7.71	REPLACE	2
1328	Acoustical Ceiling Tiles and Panels	ACT-BB1000-002	Acoustical Ceiling Tiles and Panels	1	LS		\$340	\$184	\$524			
1329	Acoustical Ceiling Tiles and Panels	ACT-BB1000-002CA1	Replace ceiling tiles with water damage.	1	S.F.		\$340	\$184	\$524		REPLACE	2
1330			Replace ceiling tiles with water damage.	170.00	S.F.	\$2.00	\$340.00	\$184.36	\$524.36	\$3.08	REPLACE	2
1331	Acoustical Ceiling Tiles and Panels	ACT-BB1000-003	Acoustical Ceiling Tiles and Panels	1	LS		\$340	\$184	\$524			
1332	Acoustical Ceiling Tiles and Panels	ACT-BB1000-003CA1	Replace ceiling tiles with water damage.	1	S.F.		\$340	\$184	\$524		REPLACE	3
1333			Replace ceiling tiles with water damage.	170.00	S.F.	\$2.00	\$340.00	\$184.36	\$524.36	\$3.08	REPLACE	3





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
1334	Estimate Tree	D	Services	1	LS		\$5,436,083	\$2,944,832	\$8,380,915			
1335	Services	D10	Conveying	1	LS		\$60,000	\$32,534	\$92,534			
1336	Conveying	D1010	Elevators & Lifts	1	LS		\$60,000	\$32,534	\$92,534			
1337	Elevators & Lifts	D101002	Passenger Elevators	1	LS		\$60,000	\$32,534	\$92,534			
1338	Passenger Elevators	ELSW-BB1000-001	Passenger Elevators	1	LS		\$60,000	\$32,534	\$92,534			
1339	Passenger Elevators	ELSW-BB1000-001CA1	EoLC - Replace Sidewalk Elevator	1	Lifts		\$60,000	\$32,534	\$92,534		REPLACE	2
1340			Replace Sidewalk Elevator	1.00	Lifts	\$60,000.00	\$60,000.00	\$32,534.40	\$92,534.40		REPLACE	2
1341	Services	D20	Plumbing	1	LS		\$1,472,816	\$798,440	\$2,271,256			
1342	Plumbing	D2010	Plumbing Fixtures	1	LS		\$239,791	\$129,810	\$369,601			
1343	Plumbing Fixtures	D201001	WaterClosets	1	LS		\$127,241	\$68,995	\$196,236			
1344	WaterClosets	WC00-B01000-001	WaterClosets	1	LS		\$21,968	\$11,912	\$33,880			
1345	WaterClosets	WC00-B01000-001CA1	EoLC - Replace the water closets at end of life	1	Ea.		\$21,968	\$11,912	\$33,880		REPLACE	3
1346			Remove water closets at First Floor	16.00	Ea.	\$123.00	\$1,968.00	\$1,067.13	\$3,035.13	\$189.70	REPLACE	3
1347			Provide new water closet	16.00	Ea.	\$1,250.00	\$20,000.00	\$10,844.80	\$30,844.80	\$1,927.80	REPLACE	3
1348	WaterClosets	WC00-B02000-001	WaterClosets	1	LS		\$24,714	\$13,401	\$38,115			
1349	WaterClosets	WC00-B02000-001CA1	EoLC - Replace the water closets at end of life	1	Ea.		\$24,714	\$13,401	\$38,115		REPLACE	3
1350			Remove water closets at Second Floor	18.00	Ea.	\$123.00	\$2,214.00	\$1,200.52	\$3,414.52	\$189.70	REPLACE	3
1351			Provide new water closet	18.00	Ea.	\$1,250.00	\$22,500.00	\$12,200.40	\$34,700.40	\$1,927.80	REPLACE	3
1352	WaterClosets	WC00-B03000-001	WaterClosets	1	LS		\$26,087	\$14,145	\$40,232			
1353	WaterClosets	WC00-B03000-001CA1	EoLC - Replace the water closets at end of life	1	Ea.		\$26,087	\$14,145	\$40,232		REPLACE	3
1354			Remove water closets at Third Floor	19.00	Ea.	\$123.00	\$2,337.00	\$1,267.21	\$3,604.21	\$189.70	REPLACE	3
1355			Provide new water closet	19.00	Ea.	\$1,250.00	\$23,750.00	\$12,878.20	\$36,628.20	\$1,927.80	REPLACE	3
1356	WaterClosets	WC00-BB1000-001	WaterClosets	1	LS		\$9,611	\$5,211	\$14,822			
1357	WaterClosets	WC00-BB1000-001CA1	EoLC - Replace the water closets at end of life	1	Ea.		\$9,611	\$5,211	\$14,822		REPLACE	4
1358			Remove water closets at Basement (Common Areas)	7.00	Ea.	\$123.00	\$861.00	\$466.87	\$1,327.87	\$189.70	REPLACE	4
1359			Provide new water closet	7.00	Ea.	\$1,250.00	\$8,750.00	\$4,744.60	\$13,494.60	\$1,927.80	REPLACE	4
1360	WaterClosets	WC00-BB1000-002	WaterClosets	1	LS		\$18,361	\$9,956	\$28,317			
1361	WaterClosets	WC00-BB1000-002CA1	EoLC - Replace the water closets at end of life	1	Ea.		\$18,361	\$9,956	\$28,317		REPLACE	4
1362			Remove existing stainless steel detention water closet	7.00	Ea.	\$123.00	\$861.00	\$466.87	\$1,327.87	\$189.70	REPLACE	4
1363			Stainless steel detention water closet	7.00	Ea.	\$2,500.00	\$17,500.00	\$9,489.20	\$26,989.20	\$3,855.60	REPLACE	4
1364	WaterClosets	WC00-BB1SAH-S01	WaterClosets	1	LS		\$26,500	\$14,369	\$40,869			
1365	WaterClosets	WC00-BB1SAH-S01CA1	EoLC - Replace tamper-proof water closets in secure adult holding cell.	1	Ea.		\$26,500	\$14,369	\$40,869		REPLACE	2
1366			Remove existing toilet at holding area	10.00	Ea.	\$150.00	\$1,500.00	\$813.36	\$2,313.36	\$231.34	REPLACE	2
1367			New stainless steel toilet at Holding Area	10.00	Ea.	\$2,500.00	\$25,000.00	\$13,556.00	\$38,556.00	\$3,855.60	REPLACE	2
1368	Plumbing Fixtures	D201002	Urinals	1	LS		\$9,900	\$5,368	\$15,268			
1369	Urinals	URIN-B01000-001	Urinals	1	LS		\$3,300	\$1,789	\$5,089			
1370	Urinals	URIN-B01000-001CA1	EoLC - Replace the urinals at end of life	1	Ea.		\$3,300	\$1,789	\$5,089		REPLACE	3
1371			Remove wall-mounted urinal at First Floor	2.00	Ea.	\$210.00	\$420.00	\$227.74	\$647.74	\$323.87	REPLACE	3
1372			Provide new vitreous chine urinal. Wall Mounted	2.00	Ea.	\$750.00	\$1,500.00	\$813.36	\$2,313.36	\$1,156.68	REPLACE	3
1373			Provide new urinal wall-mounted partition	2.00	Ea.	\$690.00	\$1,380.00	\$748.29	\$2,128.29	\$1,064.15	REPLACE	3
1374	Urinals	URIN-B03000-001	Urinals	1	LS		\$3,300	\$1,789	\$5,089			
1375	Urinals	URIN-B03000-001CA1	EoLC - Replace the urinals at end of life	1	Ea.		\$3,300	\$1,789	\$5,089		REPLACE	3
1376			Remove wall-mounted urinal at Third Floor	2.00	Ea.	\$210.00	\$420.00	\$227.74	\$647.74	\$323.87	REPLACE	3
1377			Provide new vitreous chine urinal. Wall Mounted	2.00	Ea.	\$750.00	\$1,500.00	\$813.36	\$2,313.36	\$1,156.68	REPLACE	3
1378			Provide new urinal wall-mounted partition	2.00	Ea.	\$690.00	\$1,380.00	\$748.29	\$2,128.29	\$1,064.15	REPLACE	3
1379	Urinals	URIN-BB1000-001	Urinals	1	LS		\$3,300	\$1,789	\$5,089			
1380	Urinals	URIN-BB1000-001CA1	Replace the urinals at end of life	1	Ea.		\$3,300	\$1,789	\$5,089		REPLACE	3
1381			Remove wall-mounted urinal at Basement Floor	2.00	Ea.	\$210.00	\$420.00	\$227.74	\$647.74	\$323.87	REPLACE	3
1382			Provide new vitreous chine urinal. Wall Mounted	2.00	Ea.	\$750.00	\$1,500.00	\$813.36	\$2,313.36	\$1,156.68	REPLACE	3





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
1383			Provide new urinal wall-mounted partition	2.00	Ea.	\$690.00	\$1,380.00	\$748.29	\$2,128.29	\$1,064.15	REPLACE	3
1384	Plumbing Fixtures	D201003	Lavatories	1	LS		\$84,100	\$45,602	\$129,702			
1385	Lavatories	LAV0-B01000-001	Lavatories	1	LS		\$15,400	\$8,350	\$23,750			
1386	Lavatories	LAV0-B01000-001CA1	EoLC - Replace the lavatories at end of life	1	Ea.		\$15,400	\$8,350	\$23,750		REPLACE	3
1387			Remove existing lavatory (Vitreous china)	14.00	Ea.	\$150.00	\$2,100.00	\$1,138.70	\$3,238.70	\$231.34	REPLACE	3
1388			Replace vitreous china lavatory at common areas	14.00	Ea.	\$950.00	\$13,300.00	\$7,211.79	\$20,511.79	\$1,465.13	REPLACE	3
1389	Lavatories	LAV0-BB1SAH-S01	Lavatories	1	LS		\$30,200	\$16,376	\$46,576			
1390	Lavatories	LAV0-BB1SAH-S01CA1	EoLC - Replace the tamper-proof lavatories in adult holding cell	1	Ea.		\$30,200	\$16,376	\$46,576		REPLACE	1
1391			Remove existing lavatory (Vitreous china / steel)	19.00	Ea.	\$150.00	\$2,850.00	\$1,545.38	\$4,395.38	\$231.34	REPLACE	1
1392			Replace vitreous china lavatory at common areas	13.00	Ea.	\$950.00	\$12,350.00	\$6,696.66	\$19,046.66	\$1,465.13	REPLACE	1
1393			Replace tamper resistant stainless steel lavatory at holding cell area	6.00	Ea.	\$2,500.00	\$15,000.00	\$8,133.60	\$23,133.60	\$3,855.60	REPLACE	1
1394	Lavatories	LAV-B02000-001	Lavatories	1	LS		\$16,500	\$8,947	\$25,447			
1395	Lavatories	LAV-B02000-001CA1	EoLC - Replace the lavatories at end of life	1	Ea.		\$16,500	\$8,947	\$25,447		REPLACE	3
1396			Remove existing lavatory (Vitreous china / steel)	15.00	Ea.	\$150.00	\$2,250.00	\$1,220.04	\$3,470.04	\$231.34	REPLACE	3
1397			Replace vitreous china lavatory at common areas	15.00	Ea.	\$950.00	\$14,250.00	\$7,726.92	\$21,976.92	\$1,465.13	REPLACE	3
1398	Lavatories	LAV-B03000-001	Lavatories	1	LS		\$22,000	\$11,929	\$33,929			
1399	Lavatories	LAV-B03000-001CA1	EoLC - Replace the lavatories at end of life	1	Ea.		\$22,000	\$11,929	\$33,929		REPLACE	3
1400			Remove existing lavatory (Vitreous china / steel)	20.00	Ea.	\$150.00	\$3,000.00	\$1,626.72	\$4,626.72	\$231.34	REPLACE	3
1401			Replace vitreous china lavatory at common areas	20.00	Ea.	\$950.00	\$19,000.00	\$10,302.56	\$29,302.56	\$1,465.13	REPLACE	3
1402	Plumbing Fixtures	D201006	Drinking Fountains and Coolers	1	LS		\$18,550	\$9,845	\$28,395			
1403	Drinking Fountains and Coolers	DFC0-B01000-001	Drinking Fountains and Coolers	1	LS		\$7,200	\$3,904	\$11,104			
1404	Drinking Fountains and Coolers	DFC0-B01000-001CA1	EoLC - Replace the Drinking fountain at end of life	1	Ea.		\$7,200	\$3,904	\$11,104		REPLACE	2
1405			Remove existing (non operational/faulty) water cooler	4.00	Ea.	\$200.00	\$800.00	\$433.79	\$1,233.79	\$308.45	REPLACE	2
1406			New ADA compliant wall-mounted dual water cooler	4.00	Ea.	\$1,200.00	\$4,800.00	\$2,602.75	\$7,402.75	\$1,850.69	REPLACE	2
1407			Allowance for wall patching after installation of new drinking cooler. Finish to ME	1.00	LS	\$1,600.00	\$1,600.00	\$867.58	\$2,467.58		REPLACE	2
1408	Drinking Fountains and Coolers	DFC0-B01000-H02	Drinking Fountains and Coolers	1	LS		\$1,850	\$932	\$2,782			
1409	Drinking Fountains and Coolers	DFC0-B01000-H02CA1	Repair	1	LS		\$1,850	\$932	\$2,782		REPAIR	3
1410			Repair existing water fountain, and restore original historic appearance to ME	1.00	LS	\$1,850.00	\$1,850.00	\$931.82	\$2,781.82		REPAIR	3
1411	Drinking Fountains and Coolers	DFC0-B02000-H02	Drinking Fountains and Coolers	1	LS		\$1,850	\$932	\$2,782			
1412	Drinking Fountains and Coolers	DFC0-B02000-H02CA1	Repair	1	LS		\$1,850	\$932	\$2,782		REPAIR	3
1413			Repair existing water fountain, and restore original historic appearance to ME	1.00	LS	\$1,850.00	\$1,850.00	\$931.82	\$2,781.82		REPAIR	3
1414	Drinking Fountains and Coolers	DFC0-B03000-H02	Drinking Fountains and Coolers	1	LS		\$1,850	\$932	\$2,782			
1415	Drinking Fountains and Coolers	DFC0-B03000-H02CA1	Repair	1	LS		\$1,850	\$932	\$2,782		REPAIR	3
1416			Repair existing water fountain, and restore original historic appearance to ME	1.00	LS	\$1,850.00	\$1,850.00	\$931.82	\$2,781.82		REPAIR	3
1417	Drinking Fountains and Coolers	DFC0-BB1000-001	Drinking Fountains and Coolers	1	LS		\$5,800	\$3,145	\$8,945			
1418	Drinking Fountains and Coolers	DFC0-BB1000-001CA1	EoLC - Replace all drinking fountains on B1 level	1	Ea.		\$5,800	\$3,145	\$8,945		REPLACE	1
1419			Remove existing (non operational) water cooler	3.00	Ea.	\$200.00	\$600.00	\$325.34	\$925.34	\$308.45	REPLACE	1
1420			New ADA compliant wall-mounted dual water cooler	3.00	Ea.	\$1,200.00	\$3,600.00	\$1,952.06	\$5,552.06	\$1,850.69	REPLACE	1
1421			Allowance for wall patching after installation of new drinking cooler. Finish to ME	1.00	LS	\$1,600.00	\$1,600.00	\$867.58	\$2,467.58		REPLACE	1
1422	Plumbing	D2020	Domestic Water Distribution	1	LS		\$476,298	\$258,268	\$734,566			
1423	Domestic Water Distribution	D202001	Pipes and Fittings	1	LS		\$278,127	\$150,812	\$428,939			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
1424	Pipes and Fittings	DWPF-B02000-001	Pipes and Fittings	1	LS		\$91,581	\$49,659	\$141,240			
1425	Pipes and Fittings	DWPF-B02000-001CA1	EoLC - Replace the piping and fittings at end of life	1	S.F.		\$91,581	\$49,659	\$141,240		REPLACE	3
1426			Remove plumbing distribution piping at Second floor	26,700.00	S.F.	\$0.23	\$6,141.00	\$3,329.90	\$9,470.90	\$0.35	REPLACE	3
1427			New plumbing distribution piping at Second floor. Includes fittings and hangers (@ 10' O.C.) as required	26,700.00	S.F.	\$3.20	\$85,440.00	\$46,328.99	\$131,768.99	\$4.94	REPLACE	3
1428	Pipes and Fittings	DWPF-BB1000-001	Pipes and Fittings	1	LS		\$115,248	\$62,492	\$177,740			
1429	Pipes and Fittings	DWPF-BB1000-001CA1	EoLC - Replace the piping and fittings at end of life	1	S.F.		\$115,248	\$62,492	\$177,740		REPLACE	4
1430			Remove plumbing distribution piping at Second floor	33,600.00	S.F.	\$0.23	\$7,728.00	\$4,190.43	\$11,918.43	\$0.35	REPLACE	4
1431			New plumbing distribution piping at Second floor. Includes fittings and hangers (@ 10' O.C.) as required	33,600.00	S.F.	\$3.20	\$107,520.00	\$58,301.64	\$165,821.64	\$4.94	REPLACE	4
1432	Pipes and Fittings	DWPF-BB1SAH-501	Pipes and Fittings	1	LS		\$71,298	\$38,661	\$109,959			
1433	Pipes and Fittings	DWPF-BB1SAH-501CA1	EoLC - Replace tamper-proof domestic water piping and fittings in secure adult holding cell	1	S.F.		\$71,298	\$38,661	\$109,959		REPLACE	1
1434			Remove domestic water copper piping	30,600.00	S.F.	\$0.21	\$6,426.00	\$3,484.43	\$9,910.43	\$0.32	REPLACE	1
1435			Provide new domestic water copper piping and fittings	30,600.00	S.F.	\$2.12	\$64,872.00	\$35,176.19	\$100,048.19	\$3.27	REPLACE	1
1436	Domestic Water Distribution	D202002	Valves and Hydrants	1	LS		\$107,334	\$58,201	\$165,535			
1437	Valves and Hydrants	DWVH-B01000-001	Valves and Hydrants	1	LS		\$29,904	\$16,215	\$46,119			
1438	Valves and Hydrants	DWVH-B01000-001CA1	EoLC - Replace the valves at end of life	1	S.F.		\$29,904	\$16,215	\$46,119		REPLACE	3
1439			Replace all (ball, isolation, shutoff, etc.) plumbing valves at First Level	33,600.00	S.F.	\$0.89	\$29,904.00	\$16,215.14	\$46,119.14	\$1.37	REPLACE	3
1440	Valves and Hydrants	DWVH-B02000-001	Valves and Hydrants	1	LS		\$23,763	\$12,885	\$36,648			
1441	Valves and Hydrants	DWVH-B02000-001CA1	EoLC - Replace the valves at end of life	1	LS		\$23,763	\$12,885	\$36,648		REPLACE	3
1442			Replace all (ball, isolation, shutoff, etc.) plumbing valves at Second Level	26,700.00	LS	\$0.89	\$23,763.00	\$12,885.25	\$36,648.25	\$1.37	REPLACE	3
1443	Valves and Hydrants	DWVH-B03000-001	Valves and Hydrants	1	LS		\$23,763	\$12,885	\$36,648			
1444	Valves and Hydrants	DWVH-B03000-001CA1	EoLC - Replace the valves at end of life	1	LS		\$23,763	\$12,885	\$36,648		REPLACE	3
1445			Replace all (ball, isolation, shutoff, etc.) plumbing valves at Third Level	26,700.00	LS	\$0.89	\$23,763.00	\$12,885.25	\$36,648.25	\$1.37	REPLACE	3
1446	Valves and Hydrants	DWVH-BB1000-001	Valves and Hydrants	1	LS		\$29,904	\$16,215	\$46,119			
1447	Valves and Hydrants	DWVH-BB1000-001CA1	EoLC - Replace the valves at end of life	1	LS		\$29,904	\$16,215	\$46,119		REPLACE	4
1448			Replace all (ball, isolation, shutoff, etc.) plumbing valves at Basement Level	33,600.00	LS	\$0.89	\$29,904.00	\$16,215.14	\$46,119.14	\$1.37	REPLACE	4
1449	Domestic Water Distribution	D202003	Domestic Water Equipment	1	LS		\$42,490	\$23,040	\$65,530			
1450	Domestic Water Equipment	DWEQ-BB1000-001	Domestic Water Equipment	1	LS		\$42,490	\$23,040	\$65,530			
1451	Domestic Water Equipment	DWEQ-BB1000-001CA1	EoLC - Replace the Hot water tank at end of life	1	Ea.		\$42,490	\$23,040	\$65,530		REPLACE	3
1452			Remove existing 200 Gal water heater	1.00	Ea.	\$490.00	\$490.00	\$265.70	\$755.70		REPLACE	3
1453			Provide new commercial grade 200 Gal electric water heater. Vertical assembly.	1.00	Ea.	\$42,000.00	\$42,000.00	\$22,774.08	\$64,774.08		REPLACE	3
1454	Domestic Water Distribution	D202003B	Domestic Hot Water Pump	1	LS		\$1,900	\$1,030	\$2,930			
1455	Domestic Hot Water Pump	DHWP-BB1000-001	Domestic Hot Water Pump	1	LS		\$1,900	\$1,030	\$2,930			
1456	Domestic Hot Water Pump	DHWP-BB1000-001CA1	EoLC - Replace the Recirculation pump at end of life	1	LS		\$1,900	\$1,030	\$2,930		REPLACE	3
1457			Hot water recirculation pump. Replace (includes removal of existing pump)	1.00	LS	\$1,900.00	\$1,900.00	\$1,030.26	\$2,930.26		REPLACE	3
1458	Domestic Water Distribution	D202004A	Insulation - Domestic	1	LS		\$3,957	\$2,146	\$6,103			
1459	Insulation - Domestic	DWIN-BB1000-001	Insulation - Domestic	1	LS		\$3,957	\$2,146	\$6,103			
1460	Insulation - Domestic	DWIN-BB1000-001CA1	Provide Identification for domestic water piping	1	Hr.		\$3,957	\$2,146	\$6,103		REPLACE	3
1461			Existing DW piping and associated valves survey	16.00	Hr.	\$165.00	\$2,640.00	\$1,431.51	\$4,071.51	\$254.47	REPLACE	3
1462			DW pipe and associated valves labeling	33,600.00	S.F.	\$0.04	\$1,317.12	\$714.20	\$2,031.32	\$0.06	REPLACE	3
1463	Domestic Water Distribution	D202099B	Water Heater - Elec	1	LS		\$42,490	\$23,040	\$65,530			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
1464	Water Heater - Elec	WHEL-BB1000-001	Water Heater - Elec	1	LS		\$42,490	\$23,040	\$65,530			
1465	Water Heater - Elec	WHEL-BB1000-001CA1	EoLC - Replace the water heater at end of life	1	Ea.		\$42,490	\$23,040	\$65,530		REPLACE	3
1466			Remove existing 200 Gal water heater	1.00	Ea.	\$490.00	\$490.00	\$265.70	\$755.70		REPLACE	3
1467			Provide new commercial grade 200 Gal electric water heater. Vertical assembly.	1.00	Ea.	\$42,000.00	\$42,000.00	\$22,774.08	\$64,774.08		REPLACE	3
1468	Plumbing	D2030	Sanitary Waste	1	LS		\$701,630	\$380,481	\$1,082,111			
1469	Sanitary Waste	D203001	Waste Pipe and fittings	1	LS		\$520,343	\$282,151	\$802,494			
1470	Waste Pipe and fittings	WPF0-B01000-001	Waste Pipe and fittings	1	LS		\$114,576	\$62,128	\$176,704			
1471	Waste Pipe and fittings	WPF0-B01000-001CA1	EoLC - Replace the piping and fittings at end of life	1	S.F.		\$114,576	\$62,128	\$176,704		REPLACE	3
1472			Remove sanitary piping and fittings at First Floor	33,600.00	S.F.	\$0.21	\$7,056.00	\$3,826.05	\$10,882.05	\$0.32	REPLACE	3
1473			Install new sanitary waste piping	33,600.00	S.F.	\$3.20	\$107,520.00	\$58,301.64	\$165,821.64	\$4.94	REPLACE	3
1474	Waste Pipe and fittings	WPF0-B02000-001	Waste Pipe and fittings	1	LS		\$91,047	\$49,369	\$140,416			
1475	Waste Pipe and fittings	WPF0-B02000-001CA1	EoLC - Replace the piping and fittings at end of life	1	S.F.		\$91,047	\$49,369	\$140,416		REPLACE	3
1476			Remove sanitary piping and fittings at Second Floor	26,700.00	S.F.	\$0.21	\$5,607.00	\$3,040.34	\$8,647.34	\$0.32	REPLACE	3
1477			Install new sanitary waste piping	26,700.00	S.F.	\$3.20	\$85,440.00	\$46,328.99	\$131,768.99	\$4.94	REPLACE	3
1478	Waste Pipe and fittings	WPF0-B03000-001	Waste Pipe and fittings	1	LS		\$205,623	\$111,497	\$317,120			
1479	Waste Pipe and fittings	WPF0-B03000-001CA1	EoLC - Replace the piping and fittings at end of life	1	S.F.		\$91,047	\$49,369	\$140,416		REPLACE	3
1480			Remove sanitary piping and fittings at Third Floor	26,700.00	S.F.	\$0.21	\$5,607.00	\$3,040.34	\$8,647.34	\$0.32	REPLACE	3
1481			Install new sanitary waste piping	26,700.00	S.F.	\$3.20	\$85,440.00	\$46,328.99	\$131,768.99	\$4.94	REPLACE	3
1482	Waste Pipe and fittings	WPF0-B03000-001CA1	EoLC - Replace the piping and fittings at end of life	1	S.F.		\$114,576	\$62,128	\$176,704		REPLACE	3
1483			Remove sanitary piping and fittings at Basement Floor	33,600.00	S.F.	\$0.21	\$7,056.00	\$3,826.05	\$10,882.05	\$0.32	REPLACE	3
1484			Install new sanitary waste piping	33,600.00	S.F.	\$3.20	\$107,520.00	\$58,301.64	\$165,821.64	\$4.94	REPLACE	3
1485	Waste Pipe and fittings	WPF0-BB1SAH-S01	Waste Pipe and fittings	1	LS		\$18,050	\$9,787	\$27,837			
1486	Waste Pipe and fittings	WPF0-BB1SAH-S01CA1	EoLC - Replace tamper-proof sanitary waste piping and fittings in secure adult holding cell.	1	S.F.		\$18,050	\$9,787	\$27,837		REPLACE	4
1487			Remove sanitary piping and fittings at Hold Area	5,000.00	S.F.	\$0.41	\$2,050.00	\$1,111.59	\$3,161.59	\$0.63	REPLACE	4
1488			Install new sanitary waste piping	5,000.00	S.F.	\$3.20	\$16,000.00	\$8,675.84	\$24,675.84	\$4.94	REPLACE	4
1489	Waste Pipe and fittings	WPF0-BPH000-001	Waste Pipe and fittings	1	LS		\$91,047	\$49,369	\$140,416			
1490	Waste Pipe and fittings	WPF0-BPH000-001CA1	EoLC - Replace the piping and fittings at end of life	1	S.F.		\$91,047	\$49,369	\$140,416		REPLACE	3
1491			Remove sanitary piping and fittings at PH	26,700.00	S.F.	\$0.21	\$5,607.00	\$3,040.34	\$8,647.34	\$0.32	REPLACE	3
1492			Install new sanitary waste piping	26,700.00	S.F.	\$3.20	\$85,440.00	\$46,328.99	\$131,768.99	\$4.94	REPLACE	3
1493	Sanitary Waste	D203002	Vent Pipe and Fittings	1	LS		\$44,780	\$24,282	\$69,062			
1494	Vent Pipe and Fittings	VPF0-B02000-001	Vent Pipe and Fittings	1	LS		\$10,137	\$5,497	\$15,634			
1495	Vent Pipe and Fittings	VPF0-B02000-001CA1	EoLC - Replace the piping and fitting at end of life	1	S.F.		\$10,137	\$5,497	\$15,634		REPLACE	3
1496			Remove vent stack piping	26,700.00	S.F.	\$0.11	\$2,937.00	\$1,592.56	\$4,529.56	\$0.17	REPLACE	3
1497			Install new vent piping (based on 18 toilets)	360.00	L.F.	\$20.00	\$7,200.00	\$3,904.13	\$11,104.13	\$30.84	REPLACE	3
1498	Vent Pipe and Fittings	VPF0-B03000-001	Vent Pipe and Fittings	1	LS		\$10,537	\$5,714	\$16,251			
1499	Vent Pipe and Fittings	VPF0-B03000-001CA1	EoLC - Replace the piping and fitting at end of life	1	S.F.		\$10,537	\$5,714	\$16,251		REPLACE	3
1500			Remove vent stack piping	26,700.00	S.F.	\$0.11	\$2,937.00	\$1,592.56	\$4,529.56	\$0.17	REPLACE	3
1501			Install new vent piping (based on 19 toilets)	380.00	L.F.	\$20.00	\$7,600.00	\$4,121.02	\$11,721.02	\$30.84	REPLACE	3
1502	Vent Pipe and Fittings	VPF0-BB1SAH-S01	Vent Pipe and Fittings	1	LS		\$24,106	\$13,071	\$37,177			
1503	Vent Pipe and Fittings	VPF0-BB1SAH-S01CA1	EoLC - Replace tamper-proof vent piping and fittings in secure adult holding cell	1	S.F.		\$15,056	\$8,164	\$23,220		REPLACE	1
1504			Remove vent stack piping	33,600.00	S.F.	\$0.21	\$7,056.00	\$3,826.05	\$10,882.05	\$0.32	REPLACE	1
1505			Install new vent piping	400.00	L.F.	\$20.00	\$8,000.00	\$4,337.92	\$12,337.92	\$30.84	REPLACE	1
1506	Vent Pipe and Fittings	VPF0-BB1SAH-S01CA1	EoLC - Replace tamper-proof vent piping and fittings in secure adult holding cell	1	S.F.		\$9,050	\$4,907	\$13,957		REPLACE	1
1507			Remove vent stack piping	5,000.00	S.F.	\$0.21	\$1,050.00	\$569.35	\$1,619.35	\$0.32	REPLACE	1
1508			Install new vent piping (based on 10 toilets at Holding Area)	400.00	L.F.	\$20.00	\$8,000.00	\$4,337.92	\$12,337.92	\$30.84	REPLACE	1
1509	Sanitary Waste	D203003	Floor Drains	1	LS		\$130,350	\$70,681	\$201,031			
1510	Floor Drains	FLDR-B01000-001	Floor Drains	1	LS		\$17,775	\$9,638	\$27,413			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
1511	Floor Drains	FLDR-B01000-001CA1	EoLC - Replace the floor drains at end of life	1	Ea.		\$17,775	\$9,638	\$27,413		REPLACE	3
1512			Replace the floor drains at end of life	9.00	Ea.	\$1,900.00	\$17,100.00	\$9,272.30	\$26,372.30	\$2,930.26	REPLACE	3
1513			Remove existing floor drain	9.00	Ea.	\$75.00	\$675.00	\$366.01	\$1,041.01	\$115.67	REPLACE	3
1514	Floor Drains	FLDR-B02000-001	Floor Drains	1	LS		\$25,675	\$13,922	\$39,597			
1515	Floor Drains	FLDR-B02000-001CA1	EoLC - Replace the floor drains at end of life	1	Ea.		\$25,675	\$13,922	\$39,597		REPLACE	3
1516			Floor drain @ Second Level	13.00	Ea.	\$1,900.00	\$24,700.00	\$13,393.33	\$38,093.33	\$2,930.26	REPLACE	3
1517			Remove existing floor drain	13.00	Ea.	\$75.00	\$975.00	\$528.68	\$1,503.68	\$115.67	REPLACE	3
1518	Floor Drains	FLDR-B03000-001	Floor Drains	1	LS		\$29,625	\$16,064	\$45,689			
1519	Floor Drains	FLDR-B03000-001CA1	EoLC - Replace the floor drains at end of life	1	Ea.		\$29,625	\$16,064	\$45,689		REPLACE	3
1520			Floor drain @ ThirdLevel	15.00	Ea.	\$1,900.00	\$28,500.00	\$15,453.84	\$43,953.84	\$2,930.26	REPLACE	3
1521			Remove existing floor drain	15.00	Ea.	\$75.00	\$1,125.00	\$610.02	\$1,735.02	\$115.67	REPLACE	3
1522	Floor Drains	FLDR-BB1000-001	Floor Drains	1	LS		\$39,500	\$21,418	\$60,918			
1523	Floor Drains	FLDR-BB1000-001CA1	EoLC - Replace the floor drains at end of life	1	Ea.		\$39,500	\$21,418	\$60,918		REPLACE	3
1524			Floor drain @ Basement Level	20.00	Ea.	\$1,900.00	\$38,000.00	\$20,605.12	\$58,605.12	\$2,930.26	REPLACE	3
1525			Remove existing floor drain	20.00	Ea.	\$75.00	\$1,500.00	\$813.36	\$2,313.36	\$115.67	REPLACE	3
1526	Floor Drains	FLDR-BPH000-001	Floor Drains	1	LS		\$17,775	\$9,638	\$27,413			
1527	Floor Drains	FLDR-BPH000-001CA1	EoLC - Replace the floor drains at end of life	1	Ea.		\$17,775	\$9,638	\$27,413		REPLACE	3
1528			Floor drain @ PH	9.00	Ea.	\$1,900.00	\$17,100.00	\$9,272.30	\$26,372.30	\$2,930.26	REPLACE	3
1529			Remove existing floor drain	9.00	Ea.	\$75.00	\$675.00	\$366.01	\$1,041.01	\$115.67	REPLACE	3
1530	Sanitary Waste	D203005B	Identification - Sanitary	1	LS		\$3,957	\$2,175	\$6,132			
1531	Identification - Sanitary	WIDO-BB1000-001	Identification - Sanitary	1	LS		\$3,957	\$2,175	\$6,132			
1532	Identification - Sanitary	WIDO-BB1000-001CA1	Provide Identification for waste piping	1	Hr.		\$3,957	\$2,175	\$6,132		UPGRADE	3
1533			Existing waste piping and associated valves survey	16.00	Hr.	\$165.00	\$2,640.00	\$1,450.90	\$4,090.90	\$255.68	UPGRADE	3
1534			Domestic pipe and associated valves labeling	33,600.00	S.F.	\$0.04	\$1,317.12	\$723.87	\$2,040.99	\$0.06	UPGRADE	3
1535	Sanitary Waste	D203099A	Sewage Ejector Pump	1	LS		\$2,200	\$1,193	\$3,393			
1536	Sewage Ejector Pump	SE00-BB1000-001	Sewage Ejector Pump	1	LS		\$950	\$515	\$1,465			
1537	Sewage Ejector Pump	SE00-BB1000-001CA1	EoLC - Replace the Sewage Ejector Pump at end of life	1	LS		\$950	\$515	\$1,465		REPLACE	3
1538			Replace the Sewage Ejector Pump at end of life	1.00	LS	\$950.00	\$950.00	\$515.13	\$1,465.13		REPLACE	3
1539	Sewage Ejector Pump	SE00-BB1000-002	Sewage Ejector Pump	1	LS		\$1,250	\$678	\$1,928			
1540	Sewage Ejector Pump	SE00-BB1000-002CA1	EoLC - Replace the Sewage Ejector Pump at end of life	1	Ea.		\$150	\$81	\$231		REPLACE	3
1541			Remove existing pump and associated connectors	1.00	Ea.	\$150.00	\$150.00	\$81.34	\$231.34		REPLACE	3
1542	Sewage Ejector Pump	SE00-BB1000-002CA1	EoLC - Replace the Sewage Ejector Pump at end of life	1	LS		\$1,100	\$596	\$1,696		REPLACE	1
1543			Replace the Sewage Ejector Pump at end of life	1.00	LS	\$950.00	\$950.00	\$515.13	\$1,465.13		REPLACE	1
1544			Remove existing pump and associated connectors	1.00	Ea.	\$150.00	\$150.00	\$81.34	\$231.34		REPLACE	1
1545	Plumbing	D2040	Rain Water Drainage	1	LS		\$54,857	\$29,775	\$84,632			
1546	Rain Water Drainage	D204001	Pipe and Fittings	1	LS		\$50,100	\$27,166	\$77,266			
1547	Pipe and Fittings	RWPF-B01000-001	Pipe and Fittings	1	LS		\$50,100	\$27,166	\$77,266			
1548	Pipe and Fittings	RWPF-B01000-001CA1	EoLC - Replace the piping and fittings at end of life	1	S.F.		\$50,100	\$27,166	\$77,266		REPLACE	3
1549			Remove storm piping	30,000.00	S.F.	\$0.11	\$3,300.00	\$1,789.39	\$5,089.39	\$0.17	REPLACE	3
1550			Storm water piping replacement	30,000.00	S.F.	\$1.56	\$46,800.00	\$25,376.83	\$72,176.83	\$2.41	REPLACE	3
1551	Rain Water Drainage	D204003A	Storm Drainage Pipe	1	LS		\$800	\$434	\$1,234			
1552	Storm Drainage Pipe	SP00-BB1000-001	Storm Drainage Pipe	1	LS		\$800	\$434	\$1,234			
1553	Storm Drainage Pipe	SP00-BB1000-001CA1	EoLC - Replace sump pump.	1	Ea.		\$800	\$434	\$1,234		REPLACE	2
1554			Storm submersible pump removal	1.00	Ea.	\$120.00	\$120.00	\$65.07	\$185.07		REPLACE	2
1555			New submersible pump, cast iron, 1-1/4" discharge	1.00	Ea.	\$680.00	\$680.00	\$368.72	\$1,048.72		REPLACE	2
1556	Rain Water Drainage	D204004B	Identification - Rain	1	LS		\$3,957	\$2,175	\$6,132			
1557	Identification - Rain	RWID-BB1000-001	Identification - Rain	1	LS		\$3,957	\$2,175	\$6,132			
1558	Identification - Rain	RWID-BB1000-001CA1	Provide Identification for storm piping	1	Hr.		\$3,957	\$2,175	\$6,132		UPGRADE	3
1559			Existing SD piping and associated valves survey	16.00	Hr.	\$165.00	\$2,640.00	\$1,450.90	\$4,090.90	\$255.68	UPGRADE	3
1560			DW pipe and associated valves labeling	33,600.00	S.F.	\$0.04	\$1,317.12	\$723.87	\$2,040.99	\$0.06	UPGRADE	3





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
1561	Plumbing	D2090	Other Plumbing Systems	1	LS		\$240	\$106	\$346			
1562	Other Plumbing Systems	D209099	Other Special Plumbing Systems	1	LS		\$240	\$106	\$346			
1563	Other Special Plumbing Systems	GREG-B01000-001	Other Special Plumbing Systems	1	LS		\$120	\$53	\$173			
1564	Other Special Plumbing Systems	GREG-B01000-001CA1	Remove Gas Regulator	1	LS		\$120	\$53	\$173		REMOVE	2
1565			Remove Gas Regulator	1.00	LS	\$120.00	\$120.00	\$52.92	\$172.92		REMOVE	2
1566	Other Special Plumbing Systems	GREG-BB1000-002	Other Special Plumbing Systems	1	LS		\$120	\$53	\$173			
1567	Other Special Plumbing Systems	GREG-BB1000-002CA1	Remove Gas Regulator	1	LS		\$120	\$53	\$173		REMOVE	2
1568			Remove Gas Regulator	1.00	LS	\$120.00	\$120.00	\$52.92	\$172.92		REMOVE	2
1569	Services	D30	HVAC	1	LS		\$3,903,266	\$2,113,858	\$6,017,124			
1570	HVAC	D3020	Heat Generating Systems	1	LS		\$2,400	\$1,209	\$3,609			
1571	Heat Generating Systems	D302002	Hot Water Boilers	1	LS		\$2,400	\$1,209	\$3,609			
1572	Hot Water Boilers	BHW0-BB1000-001	Hot Water Boilers	1	LS		\$1,200	\$604	\$1,804			
1573	Hot Water Boilers	BHW0-BB1000-001CA1	Commission hot water boilers	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
1574			Commission hot water boilers	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
1575	Hot Water Boilers	BHW0-BB1000-002	Hot Water Boilers	1	LS		\$1,200	\$604	\$1,804			
1576	Hot Water Boilers	BHW0-BB1000-002CA1	Commission hot water boilers	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
1577			Commission hot water boilers	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
1578	HVAC	D3030	Cooling Generating Systems	1	LS		\$592,019	\$320,284	\$912,304			
1579	Cooling Generating Systems	D303001A	Chillers	1	LS		\$221,520	\$119,963	\$341,483			
1580	Chillers	CHW0-BB1000-001	Chillers	1	LS		\$110,000	\$59,646	\$169,646			
1581	Chillers	CHW0-BB1000-001CA1	EoLC - Replace chiller.	1	LS		\$110,000	\$59,646	\$169,646		REPLACE	3
1582			Replace chiller.	1.00	LS	\$110,000.00	\$110,000.00	\$59,646.40	\$169,646.40		REPLACE	3
1583	Chillers	CHW0-BB1000-002	Chillers	1	LS		\$110,000	\$59,646	\$169,646			
1584	Chillers	CHW0-BB1000-002CA1	EoLC - Replace chiller.	1	LS		\$110,000	\$59,646	\$169,646		REPLACE	3
1585			Replace chiller.	1.00	LS	\$110,000.00	\$110,000.00	\$59,646.40	\$169,646.40		REPLACE	3
1586	Chillers	CHW0-BB1000-003	Chillers	1	LS		\$1,520	\$670	\$2,190			
1587	Chillers	CHW0-BB1000-003CA1	Remove abandoned domestic chilled water chiller.	1	LS		\$1,520	\$670	\$2,190		REMOVE	1
1588			Remove abandoned domestic chilled water chiller.	1.00	LS	\$1,520.00	\$1,520.00	\$670.37	\$2,190.37		REMOVE	1
1589	Cooling Generating Systems	D303099A	Condenser Water Pumps	1	LS		\$7,920	\$4,295	\$12,215			
1590	Condenser Water Pumps	CWP0-BB1000-001	Condenser Water Pumps	1	LS		\$3,960	\$2,147	\$6,107			
1591	Condenser Water Pumps	CWP0-BB1000-001CA1	EoLC - Replace condenser water pump.	1	LS		\$3,960	\$2,147	\$6,107		REPLACE	2
1592			Replace condenser water pump.	1.00	LS	\$3,960.00	\$3,960.00	\$2,147.27	\$6,107.27		REPLACE	2
1593	Condenser Water Pumps	CWP0-BB1000-002	Condenser Water Pumps	1	LS		\$3,960	\$2,147	\$6,107			
1594	Condenser Water Pumps	CWP0-BB1000-002CA1	EoLC - Replace condenser water pump.	1	LS		\$3,960	\$2,147	\$6,107		REPLACE	2
1595			Replace condenser water pump.	1.00	LS	\$3,960.00	\$3,960.00	\$2,147.27	\$6,107.27		REPLACE	2
1596	Cooling Generating Systems	D303099C	Closed Loop Water Treatment	1	LS		\$970	\$526	\$1,496			
1597	Closed Loop Water Treatment	CLWT-BB1000-001	Closed Loop Water Treatment	1	LS		\$970	\$526	\$1,496			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
1598	Closed Loop Water Treatment	CLWT-BB1000-001CA1	EoLC - Replace shot feeder.	1	LS		\$970	\$526	\$1,496		REPLACE	1
1599			Replace shot feeder.	1.00	LS	\$850.00	\$850.00	\$460.90	\$1,310.90		REPLACE	1
1600			Remove existing shot feeder equipment	1.00	LS	\$120.00	\$120.00	\$65.07	\$185.07		REPLACE	1
1601	Cooling Generating Systems	D303099H	Condenser Water Pipe & Fittings	1	LS		\$46,609	\$25,273	\$71,883			
1602	Condenser Water Pipe & Fittings	CWPF-BB1000-001	Condenser Water Pipe & Fittings	1	LS		\$43,968	\$23,841	\$67,809			
1603	Condenser Water Pipe & Fittings	CWPF-BB1000-001CA1	EoLC - Replace condenser water piping.	1	LS		\$43,968	\$23,841	\$67,809		REPLACE	3
1604			Replace condenser water piping.	33,600.00	LS	\$1.23	\$41,328.00	\$22,409.69	\$63,737.69	\$1.90	REPLACE	3
1605			Existing piping and associated valves survey	16.00	Hr.	\$165.00	\$2,640.00	\$1,431.51	\$4,071.51	\$254.47	REPLACE	3
1606	Condenser Water Pipe & Fittings	CWPF-BPH000-001	Condenser Water Pipe & Fittings	1	LS		\$2,641	\$1,432	\$4,073			
1607	Condenser Water Pipe & Fittings	CWPF-BPH000-001CA1	EoLC - Replace condenser water piping.	1	LS		\$2,641	\$1,432	\$4,073		REPLACE	3
1608			Replace condenser water piping.	1.00	LS	\$1.23	\$1.23	\$0.67	\$1.90		REPLACE	3
1609			Existing piping and associated valves survey	16.00	Hr.	\$165.00	\$2,640.00	\$1,431.51	\$4,071.51	\$254.47	REPLACE	3
1610	Cooling Generating Systems	D303099I	Cooling Towers	1	LS		\$315,000	\$170,227	\$485,227			
1611	Cooling Towers	CT00-BPH000-001	Cooling Towers	1	LS		\$157,500	\$85,114	\$242,614			
1612	Cooling Towers	CT00-BPH000-001CA1	Repair cooling tower motor.	1	LS		\$7,500	\$3,778	\$11,278		REPAIR	1
1613			Repair cooling tower motor.	1.00	LS	\$7,500.00	\$7,500.00	\$3,777.63	\$11,277.63		REPAIR	1
1614	Cooling Towers	CT00-BPH000-001CA2	EoLC - Replace cooling tower.	1	LS		\$150,000	\$81,336	\$231,336		REPLACE	3
1615			Replace cooling tower.	1.00	LS	\$150,000.00	\$150,000.00	\$81,336.00	\$231,336.00		REPLACE	3
1616	Cooling Towers	CT00-BPH000-002	Cooling Towers	1	LS		\$157,500	\$85,114	\$242,614			
1617	Cooling Towers	CT00-BPH000-002CA1	Repair cooling tower motor.	1	LS		\$7,500	\$3,778	\$11,278		REPAIR	1
1618			Repair cooling tower motor.	1.00	LS	\$7,500.00	\$7,500.00	\$3,777.63	\$11,277.63		REPAIR	1
1619	Cooling Towers	CT00-BPH000-002CA2	EoLC - Replace cooling tower.	1	LS		\$150,000	\$81,336	\$231,336		REPLACE	3
1620			Replace cooling tower.	1.00	LS	\$150,000.00	\$150,000.00	\$81,336.00	\$231,336.00		REPLACE	3
1621	HVAC	D3040	Distribution Systems	1	LS		\$667,367	\$362,952	\$1,030,319			
1622	Distribution Systems	D304001A	Ductwork and Fittings	1	LS		\$261,610	\$143,101	\$404,711			
1623	Ductwork and Fittings	DUCT-B01000-001	Ductwork and Fittings	1	LS		\$65,790	\$36,157	\$101,947			
1624	Ductwork and Fittings	DUCT-B01000-001CA1	Insulate supply ductwork.	1	LS		\$29,000	\$15,938	\$44,938		UPGRADE	2
1625			Insulate supply ductwork.	1.00	LS	\$29,000.00	\$29,000.00	\$15,937.94	\$44,937.94		UPGRADE	2
1626	Ductwork and Fittings	DUCT-B01000-001CA2	Replace all flex ductwork between duct main and fan powered boxes with rigid duct.	1	S.F.		\$36,790	\$20,219	\$57,009		UPGRADE	2
1627			Replace all flex ductwork between duct main and fan powered boxes with rigid duct.	28,300.00	S.F.	\$1.30	\$36,790.00	\$20,219.20	\$57,009.20	\$2.01	UPGRADE	2
1628	Ductwork and Fittings	DUCT-B02000-001	Ductwork and Fittings	1	LS		\$60,310	\$33,145	\$93,455			
1629	Ductwork and Fittings	DUCT-B02000-001CA1	Insulate supply ductwork.	1	LS		\$25,600	\$14,069	\$39,669		UPGRADE	2
1630			Insulate supply ductwork.	1.00	LS	\$25,600.00	\$25,600.00	\$14,069.35	\$39,669.35		UPGRADE	2
1631	Ductwork and Fittings	DUCT-B02000-001CA2	Replace all flex ductwork between duct main and fan powered boxes with rigid duct.	1	S.F.		\$34,710	\$19,076	\$53,786		UPGRADE	2
1632			Replace all flex ductwork between duct main and fan powered boxes with rigid duct.	26,700.00	S.F.	\$1.30	\$34,710.00	\$19,076.06	\$53,786.06	\$2.01	UPGRADE	2
1633	Ductwork and Fittings	DUCT-B03000-001	Ductwork and Fittings	1	LS		\$60,310	\$33,145	\$93,455			
1634	Ductwork and Fittings	DUCT-B03000-001CA1	Insulate supply ductwork.	1	LS		\$25,600	\$14,069	\$39,669		UPGRADE	2
1635			Insulate supply ductwork.	1.00	LS	\$25,600.00	\$25,600.00	\$14,069.35	\$39,669.35		UPGRADE	2
1636	Ductwork and Fittings	DUCT-B03000-001CA2	Replace all flex ductwork between duct main and fan powered boxes with rigid duct.	1	S.F.		\$34,710	\$19,076	\$53,786		UPGRADE	2





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
1637			Replace all flex ductwork between duct main and fan powered boxes with rigid duct.	26,700.00	S.F.	\$1.30	\$34,710.00	\$19,076.06	\$53,786.06	\$2.01	UPGRADE	2
1638	Ductwork and Fittings	DUCT-BB1000-001	Ductwork and Fittings	1	LS		\$35,300	\$19,143	\$54,443			
1639	Ductwork and Fittings	DUCT-BB1000-001CA1	Insulate supply ductwork.	1	LS		\$29,700	\$16,323	\$46,023		UPGRADE	2
1640			Insulate supply ductwork.	1.00	LS	\$29,700.00	\$29,700.00	\$16,322.64	\$46,022.64		UPGRADE	2
1641	Ductwork and Fittings	DUCT-BB1000-001CA2	Patch and repair ductwork.	1	LS		\$5,600	\$2,821	\$8,421		REPAIR	2
1642			Patch and repair ductwork.	1.00	LS	\$5,600.00	\$5,600.00	\$2,820.63	\$8,420.63		REPAIR	2
1643	Ductwork and Fittings	DUCT-BB1SAH-S01	Ductwork and Fittings	1	LS		\$22,000	\$11,929	\$33,929			
1644	Ductwork and Fittings	DUCT-BB1SAH-S01CA1	EoLC - Replace tamper-proof ductwork.	1	LS		\$22,000	\$11,929	\$33,929		REPLACE	2
1645			Replace tamper-proof ductwork.	1.00	LS	\$22,000.00	\$22,000.00	\$11,929.28	\$33,929.28		REPLACE	2
1646	Ductwork and Fittings	DUCT-BPH000-001	Ductwork and Fittings	1	LS		\$17,900	\$9,581	\$27,481			
1647	Ductwork and Fittings	DUCT-BPH000-001CA1	Insulate supply ductwork.	1	LS		\$12,300	\$6,760	\$19,060		UPGRADE	2
1648			Insulate supply ductwork.	1.00	LS	\$12,300.00	\$12,300.00	\$6,759.88	\$19,059.88		UPGRADE	2
1649	Ductwork and Fittings	DUCT-BPH000-001CA2	Patch and repair ductwork.	1	LS		\$5,600	\$2,821	\$8,421		REPAIR	2
1650			Patch and repair ductwork.	1.00	LS	\$5,600.00	\$5,600.00	\$2,820.63	\$8,420.63		REPAIR	2
1651	Distribution Systems	D304001E	Grilles and Diffusers	1	LS		\$68,304	\$37,103	\$105,407			
1652	Grilles and Diffusers	GRD0-B01000-001	Grilles and Diffusers	1	LS		\$13,000	\$7,062	\$20,062			
1653	Grilles and Diffusers	GRD0-B01000-001CA1	Clean all diffusers.	1	LS		\$1,800	\$989	\$2,789		UPGRADE	1
1654			Clean all diffusers.	1.00	LS	\$1,800.00	\$1,800.00	\$989.25	\$2,789.25		UPGRADE	1
1655	Grilles and Diffusers	GRD0-B01000-001CA2	EoLC - Replace diffusers	1	LS		\$11,200	\$6,073	\$17,273		REPLACE	3
1656			Replace diffusers	1.00	LS	\$11,200.00	\$11,200.00	\$6,073.09	\$17,273.09		REPLACE	3
1657	Grilles and Diffusers	GRD0-B02000-001	Grilles and Diffusers	1	LS		\$13,000	\$7,062	\$20,062			
1658	Grilles and Diffusers	GRD0-B02000-001CA1	Clean all diffusers	1	LS		\$1,800	\$989	\$2,789		UPGRADE	1
1659			Clean all diffusers	1.00	LS	\$1,800.00	\$1,800.00	\$989.25	\$2,789.25		UPGRADE	1
1660	Grilles and Diffusers	GRD0-B02000-001CA2	EoLC - Replace diffusers	1	LS		\$11,200	\$6,073	\$17,273		REPLACE	3
1661			Replace diffusers	1.00	LS	\$11,200.00	\$11,200.00	\$6,073.09	\$17,273.09		REPLACE	3
1662	Grilles and Diffusers	GRD0-B03000-001	Grilles and Diffusers	1	LS		\$20,840	\$11,314	\$32,154			
1663	Grilles and Diffusers	GRD0-B03000-001CA1	Clean all diffusers	1	LS		\$1,800	\$989	\$2,789		UPGRADE	1
1664			Clean all diffusers	1.00	LS	\$1,800.00	\$1,800.00	\$989.25	\$2,789.25		UPGRADE	1
1665	Grilles and Diffusers	GRD0-B03000-001CA2	EoLC - Replace diffusers	1	LS		\$9,520	\$5,162	\$14,682		REPLACE	3
1666			Replace diffusers	1.00	LS	\$9,520.00	\$9,520.00	\$5,162.12	\$14,682.12		REPLACE	3
1667	Grilles and Diffusers	GRD0-B03000-001CA3	EoLC - Replace diffusers	1	LS		\$9,520	\$5,162	\$14,682		REPLACE	3
1668			Replace diffusers	1.00	LS	\$9,520.00	\$9,520.00	\$5,162.12	\$14,682.12		REPLACE	3
1669	Grilles and Diffusers	GRD0-BB1000-001	Grilles and Diffusers	1	LS		\$15,800	\$8,581	\$24,381			
1670	Grilles and Diffusers	GRD0-BB1000-001CA1	Clean all diffusers	1	LS		\$1,800	\$989	\$2,789		UPGRADE	1
1671			Clean all diffusers	1.00	LS	\$1,800.00	\$1,800.00	\$989.25	\$2,789.25		UPGRADE	1
1672	Grilles and Diffusers	GRD0-BB1000-001CA2	Replace diffusers	1	LS		\$14,000	\$7,591	\$21,591		REPLACE	3
1673			Replace diffusers	1.00	LS	\$14,000.00	\$14,000.00	\$7,591.36	\$21,591.36		REPLACE	3
1674	Grilles and Diffusers	GRD0-BB1SAH-001	Grilles and Diffusers	1	LS		\$5,664	\$3,084	\$8,748			
1675	Grilles and Diffusers	GRD0-BB1SAH-001CA1	Clean all diffusers	1	LS		\$1,800	\$989	\$2,789		UPGRADE	1
1676			Clean all diffusers	1.00	LS	\$1,800.00	\$1,800.00	\$989.25	\$2,789.25		UPGRADE	1
1677	Grilles and Diffusers	GRD0-BB1SAH-001CA2	EoLC - Replace diffusers	1	LS		\$3,864	\$2,095	\$5,959		REPLACE	3
1678			Replace diffusers	1.00	LS	\$3,864.00	\$3,864.00	\$2,095.22	\$5,959.22		REPLACE	3
1679	Distribution Systems	D304002A	Humidifiers	1	LS		\$8,880	\$4,815	\$13,695			
1680	Humidifiers	HUM0-BB1000-001	Humidifiers	1	LS		\$2,960	\$1,605	\$4,565			
1681	Humidifiers	HUM0-BB1000-001CA1	EoLC - Replace AHU humidifier.	1	LS		\$2,960	\$1,605	\$4,565		REPLACE	2
1682			Replace AHU humidifier.	1.00	LS	\$2,960.00	\$2,960.00	\$1,605.03	\$4,565.03		REPLACE	2
1683	Humidifiers	HUM0-BPH000-001	Humidifiers	1	LS		\$2,960	\$1,605	\$4,565			
1684	Humidifiers	HUM0-BPH000-001CA1	EoLC - Replace AHU humidifier.	1	LS		\$2,960	\$1,605	\$4,565		REPLACE	2
1685			Replace AHU humidifier.	1.00	LS	\$2,960.00	\$2,960.00	\$1,605.03	\$4,565.03		REPLACE	2





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
1686	Humidifiers	HUM0-BPH000-002	Humidifiers	1	LS		\$2,960	\$1,605	\$4,565			
1687	Humidifiers	HUM0-BPH000-002CA1	EoLC - Replace AHU humidifier.	1	LS		\$2,960	\$1,605	\$4,565		REPLACE	2
1688			Replace AHU humidifier.	1.00	LS	\$2,960.00	\$2,960.00	\$1,605.03	\$4,565.03		REPLACE	2
1689	Distribution Systems	D304002B	Steam Pipe and Fittings	1	LS		\$25,187	\$13,657	\$38,844			
1690	Steam Pipe and Fittings	STPF-B01000-001	Steam Pipe and Fittings	1	LS		\$25,187	\$13,657	\$38,844			
1691	Steam Pipe and Fittings	STPF-B01000-001CA1	EoLC - Replace steam pipe and steam PRV	1	S.F.		\$25,187	\$13,657	\$38,844		REPLACE	4
1692			Replace steam pipe and steam PRV	28,300.00	S.F.	\$0.89	\$25,187.00	\$13,657.40	\$38,844.40	\$1.37	REPLACE	4
1693	Distribution Systems	D304002C	Steam Traps	1	LS		\$25,100	\$13,610	\$38,710			
1694	Steam Traps	STTO-B01000-001	Steam Traps	1	LS		\$25,100	\$13,610	\$38,710			
1695	Steam Traps	STTO-B01000-001CA1	Add Steam trap monitoring system	1	LS		\$19,500	\$10,574	\$30,074		REPLACE	4
1696			Add Steam trap monitoring system	1.00	LS	\$19,500.00	\$19,500.00	\$10,573.68	\$30,073.68		REPLACE	4
1697	Steam Traps	STTO-B01000-001CA2	EoLC - Replace Steam Traps	1	LS		\$5,600	\$3,037	\$8,637		REPLACE	4
1698			Replace Steam Traps	1.00	LS	\$5,600.00	\$5,600.00	\$3,036.54	\$8,636.54		REPLACE	4
1699	Distribution Systems	D304002D	Steam Condensate Pump	1	LS		\$7,850	\$4,257	\$12,107			
1700	Steam Condensate Pump	STCP-BB1000-001	Steam Condensate Pump	1	LS		\$7,850	\$4,257	\$12,107			
1701	Steam Condensate Pump	STCP-BB1000-001CA1	EoLC - Replace steam condensate pump and associate condensate piping.	1	LS		\$7,850	\$4,257	\$12,107		REPLACE	2
1702			Replace steam condensate pump and associate condensate piping.	1.00	LS	\$7,850.00	\$7,850.00	\$4,256.58	\$12,106.58		REPLACE	2
1703	Distribution Systems	D304002E	Steam Pipe Insulation	1	LS		\$14,150	\$7,673	\$21,823			
1704	Steam Pipe Insulation	STIN-B01000-001	Steam Pipe Insulation	1	LS		\$14,150	\$7,673	\$21,823			
1705	Steam Pipe Insulation	STIN-B01000-001CA1	EoLC - Replace/add steam pipe insulation	1	S.F.		\$14,150	\$7,673	\$21,823		REPLACE	4
1706			Replace/add steam pipe insulation	28,300.00	S.F.	\$0.50	\$14,150.00	\$7,672.70	\$21,822.70	\$0.77	REPLACE	4
1707	Distribution Systems	D304002F	Steam Pipe Identification	1	LS		\$6,509	\$3,577	\$10,086			
1708	Steam Pipe Identification	STID-B01000-001	Steam Pipe Identification	1	LS		\$6,509	\$3,577	\$10,086			
1709	Steam Pipe Identification	STID-B01000-001CA1	Provide steam pipe identification	1	S.F.		\$6,509	\$3,577	\$10,086		UPGRADE	4
1710			Provide steam pipe identification	28,300.00	S.F.	\$0.23	\$6,509.00	\$3,577.24	\$10,086.24	\$0.36	UPGRADE	4
1711	Distribution Systems	D304002G	Steam Pipe Meters, Manual Valves, Gauges	1	LS		\$25,187	\$13,657	\$38,844			
1712	Steam Pipe Meters, Manual Valves, Gauges	STMG-B01000-001	Steam Pipe Meters, Manual Valves, Gauges	1	LS		\$25,187	\$13,657	\$38,844			
1713	Steam Pipe Meters, Manual Valves, Gauges	STMG-B01000-001CA1	EoLC - Replace Steam pipe meters, manual valves, and gauges	1	LS		\$25,187	\$13,657	\$38,844		REPLACE	1
1714			Replace Steam pipe meters, manual valves, and gauges	28,300.00	LS	\$0.89	\$25,187.00	\$13,657.40	\$38,844.40	\$1.37	REPLACE	1
1715	Distribution Systems	D304003B	Heat Exchangers	1	LS		\$7,500	\$4,067	\$11,567			
1716	Heat Exchangers	HX00-BB1000-001	Heat Exchangers	1	LS		\$7,500	\$4,067	\$11,567			
1717	Heat Exchangers	HX00-BB1000-001CA1	Replace Shell and Tube heat exchanger	1	LS		\$7,500	\$4,067	\$11,567		REPLACE	4
1718			Replace Shell and Tube heat exchanger	1.00	LS	\$7,500.00	\$7,500.00	\$4,066.80	\$11,566.80		REPLACE	4
1719	Distribution Systems	D304003C	Heating Hot Water Pump	1	LS		\$60,000	\$32,975	\$92,975			
1720	Heating Hot Water Pump	HWP0-BB1000-001	Heating Hot Water Pump	1	LS		\$30,000	\$16,488	\$46,488			
1721	Heating Hot Water Pump	HWP0-BB1000-001CA1	Add VFDs to Primary Hot Water Pumps	1	LS		\$30,000	\$16,488	\$46,488		UPGRADE	3
1722			Add VFDs to Primary Hot Water Pumps	1.00	LS	\$30,000.00	\$30,000.00	\$16,487.52	\$46,487.52		UPGRADE	3
1723	Heating Hot Water Pump	HWP0-BB1000-002	Heating Hot Water Pump	1	LS		\$30,000	\$16,488	\$46,488			
1724	Heating Hot Water Pump	HWP0-BB1000-002CA1	Add VFDs to Primary Hot Water Pumps	1	LS		\$30,000	\$16,488	\$46,488		UPGRADE	3
1725			Add VFDs to Primary Hot Water Pumps	1.00	LS	\$30,000.00	\$30,000.00	\$16,487.52	\$46,487.52		UPGRADE	3
1726	Distribution Systems	D304006A	Chilled Water Pumps	1	LS		\$91,040	\$49,287	\$140,327			





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
1727	Chilled Water Pumps	CHWP-BB1000-001	Chilled Water Pumps	1	LS		\$6,980	\$3,785	\$10,765			
1728	Chilled Water Pumps	CHWP-BB1000-001CA1	EoLC - Replace primary chilled water pump.	1	LS		\$6,980	\$3,785	\$10,765		REPLACE	2
1729			Replace primary chilled water pump.	1.00	LS	\$6,980.00	\$6,980.00	\$3,784.84	\$10,764.84		REPLACE	2
1730	Chilled Water Pumps	CHWP-BB1000-002	Chilled Water Pumps	1	LS		\$6,890	\$3,736	\$10,626			
1731	Chilled Water Pumps	CHWP-BB1000-002CA1	EoLC - Replace primary chilled water pump.	1	LS		\$6,890	\$3,736	\$10,626		REPLACE	2
1732			Replace primary chilled water pump.	1.00	LS	\$6,890.00	\$6,890.00	\$3,736.03	\$10,626.03		REPLACE	2
1733	Chilled Water Pumps	CHWP-BB1000-003	Chilled Water Pumps	1	LS		\$68,890	\$37,355	\$106,245			
1734	Chilled Water Pumps	CHWP-BB1000-003CA1	EoLC - Replace secondary chilled water pump.	1	LS		\$68,890	\$37,355	\$106,245		REPLACE	4
1735			Replace secondary chilled water pump.	1.00	LS	\$68,890.00	\$68,890.00	\$37,354.91	\$106,244.91		REPLACE	4
1736	Chilled Water Pumps	CHWP-BB1000-004	Chilled Water Pumps	1	LS		\$7,500	\$4,067	\$11,567			
1737	Chilled Water Pumps	CHWP-BB1000-004CA1	EoLC - Replace secondary chilled water pump.	1	LS		\$7,500	\$4,067	\$11,567		REPLACE	4
1738			Replace secondary chilled water pump.	1.00	LS	\$7,500.00	\$7,500.00	\$4,066.80	\$11,566.80		REPLACE	4
1739	Chilled Water Pumps	CHWP-BB1000-005	Chilled Water Pumps	1	LS		\$780	\$344	\$1,124			
1740	Chilled Water Pumps	CHWP-BB1000-005CA1	Remove abandoned domestic chilled water circulation pump.	1	LS		\$780	\$344	\$1,124		REMOVE	1
1741			Remove abandoned domestic chilled water circulation pump.	1.00	LS	\$780.00	\$780.00	\$344.00	\$1,124.00		REMOVE	1
1742	Distribution Systems	D304007A	Exhaust Fans	1	LS		\$21,000	\$11,387	\$32,387			
1743	Exhaust Fans	EF00-BB1000-001	Exhaust Fans	1	LS		\$2,100	\$1,139	\$3,239			
1744	Exhaust Fans	EF00-BB1000-001CA1	EoLC - Replace Exhaust Fan	1	LS		\$2,100	\$1,139	\$3,239		REPLACE	4
1745			Replace Exhaust Fan	1.00	LS	\$2,100.00	\$2,100.00	\$1,138.70	\$3,238.70		REPLACE	4
1746	Exhaust Fans	EF00-BB1000-003	Exhaust Fans	1	LS		\$2,100	\$1,139	\$3,239			
1747	Exhaust Fans	EF00-BB1000-003CA1	EoLC - Replace Exhaust Fan	1	LS		\$2,100	\$1,139	\$3,239		REPLACE	3
1748			Replace Exhaust Fan	1.00	LS	\$2,100.00	\$2,100.00	\$1,138.70	\$3,238.70		REPLACE	3
1749	Exhaust Fans	EF00-BB1000-004	Exhaust Fans	1	LS		\$2,100	\$1,139	\$3,239			
1750	Exhaust Fans	EF00-BB1000-004CA1	EoLC - Replace Exhaust Fan and ductwork	1	LS		\$2,100	\$1,139	\$3,239		REPLACE	1
1751			Replace Exhaust Fan and ductwork	1.00	LS	\$2,100.00	\$2,100.00	\$1,138.70	\$3,238.70		REPLACE	1
1752	Exhaust Fans	EF00-BPH000-001	Exhaust Fans	1	LS		\$4,200	\$2,277	\$6,477			
1753	Exhaust Fans	EF00-BPH000-001CA1	EoLC - Replace Exhaust Fan	1	LS		\$2,100	\$1,139	\$3,239		REPLACE	4
1754			Replace Exhaust Fan	1.00	LS	\$2,100.00	\$2,100.00	\$1,138.70	\$3,238.70		REPLACE	4
1755	Exhaust Fans	EF00-BPH000-001CA2	EoLC - Replace exhaust fan at end of life.	1	LS		\$2,100	\$1,139	\$3,239		REPLACE	4
1756			Replace exhaust fan at end of life.	1.00	LS	\$2,100.00	\$2,100.00	\$1,138.70	\$3,238.70		REPLACE	4
1757	Exhaust Fans	EF00-BPH000-002	Exhaust Fans	1	LS		\$2,100	\$1,139	\$3,239			
1758	Exhaust Fans	EF00-BPH000-002CA1	EoLC - Replace Exhaust Fan	1	LS		\$2,100	\$1,139	\$3,239		REPLACE	4
1759			Replace Exhaust Fan	1.00	LS	\$2,100.00	\$2,100.00	\$1,138.70	\$3,238.70		REPLACE	4
1760	Exhaust Fans	EF00-BPH000-003	Exhaust Fans	1	LS		\$2,100	\$1,139	\$3,239			
1761	Exhaust Fans	EF00-BPH000-003CA1	EoLC - Replace Exhaust Fan	1	LS		\$2,100	\$1,139	\$3,239		REPLACE	4
1762			Replace Exhaust Fan	1.00	LS	\$2,100.00	\$2,100.00	\$1,138.70	\$3,238.70		REPLACE	4
1763	Exhaust Fans	EF00-BR1000-001	Exhaust Fans	1	LS		\$2,100	\$1,139	\$3,239			
1764	Exhaust Fans	EF00-BR1000-001CA1	EoLC - Replace Exhaust Fan	1	LS		\$2,100	\$1,139	\$3,239		REPLACE	4
1765			Replace Exhaust Fan	1.00	LS	\$2,100.00	\$2,100.00	\$1,138.70	\$3,238.70		REPLACE	4
1766	Exhaust Fans	EF00-BR1000-002	Exhaust Fans	1	LS		\$2,100	\$1,139	\$3,239			
1767	Exhaust Fans	EF00-BR1000-002CA1	EoLC - Replace Exhaust Fan	1	LS		\$2,100	\$1,139	\$3,239		REPLACE	4
1768			Replace Exhaust Fan	1.00	LS	\$2,100.00	\$2,100.00	\$1,138.70	\$3,238.70		REPLACE	4
1769	Exhaust Fans	EF00-BR1000-003	Exhaust Fans	1	LS		\$2,100	\$1,139	\$3,239			
1770	Exhaust Fans	EF00-BR1000-003CA1	EoLC - Replace Exhaust Fan	1	LS		\$2,100	\$1,139	\$3,239		REPLACE	4
1771			Replace Exhaust Fan	1.00	LS	\$2,100.00	\$2,100.00	\$1,138.70	\$3,238.70		REPLACE	4
1772	Distribution Systems	D304008	Air Handling Units	1	LS		\$750	\$412	\$1,162			
1773	Air Handling Units	AHU0-BB1000-002	Air Handling Units	1	LS		\$750	\$412	\$1,162			
1774	Air Handling Units	AHU0-BB1000-002CA1	Install VFD on air handling unit.	1	Ea.		\$750	\$412	\$1,162		UPGRADE	3
1775			Install VFD on air handling unit.	1.00	Ea.	\$750.00	\$750.00	\$412.19	\$1,162.19		UPGRADE	3





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
1776	Distribution Systems	D304099C	Ductwork Hangers & Supports	1	LS		\$15,200	\$8,242	\$23,442			
1777	Ductwork Hangers & Supports	DWHS-BB1SAH-S01	Ductwork Hangers & Supports	1	LS		\$15,200	\$8,242	\$23,442			
1778	Ductwork Hangers & Supports	DWHS-BB1SAH-S01CA1	Replace tamper-proof duct hangers and supports.	1	LS		\$15,200	\$8,242	\$23,442		REPLACE	2
1779			Replace tamper-proof duct hangers and supports.	1.00	LS	\$15,200.00	\$15,200.00	\$8,242.05	\$23,442.05		REPLACE	2
1780	Distribution Systems	D304099D	Ductwork Insulation	1	LS		\$22,950	\$11,797	\$34,747			
1781	Ductwork Insulation	DUIN-BB1000-001	Ductwork Insulation	1	LS		\$16,800	\$8,462	\$25,262			
1782	Ductwork Insulation	DUIN-BB1000-001CA1	Repair ductwork insulation.	1	LS		\$16,800	\$8,462	\$25,262		REPAIR	3
1783			Repair ductwork insulation.	33,600.00	LS	\$0.50	\$16,800.00	\$8,461.89	\$25,261.89	\$0.75	REPAIR	3
1784	Ductwork Insulation	DUIN-BB1SAH-S01	Ductwork Insulation	1	LS		\$6,150	\$3,335	\$9,485			
1785	Ductwork Insulation	DUIN-BB1SAH-S01CA1	Replace ductwork insulation in tamper-proof duct system.	1	LS		\$6,150	\$3,335	\$9,485		REPLACE	2
1786			Replace ductwork insulation in tamper-proof duct system.	5,000.00	LS	\$1.23	\$6,150.00	\$3,334.78	\$9,484.78	\$1.90	REPLACE	2
1787	Distribution Systems	D304099F	Ductwork Accessories	1	LS		\$6,150	\$3,335	\$9,485			
1788	Ductwork Accessories	DUAC-BB1SAH-S01	Ductwork Accessories	1	LS		\$6,150	\$3,335	\$9,485			
1789	Ductwork Accessories	DUAC-BB1SAH-S01CA1	Replace ductwork accessories in tamper-proof duct system.	1	LS		\$6,150	\$3,335	\$9,485		REPLACE	2
1790			Replace ductwork accessories in tamper-proof duct system.	5,000.00	LS	\$1.23	\$6,150.00	\$3,334.78	\$9,484.78	\$1.90	REPLACE	2
1791	HVAC	D3050	Terminal & Package Units	1	LS		\$1,182,380	\$640,237	\$1,822,617			
1792	Terminal & Package Units	D305002	Unit Heaters	1	LS		\$5,300	\$2,874	\$8,174			
1793	Unit Heaters	UH00-BB1000-002	Unit Heaters	1	LS		\$5,300	\$2,874	\$8,174			
1794	Unit Heaters	UH00-BB1000-002CA1	Replace unit heater at end of life	1	LS		\$5,300	\$2,874	\$8,174		REPLACE	4
1795			Replace unit heater at end of life	1.00	LS	\$5,300.00	\$5,300.00	\$2,873.87	\$8,173.87		REPLACE	4
1796	Terminal & Package Units	D305004	Fin Tube Radiation	1	LS		\$817,600	\$442,666	\$1,260,266			
1797	Fin Tube Radiation	FTR0-B01000-001	Fin Tube Radiation	1	LS		\$5,700	\$3,045	\$8,745			
1798	Fin Tube Radiation	FTR0-B01000-001CA1	Fix damaged casing	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
1799			Fix damaged casing	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
1800	Fin Tube Radiation	FTR0-B01000-001CA2	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1801			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1802	Fin Tube Radiation	FTR0-B01000-002	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1803	Fin Tube Radiation	FTR0-B01000-002CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1804			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1805	Fin Tube Radiation	FTR0-B01000-003	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1806	Fin Tube Radiation	FTR0-B01000-003CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1807			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1808	Fin Tube Radiation	FTR0-B01000-004	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1809	Fin Tube Radiation	FTR0-B01000-004CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1810			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1811	Fin Tube Radiation	FTR0-B01000-005	Fin Tube Radiation	1	LS		\$4,500	\$2,267	\$6,767			
1812	Fin Tube Radiation	FTR0-B01000-005CA1	Provide missing connection cap.	1	LS		\$4,500	\$2,267	\$6,767		REPAIR	1
1813			Provide missing connection cap.	1.00	LS	\$4,500.00	\$4,500.00	\$2,266.58	\$6,766.58		REPAIR	1
1814	Fin Tube Radiation	FTR0-B01000-006	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1815	Fin Tube Radiation	FTR0-B01000-006CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1816			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1817	Fin Tube Radiation	FTR0-B01000-007	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1818	Fin Tube Radiation	FTR0-B01000-007CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1819			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1820	Fin Tube Radiation	FTR0-B01000-008	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
1821	Fin Tube Radiation	FTRO-B01000-008CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1822			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1823	Fin Tube Radiation	FTRO-B01000-009	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1824	Fin Tube Radiation	FTRO-B01000-009CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1825			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1826	Fin Tube Radiation	FTRO-B01000-010	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1827	Fin Tube Radiation	FTRO-B01000-010CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1828			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1829	Fin Tube Radiation	FTRO-B01000-011	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1830	Fin Tube Radiation	FTRO-B01000-011CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1831			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1832	Fin Tube Radiation	FTRO-B01000-012	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1833	Fin Tube Radiation	FTRO-B01000-012CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1834			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1835	Fin Tube Radiation	FTRO-B01000-013	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1836	Fin Tube Radiation	FTRO-B01000-013CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1837			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1838	Fin Tube Radiation	FTRO-B01000-014	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1839	Fin Tube Radiation	FTRO-B01000-014CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1840			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1841	Fin Tube Radiation	FTRO-B01000-015	Fin Tube Radiation	1	LS		\$5,700	\$3,045	\$8,745			
1842	Fin Tube Radiation	FTRO-B01000-015CA1	Fix access cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	4
1843			Fix access cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	4
1844	Fin Tube Radiation	FTRO-B01000-015CA2	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1845			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1846	Fin Tube Radiation	FTRO-B01000-016	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1847	Fin Tube Radiation	FTRO-B01000-016CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1848			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1849	Fin Tube Radiation	FTRO-B01000-017	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1850	Fin Tube Radiation	FTRO-B01000-017CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1851			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1852	Fin Tube Radiation	FTRO-B01000-018	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1853	Fin Tube Radiation	FTRO-B01000-018CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1854			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1855	Fin Tube Radiation	FTRO-B01000-019	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1856	Fin Tube Radiation	FTRO-B01000-019CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1857			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1858	Fin Tube Radiation	FTRO-B01000-020	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1859	Fin Tube Radiation	FTRO-B01000-020CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1860			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1861	Fin Tube Radiation	FTRO-B01000-021	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1862	Fin Tube Radiation	FTRO-B01000-021CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1863			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1864	Fin Tube Radiation	FTRO-B01000-022	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1865	Fin Tube Radiation	FTRO-B01000-022CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1866			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1867	Fin Tube Radiation	FTRO-B01000-023	Fin Tube Radiation	1	LS		\$450	\$244	\$694			
1868	Fin Tube Radiation	FTRO-B01000-023CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$450	\$244	\$694		REPLACE	4
1869			Replace the fin tube radiator at end of life	1.00	LS	\$450.00	\$450.00	\$244.01	\$694.01		REPLACE	4
1870	Fin Tube Radiation	FTRO-B01000-024	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			





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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
1871	Fin Tube Radiation	FTR0-B01000-024CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1872			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1873	Fin Tube Radiation	FTR0-B01000-025	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1874	Fin Tube Radiation	FTR0-B01000-025CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	1
1875			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	1
1876	Fin Tube Radiation	FTR0-B01000-026	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1877	Fin Tube Radiation	FTR0-B01000-026CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	1
1878			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	1
1879	Fin Tube Radiation	FTR0-B01000-027	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1880	Fin Tube Radiation	FTR0-B01000-027CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1881			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1882	Fin Tube Radiation	FTR0-B01000-028	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1883	Fin Tube Radiation	FTR0-B01000-028CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1884			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1885	Fin Tube Radiation	FTR0-B01000-029	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1886	Fin Tube Radiation	FTR0-B01000-029CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1887			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1888	Fin Tube Radiation	FTR0-B01000-030	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1889	Fin Tube Radiation	FTR0-B01000-030CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1890			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1891	Fin Tube Radiation	FTR0-B01000-031	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1892	Fin Tube Radiation	FTR0-B01000-031CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1893			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1894	Fin Tube Radiation	FTR0-B01000-032	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1895	Fin Tube Radiation	FTR0-B01000-032CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1896			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1897	Fin Tube Radiation	FTR0-B01000-033	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1898	Fin Tube Radiation	FTR0-B01000-033CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	1
1899			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	1
1900	Fin Tube Radiation	FTR0-B01000-034	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1901	Fin Tube Radiation	FTR0-B01000-034CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1902			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1903	Fin Tube Radiation	FTR0-B01000-035	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1904	Fin Tube Radiation	FTR0-B01000-035CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1905			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1906	Fin Tube Radiation	FTR0-B01000-036	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1907	Fin Tube Radiation	FTR0-B01000-036CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1908			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1909	Fin Tube Radiation	FTR0-B01000-037	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1910	Fin Tube Radiation	FTR0-B01000-037CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1911			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1912	Fin Tube Radiation	FTR0-B01000-038	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1913	Fin Tube Radiation	FTR0-B01000-038CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1914			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1915	Fin Tube Radiation	FTR0-B01000-039	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1916	Fin Tube Radiation	FTR0-B01000-039CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1917			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1918	Fin Tube Radiation	FTR0-B01000-040	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1919	Fin Tube Radiation	FTR0-B01000-040CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1920			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4





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1921	Fin Tube Radiation	FTR0-B01000-041	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1922	Fin Tube Radiation	FTR0-B01000-041CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1923			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1924	Fin Tube Radiation	FTR0-B01000-042	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1925	Fin Tube Radiation	FTR0-B01000-042CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1926			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1927	Fin Tube Radiation	FTR0-B01000-043	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1928	Fin Tube Radiation	FTR0-B01000-043CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1929			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1930	Fin Tube Radiation	FTR0-B01000-044	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1931	Fin Tube Radiation	FTR0-B01000-044CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1932			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1933	Fin Tube Radiation	FTR0-B01000-045	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1934	Fin Tube Radiation	FTR0-B01000-045CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1935			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1936	Fin Tube Radiation	FTR0-B01000-046	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1937	Fin Tube Radiation	FTR0-B01000-046CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1938			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1939	Fin Tube Radiation	FTR0-B01000-047	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1940	Fin Tube Radiation	FTR0-B01000-047CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1941			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1942	Fin Tube Radiation	FTR0-B01000-048	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1943	Fin Tube Radiation	FTR0-B01000-048CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1944			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1945	Fin Tube Radiation	FTR0-B01000-049	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1946	Fin Tube Radiation	FTR0-B01000-049CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1947			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1948	Fin Tube Radiation	FTR0-B01000-050	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1949	Fin Tube Radiation	FTR0-B01000-050CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1950			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1951	Fin Tube Radiation	FTR0-B01000-051	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1952	Fin Tube Radiation	FTR0-B01000-051CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1953			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1954	Fin Tube Radiation	FTR0-B01000-052	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1955	Fin Tube Radiation	FTR0-B01000-052CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1956			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1957	Fin Tube Radiation	FTR0-B01000-053	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1958	Fin Tube Radiation	FTR0-B01000-053CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1959			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1960	Fin Tube Radiation	FTR0-B01000-054	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1961	Fin Tube Radiation	FTR0-B01000-054CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1962			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1963	Fin Tube Radiation	FTR0-B01000-055	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1964	Fin Tube Radiation	FTR0-B01000-055CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1965			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1966	Fin Tube Radiation	FTR0-B01000-056	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1967	Fin Tube Radiation	FTR0-B01000-056CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1968			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1969	Fin Tube Radiation	FTR0-B01000-057	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1970	Fin Tube Radiation	FTR0-B01000-057CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4





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1971			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1972	Fin Tube Radiation	FTR0-B02000-001	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1973	Fin Tube Radiation	FTR0-B02000-001CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1974			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1975	Fin Tube Radiation	FTR0-B02000-002	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1976	Fin Tube Radiation	FTR0-B02000-002CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1977			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1978	Fin Tube Radiation	FTR0-B02000-003	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1979	Fin Tube Radiation	FTR0-B02000-003CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	3
1980			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	3
1981	Fin Tube Radiation	FTR0-B02000-004	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1982	Fin Tube Radiation	FTR0-B02000-004CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1983			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1984	Fin Tube Radiation	FTR0-B02000-005	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1985	Fin Tube Radiation	FTR0-B02000-005CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1986			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1987	Fin Tube Radiation	FTR0-B02000-006	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1988	Fin Tube Radiation	FTR0-B02000-006CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1989			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1990	Fin Tube Radiation	FTR0-B02000-007	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1991	Fin Tube Radiation	FTR0-B02000-007CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1992			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1993	Fin Tube Radiation	FTR0-B02000-008	Fin Tube Radiation	1	LS		\$5,700	\$3,045	\$8,745			
1994	Fin Tube Radiation	FTR0-B02000-008CA1	Provide cleaning.	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
1995			Provide cleaning.	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
1996	Fin Tube Radiation	FTR0-B02000-008CA2	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
1997			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
1998	Fin Tube Radiation	FTR0-B02000-009	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
1999	Fin Tube Radiation	FTR0-B02000-009CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2000			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2001	Fin Tube Radiation	FTR0-B02000-010	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2002	Fin Tube Radiation	FTR0-B02000-010CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2003			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2004	Fin Tube Radiation	FTR0-B02000-011	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2005	Fin Tube Radiation	FTR0-B02000-011CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2006			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2007	Fin Tube Radiation	FTR0-B02000-012	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2008	Fin Tube Radiation	FTR0-B02000-012CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	2
2009			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	2
2010	Fin Tube Radiation	FTR0-B02000-013	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2011	Fin Tube Radiation	FTR0-B02000-013CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2012			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2013	Fin Tube Radiation	FTR0-B02000-014	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2014	Fin Tube Radiation	FTR0-B02000-014CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2015			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2016	Fin Tube Radiation	FTR0-B02000-015	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2017	Fin Tube Radiation	FTR0-B02000-015CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2018			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2019	Fin Tube Radiation	FTR0-B02000-016	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2020	Fin Tube Radiation	FTR0-B02000-016CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	1





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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
2021			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	1
2022	Fin Tube Radiation	FTR0-B02000-017	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2023	Fin Tube Radiation	FTR0-B02000-017CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2024			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2025	Fin Tube Radiation	FTR0-B02000-018	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2026	Fin Tube Radiation	FTR0-B02000-018CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2027			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2028	Fin Tube Radiation	FTR0-B02000-019	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2029	Fin Tube Radiation	FTR0-B02000-019CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2030			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2031	Fin Tube Radiation	FTR0-B02000-020	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2032	Fin Tube Radiation	FTR0-B02000-020CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	1
2033			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	1
2034	Fin Tube Radiation	FTR0-B02000-021	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2035	Fin Tube Radiation	FTR0-B02000-021CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2036			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2037	Fin Tube Radiation	FTR0-B02000-022	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2038	Fin Tube Radiation	FTR0-B02000-022CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2039			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2040	Fin Tube Radiation	FTR0-B02000-023	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2041	Fin Tube Radiation	FTR0-B02000-023CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2042			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2043	Fin Tube Radiation	FTR0-B02000-024	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2044	Fin Tube Radiation	FTR0-B02000-024CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2045			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2046	Fin Tube Radiation	FTR0-B02000-025	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2047	Fin Tube Radiation	FTR0-B02000-025CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2048			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2049	Fin Tube Radiation	FTR0-B02000-026	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2050	Fin Tube Radiation	FTR0-B02000-026CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2051			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2052	Fin Tube Radiation	FTR0-B02000-027	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2053	Fin Tube Radiation	FTR0-B02000-027CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2054			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2055	Fin Tube Radiation	FTR0-B02000-028	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2056	Fin Tube Radiation	FTR0-B02000-028CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2057			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2058	Fin Tube Radiation	FTR0-B02000-029	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2059	Fin Tube Radiation	FTR0-B02000-029CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2060			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2061	Fin Tube Radiation	FTR0-B02000-030	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2062	Fin Tube Radiation	FTR0-B02000-030CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2063			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2064	Fin Tube Radiation	FTR0-B02000-031	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2065	Fin Tube Radiation	FTR0-B02000-031CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2066			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2067	Fin Tube Radiation	FTR0-B02000-032	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2068	Fin Tube Radiation	FTR0-B02000-032CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2069			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2070	Fin Tube Radiation	FTR0-B02000-033	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			





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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2071	Fin Tube Radiation	FTR0-B02000-033CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2072			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2073	Fin Tube Radiation	FTR0-B02000-034	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2074	Fin Tube Radiation	FTR0-B02000-034CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2075			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2076	Fin Tube Radiation	FTR0-B02000-035	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2077	Fin Tube Radiation	FTR0-B02000-035CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2078			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2079	Fin Tube Radiation	FTR0-B02000-036	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2080	Fin Tube Radiation	FTR0-B02000-036CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2081			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2082	Fin Tube Radiation	FTR0-B02000-037	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2083	Fin Tube Radiation	FTR0-B02000-037CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2084			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2085	Fin Tube Radiation	FTR0-B02000-038	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2086	Fin Tube Radiation	FTR0-B02000-038CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2087			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2088	Fin Tube Radiation	FTR0-B02000-039	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2089	Fin Tube Radiation	FTR0-B02000-039CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2090			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2091	Fin Tube Radiation	FTR0-B02000-040	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2092	Fin Tube Radiation	FTR0-B02000-040CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2093			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2094	Fin Tube Radiation	FTR0-B02000-041	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2095	Fin Tube Radiation	FTR0-B02000-041CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2096			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2097	Fin Tube Radiation	FTR0-B02000-042	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2098	Fin Tube Radiation	FTR0-B02000-042CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2099			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2100	Fin Tube Radiation	FTR0-B02000-043	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2101	Fin Tube Radiation	FTR0-B02000-043CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2102			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2103	Fin Tube Radiation	FTR0-B02000-044	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2104	Fin Tube Radiation	FTR0-B02000-044CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2105			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2106	Fin Tube Radiation	FTR0-B02000-045	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2107	Fin Tube Radiation	FTR0-B02000-045CA1	EoLC - Replace and convert the fin tube radiator from steam to HW	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	1
2108			Replace and convert the fin tube radiator from steam to HW	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	1
2109	Fin Tube Radiation	FTR0-B02000-046	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2110	Fin Tube Radiation	FTR0-B02000-046CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2111			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2112	Fin Tube Radiation	FTR0-B02000-047	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2113	Fin Tube Radiation	FTR0-B02000-047CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2114			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2115	Fin Tube Radiation	FTR0-B02000-048	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2116	Fin Tube Radiation	FTR0-B02000-048CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2117			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2118	Fin Tube Radiation	FTR0-B02000-049	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2119	Fin Tube Radiation	FTR0-B02000-049CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4





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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
2120			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2121	Fin Tube Radiation	FTR0-B02000-050	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2122	Fin Tube Radiation	FTR0-B02000-050CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2123			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2124	Fin Tube Radiation	FTR0-B02000-051	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2125	Fin Tube Radiation	FTR0-B02000-051CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2126			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2127	Fin Tube Radiation	FTR0-B02000-052	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2128	Fin Tube Radiation	FTR0-B02000-052CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2129			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2130	Fin Tube Radiation	FTR0-B02000-053	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2131	Fin Tube Radiation	FTR0-B02000-053CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2132			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2133	Fin Tube Radiation	FTR0-B02000-054	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2134	Fin Tube Radiation	FTR0-B02000-054CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2135			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2136	Fin Tube Radiation	FTR0-B02000-055	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2137	Fin Tube Radiation	FTR0-B02000-055CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2138			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2139	Fin Tube Radiation	FTR0-B02000-056	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2140	Fin Tube Radiation	FTR0-B02000-056CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2141			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2142	Fin Tube Radiation	FTR0-B02000-057	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2143	Fin Tube Radiation	FTR0-B02000-057CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2144			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2145	Fin Tube Radiation	FTR0-B02000-058	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2146	Fin Tube Radiation	FTR0-B02000-058CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2147			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2148	Fin Tube Radiation	FTR0-B03000-001	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2149	Fin Tube Radiation	FTR0-B03000-001CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	1
2150			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	1
2151	Fin Tube Radiation	FTR0-B03000-002	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2152	Fin Tube Radiation	FTR0-B03000-002CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	1
2153			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	1
2154	Fin Tube Radiation	FTR0-B03000-003	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2155	Fin Tube Radiation	FTR0-B03000-003CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2156			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2157	Fin Tube Radiation	FTR0-B03000-004	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2158	Fin Tube Radiation	FTR0-B03000-004CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2159			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2160	Fin Tube Radiation	FTR0-B03000-005	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2161	Fin Tube Radiation	FTR0-B03000-005CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2162			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2163	Fin Tube Radiation	FTR0-B03000-006	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2164	Fin Tube Radiation	FTR0-B03000-006CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2165			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2166	Fin Tube Radiation	FTR0-B03000-007	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2167	Fin Tube Radiation	FTR0-B03000-007CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2168			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2169	Fin Tube Radiation	FTR0-B03000-008	Fin Tube Radiation	1	LS		\$5,700	\$3,045	\$8,745			





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2170	Fin Tube Radiation	FTR0-B03000-008CA1	Fix noise issue	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2171			Fix noise issue	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2172	Fin Tube Radiation	FTR0-B03000-008CA2	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2173			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2174	Fin Tube Radiation	FTR0-B03000-009	Fin Tube Radiation	1	LS		\$6,900	\$3,649	\$10,549			
2175	Fin Tube Radiation	FTR0-B03000-009CA1	Clean and maintain !	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2176			Clean and maintain !	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2177	Fin Tube Radiation	FTR0-B03000-009CA2	Maintain and provide clearance	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2178			Maintain and provide clearance	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2179	Fin Tube Radiation	FTR0-B03000-009CA3	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2180			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2181	Fin Tube Radiation	FTR0-B03000-011	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2182	Fin Tube Radiation	FTR0-B03000-011CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2183			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2184	Fin Tube Radiation	FTR0-B03000-012	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2185	Fin Tube Radiation	FTR0-B03000-012CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2186			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2187	Fin Tube Radiation	FTR0-B03000-013	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2188	Fin Tube Radiation	FTR0-B03000-013CA1	Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2189			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2190	Fin Tube Radiation	FTR0-B03000-014	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2191	Fin Tube Radiation	FTR0-B03000-014CA1	Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2192			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2193	Fin Tube Radiation	FTR0-B03000-015	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2194	Fin Tube Radiation	FTR0-B03000-015CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2195			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2196	Fin Tube Radiation	FTR0-B03000-016	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2197	Fin Tube Radiation	FTR0-B03000-016CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2198			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2199	Fin Tube Radiation	FTR0-B03000-017	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2200	Fin Tube Radiation	FTR0-B03000-017CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2201			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2202	Fin Tube Radiation	FTR0-B03000-018	Fin Tube Radiation	1	LS		\$5,700	\$3,045	\$8,745			
2203	Fin Tube Radiation	FTR0-B03000-018CA1	Clean and maintain !	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2204			Clean and maintain !	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2205	Fin Tube Radiation	FTR0-B03000-018CA2	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2206			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2207	Fin Tube Radiation	FTR0-B03000-019	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2208	Fin Tube Radiation	FTR0-B03000-019CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2209			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2210	Fin Tube Radiation	FTR0-B03000-020	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2211	Fin Tube Radiation	FTR0-B03000-020CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2212			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2213	Fin Tube Radiation	FTR0-B03000-021	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2214	Fin Tube Radiation	FTR0-B03000-021CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2215			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2216	Fin Tube Radiation	FTR0-B03000-022	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2217	Fin Tube Radiation	FTR0-B03000-022CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2218			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2219	Fin Tube Radiation	FTR0-B03000-023	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			





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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2220	Fin Tube Radiation	FTR0-B03000-023CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2221			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2222	Fin Tube Radiation	FTR0-B03000-024	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2223	Fin Tube Radiation	FTR0-B03000-024CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2224			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2225	Fin Tube Radiation	FTR0-B03000-025	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2226	Fin Tube Radiation	FTR0-B03000-025CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2227			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2228	Fin Tube Radiation	FTR0-B03000-026	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2229	Fin Tube Radiation	FTR0-B03000-026CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	1
2230			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	1
2231	Fin Tube Radiation	FTR0-B03000-027	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2232	Fin Tube Radiation	FTR0-B03000-027CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2233			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2234	Fin Tube Radiation	FTR0-B03000-028	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2235	Fin Tube Radiation	FTR0-B03000-028CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2236			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2237	Fin Tube Radiation	FTR0-B03000-029	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2238	Fin Tube Radiation	FTR0-B03000-029CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2239			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2240	Fin Tube Radiation	FTR0-B03000-030	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2241	Fin Tube Radiation	FTR0-B03000-030CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2242			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2243	Fin Tube Radiation	FTR0-B03000-031	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2244	Fin Tube Radiation	FTR0-B03000-031CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2245			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2246	Fin Tube Radiation	FTR0-B03000-032	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2247	Fin Tube Radiation	FTR0-B03000-032CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2248			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2249	Fin Tube Radiation	FTR0-B03000-033	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2250	Fin Tube Radiation	FTR0-B03000-033CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2251			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2252	Fin Tube Radiation	FTR0-B03000-034	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2253	Fin Tube Radiation	FTR0-B03000-034CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2254			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2255	Fin Tube Radiation	FTR0-B03000-035	Fin Tube Radiation	1	LS		\$5,700	\$3,045	\$8,745			
2256	Fin Tube Radiation	FTR0-B03000-035CA1	Clean and maintain !	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2257			Clean and maintain !	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2258	Fin Tube Radiation	FTR0-B03000-035CA2	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2259			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2260	Fin Tube Radiation	FTR0-B03000-036	Fin Tube Radiation	1	LS		\$5,700	\$3,091	\$8,791			
2261	Fin Tube Radiation	FTR0-B03000-036CA1	Maintenance and cleaning required	1	LS		\$1,200	\$651	\$1,851		REPLACE	2
2262			Maintenance and cleaning required	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	2
2263	Fin Tube Radiation	FTR0-B03000-036CA2	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2264			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2265	Fin Tube Radiation	FTR0-B03000-037	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2266	Fin Tube Radiation	FTR0-B03000-037CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2267			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2268	Fin Tube Radiation	FTR0-B03000-038	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2269	Fin Tube Radiation	FTR0-B03000-038CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4





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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
2270			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2271	Fin Tube Radiation	FTR0-B03000-039	Fin Tube Radiation	1	LS		\$5,700	\$3,045	\$8,745			
2272	Fin Tube Radiation	FTR0-B03000-039CA1	Clean and maintain !	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2273			Clean and maintain !	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2274	Fin Tube Radiation	FTR0-B03000-039CA2	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2275			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2276	Fin Tube Radiation	FTR0-B03000-040	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2277	Fin Tube Radiation	FTR0-B03000-040CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2278			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2279	Fin Tube Radiation	FTR0-B03000-041	Fin Tube Radiation	1	LS		\$5,700	\$3,045	\$8,745			
2280	Fin Tube Radiation	FTR0-B03000-041CA1	Clean and maintain !	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2281			Clean and maintain !	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2282	Fin Tube Radiation	FTR0-B03000-041CA2	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2283			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2284	Fin Tube Radiation	FTR0-B03000-042	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2285	Fin Tube Radiation	FTR0-B03000-042CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2286			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2287	Fin Tube Radiation	FTR0-B03000-043	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2288	Fin Tube Radiation	FTR0-B03000-043CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2289			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2290	Fin Tube Radiation	FTR0-B03000-044	Fin Tube Radiation	1	LS		\$5,700	\$3,045	\$8,745			
2291	Fin Tube Radiation	FTR0-B03000-044CA1	Maintenance and cleaning required	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2292			Maintenance and cleaning required	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2293	Fin Tube Radiation	FTR0-B03000-044CA2	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2294			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2295	Fin Tube Radiation	FTR0-B03000-045	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2296	Fin Tube Radiation	FTR0-B03000-045CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2297			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2298	Fin Tube Radiation	FTR0-B03000-046	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2299	Fin Tube Radiation	FTR0-B03000-046CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2300			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2301	Fin Tube Radiation	FTR0-B03000-047	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2302	Fin Tube Radiation	FTR0-B03000-047CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2303			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2304	Fin Tube Radiation	FTR0-B03000-048	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2305	Fin Tube Radiation	FTR0-B03000-048CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2306			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2307	Fin Tube Radiation	FTR0-B03000-049	Fin Tube Radiation	1	LS		\$6,250	\$3,402	\$9,652			
2308	Fin Tube Radiation	FTR0-B03000-049CA1	Add a new control valve	1	LS		\$1,750	\$962	\$2,712		UPGRADE	2
2309			Add a new control valve	1.00	LS	\$1,750.00	\$1,750.00	\$961.77	\$2,711.77		UPGRADE	2
2310	Fin Tube Radiation	FTR0-B03000-049CA2	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2311			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2312	Fin Tube Radiation	FTR0-B03000-050	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2313	Fin Tube Radiation	FTR0-B03000-050CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2314			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2315	Fin Tube Radiation	FTR0-B03000-051	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2316	Fin Tube Radiation	FTR0-B03000-051CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2317			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2318	Fin Tube Radiation	FTR0-B03000-052	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2319	Fin Tube Radiation	FTR0-B03000-052CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2320			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2321	Fin Tube Radiation	FTR0-B03000-053	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2322	Fin Tube Radiation	FTR0-B03000-053CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2323			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2324	Fin Tube Radiation	FTR0-B03000-054	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2325	Fin Tube Radiation	FTR0-B03000-054CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2326			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2327	Fin Tube Radiation	FTR0-B03000-055	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2328	Fin Tube Radiation	FTR0-B03000-055CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2329			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2330	Fin Tube Radiation	FTR0-B03000-056	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2331	Fin Tube Radiation	FTR0-B03000-056CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2332			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2333	Fin Tube Radiation	FTR0-B03000-057	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2334	Fin Tube Radiation	FTR0-B03000-057CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2335			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2336	Fin Tube Radiation	FTR0-B03000-058	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2337	Fin Tube Radiation	FTR0-B03000-058CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2338			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2339	Fin Tube Radiation	FTR0-B03000-059	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2340	Fin Tube Radiation	FTR0-B03000-059CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2341			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2342	Fin Tube Radiation	FTR0-B03000-060	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2343	Fin Tube Radiation	FTR0-B03000-060CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	4
2344			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	4
2345	Fin Tube Radiation	FTR0-BB1000-001	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2346	Fin Tube Radiation	FTR0-BB1000-001CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	1
2347			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	1
2348	Fin Tube Radiation	FTR0-BPH000-001	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2349	Fin Tube Radiation	FTR0-BPH000-001CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	1
2350			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	1
2351	Fin Tube Radiation	FTR0-BPH000-002	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2352	Fin Tube Radiation	FTR0-BPH000-002CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	1
2353			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	1
2354	Fin Tube Radiation	FTR0-BPH000-003	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2355	Fin Tube Radiation	FTR0-BPH000-003CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	1
2356			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	1
2357	Fin Tube Radiation	FTR0-BPH000-004	Fin Tube Radiation	1	LS		\$4,500	\$2,440	\$6,940			
2358	Fin Tube Radiation	FTR0-BPH000-004CA1	EoLC - Replace the fin tube radiator at end of life	1	LS		\$4,500	\$2,440	\$6,940		REPLACE	1
2359			Replace the fin tube radiator at end of life	1.00	LS	\$4,500.00	\$4,500.00	\$2,440.08	\$6,940.08		REPLACE	1
2360	Terminal & Package Units	D305006A	Packaged Unit - Indoor	1	LS		\$62,400	\$33,836	\$96,236			
2361	Packaged Unit - Indoor	PUID-B01000-001	Packaged Unit - Indoor	1	LS		\$7,800	\$4,229	\$12,029			
2362	Packaged Unit - Indoor	PUID-B01000-001CA1	EoLC - Replace packaged indoor unit.	1	LS		\$7,800	\$4,229	\$12,029		REPLACE	4
2363			Replace packaged indoor unit.	1.00	LS	\$7,800.00	\$7,800.00	\$4,229.47	\$12,029.47		REPLACE	4
2364	Packaged Unit - Indoor	PUID-B01000-002	Packaged Unit - Indoor	1	LS		\$7,800	\$4,229	\$12,029			
2365	Packaged Unit - Indoor	PUID-B01000-002CA1	EoLC - Replace packaged indoor unit.	1	LS		\$7,800	\$4,229	\$12,029		REPLACE	4
2366			Replace packaged indoor unit.	1.00	LS	\$7,800.00	\$7,800.00	\$4,229.47	\$12,029.47		REPLACE	4
2367	Packaged Unit - Indoor	PUID-B01000-003	Packaged Unit - Indoor	1	LS		\$7,800	\$4,229	\$12,029			
2368	Packaged Unit - Indoor	PUID-B01000-003CA1	EoLC - Replace packaged indoor unit.	1	LS		\$7,800	\$4,229	\$12,029		REPLACE	4





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2369			Replace packaged indoor unit.	1.00	LS	\$7,800.00	\$7,800.00	\$4,229.47	\$12,029.47		REPLACE	4
2370	Packaged Unit - Indoor	PUID-B03000-001	Packaged Unit - Indoor	1	LS		\$7,800	\$4,229	\$12,029			
2371	Packaged Unit - Indoor	PUID-B03000-001CA1	EoLC - Replace packaged indoor unit.	1	LS		\$7,800	\$4,229	\$12,029		REPLACE	4
2372			Replace packaged indoor unit.	1.00	LS	\$7,800.00	\$7,800.00	\$4,229.47	\$12,029.47		REPLACE	4
2373	Packaged Unit - Indoor	PUID-B03000-002	Packaged Unit - Indoor	1	LS		\$7,800	\$4,229	\$12,029			
2374	Packaged Unit - Indoor	PUID-B03000-002CA1	EoLC - Replace packaged indoor unit.	1	LS		\$7,800	\$4,229	\$12,029		REPLACE	4
2375			Replace packaged indoor unit.	1.00	LS	\$7,800.00	\$7,800.00	\$4,229.47	\$12,029.47		REPLACE	4
2376	Packaged Unit - Indoor	PUID-BPH000-001	Packaged Unit - Indoor	1	LS		\$7,800	\$4,229	\$12,029			
2377	Packaged Unit - Indoor	PUID-BPH000-001CA1	EoLC - Replace packaged indoor unit.	1	LS		\$7,800	\$4,229	\$12,029		REPLACE	4
2378			Replace packaged indoor unit.	1.00	LS	\$7,800.00	\$7,800.00	\$4,229.47	\$12,029.47		REPLACE	4
2379	Packaged Unit - Indoor	PUID-BPH000-002	Packaged Unit - Indoor	1	LS		\$7,800	\$4,229	\$12,029			
2380	Packaged Unit - Indoor	PUID-BPH000-002CA1	EoLC - Replace packaged indoor unit.	1	LS		\$7,800	\$4,229	\$12,029		REPLACE	4
2381			Replace packaged indoor unit.	1.00	LS	\$7,800.00	\$7,800.00	\$4,229.47	\$12,029.47		REPLACE	4
2382	Packaged Unit - Indoor	PUID-BPH000-003	Packaged Unit - Indoor	1	LS		\$7,800	\$4,229	\$12,029			
2383	Packaged Unit - Indoor	PUID-BPH000-003CA1	EoLC - Replace packaged indoor unit.	1	LS		\$7,800	\$4,229	\$12,029		REPLACE	4
2384			Replace packaged indoor unit.	1.00	LS	\$7,800.00	\$7,800.00	\$4,229.47	\$12,029.47		REPLACE	4
2385	Terminal & Package Units	D305006B	Packaged Unit - Outdoor	1	LS		\$178,000	\$96,519	\$274,519			
2386	Packaged Unit - Outdoor	PUOD-B00SNE-001	Packaged Unit - Outdoor	1	LS		\$17,800	\$9,652	\$27,452			
2387	Packaged Unit - Outdoor	PUOD-B00SNE-001CA1	EoLC - Replace packaged outdoor unit	1	LS		\$17,800	\$9,652	\$27,452		REPLACE	4
2388			Replace packaged outdoor unit	1.00	LS	\$17,800.00	\$17,800.00	\$9,651.87	\$27,451.87		REPLACE	4
2389	Packaged Unit - Outdoor	PUOD-B00SSW-001	Packaged Unit - Outdoor	1	LS		\$17,800	\$9,652	\$27,452			
2390	Packaged Unit - Outdoor	PUOD-B00SSW-001CA1	EoLC - Replace packaged outdoor unit	1	Ea.		\$17,800	\$9,652	\$27,452		REPLACE	4
2391			Replace packaged outdoor unit	1.00	Ea.	\$17,800.00	\$17,800.00	\$9,651.87	\$27,451.87		REPLACE	4
2392	Packaged Unit - Outdoor	PUOD-BB1000-001	Packaged Unit - Outdoor	1	LS		\$17,800	\$9,652	\$27,452			
2393	Packaged Unit - Outdoor	PUOD-BB1000-001CA1	EoLC - Replace packaged outdoor unit	1	LS		\$17,800	\$9,652	\$27,452		REPLACE	4
2394			Replace packaged outdoor unit	1.00	LS	\$17,800.00	\$17,800.00	\$9,651.87	\$27,451.87		REPLACE	4
2395	Packaged Unit - Outdoor	PUOD-BB1000-002	Packaged Unit - Outdoor	1	LS		\$17,800	\$9,652	\$27,452			
2396	Packaged Unit - Outdoor	PUOD-BB1000-002CA1	EoLC - Replace packaged outdoor unit	1	LS		\$17,800	\$9,652	\$27,452		REPLACE	4
2397			Replace packaged outdoor unit	1.00	LS	\$17,800.00	\$17,800.00	\$9,651.87	\$27,451.87		REPLACE	4
2398	Packaged Unit - Outdoor	PUOD-BPH000-001	Packaged Unit - Outdoor	1	LS		\$17,800	\$9,652	\$27,452			
2399	Packaged Unit - Outdoor	PUOD-BPH000-001CA1	EoLC - Replace packaged outdoor unit	1	LS		\$17,800	\$9,652	\$27,452		REPLACE	4
2400			Replace packaged outdoor unit	1.00	LS	\$17,800.00	\$17,800.00	\$9,651.87	\$27,451.87		REPLACE	4
2401	Packaged Unit - Outdoor	PUOD-BPH000-002	Packaged Unit - Outdoor	1	LS		\$17,800	\$9,652	\$27,452			
2402	Packaged Unit - Outdoor	PUOD-BPH000-002CA1	EoLC - Replace packaged outdoor unit	1	LS		\$17,800	\$9,652	\$27,452		REPLACE	4
2403			Replace packaged outdoor unit	1.00	LS	\$17,800.00	\$17,800.00	\$9,651.87	\$27,451.87		REPLACE	4
2404	Packaged Unit - Outdoor	PUOD-BPH000-003	Packaged Unit - Outdoor	1	LS		\$17,800	\$9,652	\$27,452			
2405	Packaged Unit - Outdoor	PUOD-BPH000-003CA1	EoLC - Replace packaged outdoor unit	1	LS		\$17,800	\$9,652	\$27,452		REPLACE	4
2406			Replace packaged outdoor unit	1.00	LS	\$17,800.00	\$17,800.00	\$9,651.87	\$27,451.87		REPLACE	4





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
2407	Packaged Unit - Outdoor	PUOD-BPH000-004	Packaged Unit - Outdoor	1	LS		\$17,800	\$9,652	\$27,452			
2408	Packaged Unit - Outdoor	PUOD-BPH000-004CA1	EoLC - Replace packaged outdoor unit	1	LS		\$17,800	\$9,652	\$27,452		REPLACE	4
2409			Replace packaged outdoor unit	1.00	LS	\$17,800.00	\$17,800.00	\$9,651.87	\$27,451.87		REPLACE	4
2410	Packaged Unit - Outdoor	PUOD-BPH000-005	Packaged Unit - Outdoor	1	LS		\$17,800	\$9,652	\$27,452			
2411	Packaged Unit - Outdoor	PUOD-BPH000-005CA1	EoLC - Replace packaged outdoor unit	1	LS		\$17,800	\$9,652	\$27,452		REPLACE	4
2412			Replace packaged outdoor unit	1.00	LS	\$17,800.00	\$17,800.00	\$9,651.87	\$27,451.87		REPLACE	4
2413	Packaged Unit - Outdoor	PUOD-BPH000-006	Packaged Unit - Outdoor	1	LS		\$17,800	\$9,652	\$27,452			
2414	Packaged Unit - Outdoor	PUOD-BPH000-006CA1	EoLC - Replace packaged outdoor unit	1	LS		\$17,800	\$9,652	\$27,452		REPLACE	4
2415			Replace packaged outdoor unit	1.00	LS	\$17,800.00	\$17,800.00	\$9,651.87	\$27,451.87		REPLACE	4
2416	Terminal & Package Units	D305099A	Fan Powered VAV Box	1	LS		\$119,080	\$64,343	\$183,423			
2417	Fan Powered VAV Box	FPB0-B01000-002	Fan Powered VAV Box	1	LS		\$2,900	\$1,594	\$4,494			
2418	Fan Powered VAV Box	FPB0-B01000-002CA1	Provide filter supports and replace filter	1	LS		\$2,900	\$1,594	\$4,494		UPGRADE	1
2419			Provide filter supports and replace filter	1.00	LS	\$2,900.00	\$2,900.00	\$1,593.79	\$4,493.79		UPGRADE	1
2420	Fan Powered VAV Box	FPB0-B01000-003	Fan Powered VAV Box	1	LS		\$2,900	\$1,594	\$4,494			
2421	Fan Powered VAV Box	FPB0-B01000-003CA1	Provide filter supports and replace filter	1	LS		\$2,900	\$1,594	\$4,494		UPGRADE	1
2422			Provide filter supports and replace filter	1.00	LS	\$2,900.00	\$2,900.00	\$1,593.79	\$4,493.79		UPGRADE	1
2423	Fan Powered VAV Box	FPB0-B01000-004	Fan Powered VAV Box	1	LS		\$2,900	\$1,594	\$4,494			
2424	Fan Powered VAV Box	FPB0-B01000-004CA1	Provide filter supports and replace filter	1	LS		\$2,900	\$1,594	\$4,494		UPGRADE	1
2425			Provide filter supports and replace filter	1.00	LS	\$2,900.00	\$2,900.00	\$1,593.79	\$4,493.79		UPGRADE	1
2426	Fan Powered VAV Box	FPB0-B01000-005	Fan Powered VAV Box	1	LS		\$2,900	\$1,594	\$4,494			
2427	Fan Powered VAV Box	FPB0-B01000-005CA1	Provide filter supports and replace filter	1	LS		\$2,900	\$1,594	\$4,494		UPGRADE	1
2428			Provide filter supports and replace filter	1.00	LS	\$2,900.00	\$2,900.00	\$1,593.79	\$4,493.79		UPGRADE	1
2429	Fan Powered VAV Box	FPB0-B01000-006	Fan Powered VAV Box	1	LS		\$2,900	\$1,594	\$4,494			
2430	Fan Powered VAV Box	FPB0-B01000-006CA1	Provide filter supports and replace filter	1	LS		\$2,900	\$1,594	\$4,494		UPGRADE	1
2431			Provide filter supports and replace filter	1.00	LS	\$2,900.00	\$2,900.00	\$1,593.79	\$4,493.79		UPGRADE	1
2432	Fan Powered VAV Box	FPB0-B01000-007	Fan Powered VAV Box	1	LS		\$2,900	\$1,594	\$4,494			
2433	Fan Powered VAV Box	FPB0-B01000-007CA1	Provide filter supports and replace filter	1	LS		\$2,900	\$1,594	\$4,494		UPGRADE	1
2434			Provide filter supports and replace filter	1.00	LS	\$2,900.00	\$2,900.00	\$1,593.79	\$4,493.79		UPGRADE	1
2435	Fan Powered VAV Box	FPB0-B01000-008	Fan Powered VAV Box	1	LS		\$2,900	\$1,594	\$4,494			
2436	Fan Powered VAV Box	FPB0-B01000-008CA1	Provide filter supports and replace filter	1	LS		\$2,900	\$1,594	\$4,494		UPGRADE	1
2437			Provide filter supports and replace filter	1.00	LS	\$2,900.00	\$2,900.00	\$1,593.79	\$4,493.79		UPGRADE	1
2438	Fan Powered VAV Box	FPB0-B01000-009	Fan Powered VAV Box	1	LS		\$2,900	\$1,594	\$4,494			
2439	Fan Powered VAV Box	FPB0-B01000-009CA1	Provide filter supports and replace filter	1	LS		\$2,900	\$1,594	\$4,494		UPGRADE	1
2440			Provide filter supports and replace filter	1.00	LS	\$2,900.00	\$2,900.00	\$1,593.79	\$4,493.79		UPGRADE	1
2441	Fan Powered VAV Box	FPB0-B01000-010	Fan Powered VAV Box	1	LS		\$2,900	\$1,594	\$4,494			
2442	Fan Powered VAV Box	FPB0-B01000-010CA1	Provide filter supports and replace filter	1	LS		\$2,900	\$1,594	\$4,494		UPGRADE	1
2443			Provide filter supports and replace filter	1.00	LS	\$2,900.00	\$2,900.00	\$1,593.79	\$4,493.79		UPGRADE	1
2444	Fan Powered VAV Box	FPB0-B01000-011	Fan Powered VAV Box	1	LS		\$2,900	\$1,594	\$4,494			
2445	Fan Powered VAV Box	FPB0-B01000-011CA1	Provide filter supports and replace filter	1	LS		\$2,900	\$1,594	\$4,494		UPGRADE	1
2446			Provide filter supports and replace filter	1.00	LS	\$2,900.00	\$2,900.00	\$1,593.79	\$4,493.79		UPGRADE	1
2447	Fan Powered VAV Box	FPB0-B01000-013	Fan Powered VAV Box	1	LS		\$2,900	\$1,594	\$4,494			
2448	Fan Powered VAV Box	FPB0-B01000-013CA1	Provide filter supports and replace filter	1	LS		\$2,900	\$1,594	\$4,494		UPGRADE	1
2449			Provide filter supports and replace filter	1.00	LS	\$2,900.00	\$2,900.00	\$1,593.79	\$4,493.79		UPGRADE	1
2450	Fan Powered VAV Box	FPB0-B01000-014	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2451	Fan Powered VAV Box	FPB0-B01000-014CA1	Provide a control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2452			Provide a control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2453	Fan Powered VAV Box	FPB0-B01000-014CA2	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2454			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2455	Fan Powered VAV Box	FPB0-B01000-015	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2456	Fan Powered VAV Box	FPB0-B01000-015CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2457			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2458	Fan Powered VAV Box	FPB0-B01000-016	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2459	Fan Powered VAV Box	FPB0-B01000-016CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2460			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2461	Fan Powered VAV Box	FPB0-B01000-017	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2462	Fan Powered VAV Box	FPB0-B01000-017CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2463			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2464	Fan Powered VAV Box	FPB0-B01000-018	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2465	Fan Powered VAV Box	FPB0-B01000-018CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2466			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2467	Fan Powered VAV Box	FPB0-B01000-019	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2468	Fan Powered VAV Box	FPB0-B01000-019CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2469			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2470	Fan Powered VAV Box	FPB0-B01000-020	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2471	Fan Powered VAV Box	FPB0-B01000-020CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2472			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2473	Fan Powered VAV Box	FPB0-B01000-021	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2474	Fan Powered VAV Box	FPB0-B01000-021CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2475			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2476	Fan Powered VAV Box	FPB0-B01000-022	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2477	Fan Powered VAV Box	FPB0-B01000-022CA1	Provide a control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2478			Provide a control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2479	Fan Powered VAV Box	FPB0-B01000-022CA2	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2480			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2481	Fan Powered VAV Box	FPB0-B01000-023	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2482	Fan Powered VAV Box	FPB0-B01000-023CA1	Provide a control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2483			Provide a control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2484	Fan Powered VAV Box	FPB0-B01000-023CA2	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2485			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2486	Fan Powered VAV Box	FPB0-B01000-024	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2487	Fan Powered VAV Box	FPB0-B01000-024CA1	Provide a control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2488			Provide a control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2489	Fan Powered VAV Box	FPB0-B01000-024CA2	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2490			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2491	Fan Powered VAV Box	FPB0-B01000-025	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2492	Fan Powered VAV Box	FPB0-B01000-025CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2493			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2494	Fan Powered VAV Box	FPB0-B01000-026	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2495	Fan Powered VAV Box	FPB0-B01000-026CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2496			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2497	Fan Powered VAV Box	FPB0-B01000-027	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2498	Fan Powered VAV Box	FPB0-B01000-027CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2499			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2500	Fan Powered VAV Box	FPB0-B01000-027CA2	Provide the control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2501			Provide the control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2502	Fan Powered VAV Box	FPB0-B01000-028	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2503	Fan Powered VAV Box	FPB0-B01000-028CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2504			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2505	Fan Powered VAV Box	FPB0-B01000-029	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2506	Fan Powered VAV Box	FPB0-B01000-029CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2507			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2508	Fan Powered VAV Box	FPB0-B01000-030	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2509	Fan Powered VAV Box	FPB0-B01000-030CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2510			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2511	Fan Powered VAV Box	FPB0-B01000-031	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2512	Fan Powered VAV Box	FPB0-B01000-031CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2513			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2514	Fan Powered VAV Box	FPB0-B01000-032	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2515	Fan Powered VAV Box	FPB0-B01000-032CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2516			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2517	Fan Powered VAV Box	FPB0-B01000-033	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2518	Fan Powered VAV Box	FPB0-B01000-033CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2519			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2520	Fan Powered VAV Box	FPB0-B01000-034	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2521	Fan Powered VAV Box	FPB0-B01000-034CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2522			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2523	Fan Powered VAV Box	FPB0-B02000-001	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2524	Fan Powered VAV Box	FPB0-B02000-001CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2525			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2526	Fan Powered VAV Box	FPB0-B02000-002	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2527	Fan Powered VAV Box	FPB0-B02000-002CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2528			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2529	Fan Powered VAV Box	FPB0-B02000-003	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2530	Fan Powered VAV Box	FPB0-B02000-003CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2531			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2532	Fan Powered VAV Box	FPB0-B02000-004	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2533	Fan Powered VAV Box	FPB0-B02000-004CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2534			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2535	Fan Powered VAV Box	FPB0-B02000-005	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2536	Fan Powered VAV Box	FPB0-B02000-005CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2537			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2538	Fan Powered VAV Box	FPB0-B02000-006	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2539	Fan Powered VAV Box	FPB0-B02000-006CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2540			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2541	Fan Powered VAV Box	FPB0-B02000-007	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2542	Fan Powered VAV Box	FPB0-B02000-007CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2543			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2544	Fan Powered VAV Box	FPB0-B02000-007CA2	Shut down the FPB and close the damper	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2545			Shut down the FPB and close the damper	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2546	Fan Powered VAV Box	FPB0-B02000-008	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2547	Fan Powered VAV Box	FPB0-B02000-008CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2548			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2549	Fan Powered VAV Box	FPB0-B02000-008CA2	Shut down the FPB and close the damper	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2550			Shut down the FPB and close the damper	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2551	Fan Powered VAV Box	FPB0-B02000-009	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2552	Fan Powered VAV Box	FPB0-B02000-009CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2553			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2554	Fan Powered VAV Box	FPB0-B02000-010	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2555	Fan Powered VAV Box	FPB0-B02000-010CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2556			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2557	Fan Powered VAV Box	FPB0-B02000-011	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2558	Fan Powered VAV Box	FPB0-B02000-011CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2559			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2560	Fan Powered VAV Box	FPB0-B02000-012	Fan Powered VAV Box	1	LS		\$3,180	\$1,638	\$4,818			
2561	Fan Powered VAV Box	FPB0-B02000-012CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2562			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2563	Fan Powered VAV Box	FPB0-B02000-012CA2	Provide the control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2564			Provide the control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2565	Fan Powered VAV Box	FPB0-B02000-012CA3	Provide the control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2566			Provide the control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2567	Fan Powered VAV Box	FPB0-B02000-013	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2568	Fan Powered VAV Box	FPB0-B02000-013CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2569			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2570	Fan Powered VAV Box	FPB0-B02000-014	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2571	Fan Powered VAV Box	FPB0-B02000-014CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2572			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2573	Fan Powered VAV Box	FPB0-B02000-014CA2	Shut down the FPB and close the damper	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2574			Shut down the FPB and close the damper	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2575	Fan Powered VAV Box	FPB0-B02000-015	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2576	Fan Powered VAV Box	FPB0-B02000-015CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2577			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2578	Fan Powered VAV Box	FPB0-B02000-016	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2579	Fan Powered VAV Box	FPB0-B02000-016CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2580			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2581	Fan Powered VAV Box	FPB0-B02000-017	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2582	Fan Powered VAV Box	FPB0-B02000-017CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2583			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2584	Fan Powered VAV Box	FPB0-B02000-018	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2585	Fan Powered VAV Box	FPB0-B02000-018CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2586			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2587	Fan Powered VAV Box	FPB0-B02000-019	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2588	Fan Powered VAV Box	FPB0-B02000-019CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2589			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2590	Fan Powered VAV Box	FPB0-B02000-019CA2	Shut down the FPB and close the damper	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2591			Shut down the FPB and close the damper	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2592	Fan Powered VAV Box	FPB0-B02000-020	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2593	Fan Powered VAV Box	FPB0-B02000-020CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2594			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2595	Fan Powered VAV Box	FPB0-B02000-021	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2596	Fan Powered VAV Box	FPB0-B02000-021CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2597			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2598	Fan Powered VAV Box	FPB0-B02000-022	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2599	Fan Powered VAV Box	FPB0-B02000-022CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2600			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2601	Fan Powered VAV Box	FPB0-B02000-023	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2602	Fan Powered VAV Box	FPB0-B02000-023CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2603			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2604	Fan Powered VAV Box	FPB0-B02000-024	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2605	Fan Powered VAV Box	FPB0-B02000-024CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2606			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2607	Fan Powered VAV Box	FPB0-B02000-024CA2	Reconnect the FPB inlet to the main supply duct	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2608			Reconnect the FPB inlet to the main supply duct	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2609	Fan Powered VAV Box	FPB0-B02000-025	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2610	Fan Powered VAV Box	FPB0-B02000-025CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2611			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2612	Fan Powered VAV Box	FPB0-B02000-026	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2613	Fan Powered VAV Box	FPB0-B02000-026CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2614			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2615	Fan Powered VAV Box	FPB0-B02000-027	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2616	Fan Powered VAV Box	FPB0-B02000-027CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2617			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2618	Fan Powered VAV Box	FPB0-B02000-027CA2	Provide the control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2619			Provide the control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2620	Fan Powered VAV Box	FPB0-B02000-028	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2621	Fan Powered VAV Box	FPB0-B02000-028CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2622			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2623	Fan Powered VAV Box	FPB0-B02000-029	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2624	Fan Powered VAV Box	FPB0-B02000-029CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2625			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2626	Fan Powered VAV Box	FPB0-B02000-030	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2627	Fan Powered VAV Box	FPB0-B02000-030CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2628			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2629	Fan Powered VAV Box	FPB0-B02000-031	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2630	Fan Powered VAV Box	FPB0-B02000-031CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2631			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2632	Fan Powered VAV Box	FPB0-B02000-032	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2633	Fan Powered VAV Box	FPB0-B02000-032CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2634			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2635	Fan Powered VAV Box	FPB0-B03000-001	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2636	Fan Powered VAV Box	FPB0-B03000-001CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2637			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2638	Fan Powered VAV Box	FPB0-B03000-002	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2639	Fan Powered VAV Box	FPB0-B03000-002CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2640			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2641	Fan Powered VAV Box	FPB0-B03000-003	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2642	Fan Powered VAV Box	FPB0-B03000-003CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2643			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2644	Fan Powered VAV Box	FPB0-B03000-004	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2645	Fan Powered VAV Box	FPB0-B03000-004CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2646			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2647	Fan Powered VAV Box	FPB0-B03000-004CA2	Provide the control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2648			Provide the control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2649	Fan Powered VAV Box	FPB0-B03000-005	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2650	Fan Powered VAV Box	FPB0-B03000-005CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2651			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2652	Fan Powered VAV Box	FPB0-B03000-005CA2	Provide the control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2653			Provide the control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2654	Fan Powered VAV Box	FPB0-B03000-006	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2655	Fan Powered VAV Box	FPB0-B03000-006CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2656			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2657	Fan Powered VAV Box	FPB0-B03000-007	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2658	Fan Powered VAV Box	FPB0-B03000-007CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2659			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2660	Fan Powered VAV Box	FPB0-B03000-008	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2661	Fan Powered VAV Box	FPB0-B03000-008CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2662			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2663	Fan Powered VAV Box	FPB0-B03000-009	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2664	Fan Powered VAV Box	FPB0-B03000-009CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2665			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2666	Fan Powered VAV Box	FPB0-B03000-010	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2667	Fan Powered VAV Box	FPB0-B03000-010CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2668			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2669	Fan Powered VAV Box	FPB0-B03000-010CA2	Provide the control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2670			Provide the control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2671	Fan Powered VAV Box	FPB0-B03000-011	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2672	Fan Powered VAV Box	FPB0-B03000-011CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2673			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2674	Fan Powered VAV Box	FPB0-B03000-012	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2675	Fan Powered VAV Box	FPB0-B03000-012CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2676			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2677	Fan Powered VAV Box	FPB0-B03000-013	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2678	Fan Powered VAV Box	FPB0-B03000-013CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2679			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2680	Fan Powered VAV Box	FPB0-B03000-014	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2681	Fan Powered VAV Box	FPB0-B03000-014CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2682			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2683	Fan Powered VAV Box	FPB0-B03000-015	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2684	Fan Powered VAV Box	FPB0-B03000-015CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2685			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2686	Fan Powered VAV Box	FPB0-B03000-016	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2687	Fan Powered VAV Box	FPB0-B03000-016CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2688			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2689	Fan Powered VAV Box	FPB0-B03000-017	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2690	Fan Powered VAV Box	FPB0-B03000-017CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2691			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2692	Fan Powered VAV Box	FPB0-B03000-017CA2	Provide the control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2693			Provide the control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2694	Fan Powered VAV Box	FPB0-B03000-018	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2695	Fan Powered VAV Box	FPB0-B03000-018CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2696			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2697	Fan Powered VAV Box	FPB0-B03000-018CA2	Provide the control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2698			Provide the control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2699	Fan Powered VAV Box	FPB0-B03000-019	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2700	Fan Powered VAV Box	FPB0-B03000-019CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2701			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2702	Fan Powered VAV Box	FPB0-B03000-020	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2703	Fan Powered VAV Box	FPB0-B03000-020CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2704			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2705	Fan Powered VAV Box	FPB0-B03000-021	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2706	Fan Powered VAV Box	FPB0-B03000-021CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2707			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2708	Fan Powered VAV Box	FPB0-B03000-022	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2709	Fan Powered VAV Box	FPB0-B03000-022CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2710			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2711	Fan Powered VAV Box	FPB0-B03000-023	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2712	Fan Powered VAV Box	FPB0-B03000-023CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2713			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2714	Fan Powered VAV Box	FPB0-B03000-023CA2	Provide the control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2715			Provide the control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2716	Fan Powered VAV Box	FPB0-B03000-024	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2717	Fan Powered VAV Box	FPB0-B03000-024CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2718			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2719	Fan Powered VAV Box	FPB0-B03000-025	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2720	Fan Powered VAV Box	FPB0-B03000-025CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2721			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2722	Fan Powered VAV Box	FPB0-B03000-026	Fan Powered VAV Box	1	LS		\$1,980	\$1,033	\$3,013			
2723	Fan Powered VAV Box	FPB0-B03000-026CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2724			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2725	Fan Powered VAV Box	FPB0-B03000-026CA2	Provide the control box cover	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2726			Provide the control box cover	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2727	Fan Powered VAV Box	FPB0-B03000-027	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2728	Fan Powered VAV Box	FPB0-B03000-027CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2729			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2730	Fan Powered VAV Box	FPB0-B03000-028	Fan Powered VAV Box	1	LS		\$780	\$429	\$1,209			
2731	Fan Powered VAV Box	FPB0-B03000-028CA1	Provide filter supports and replace filter	1	LS		\$780	\$429	\$1,209		UPGRADE	1
2732			Provide filter supports and replace filter	1.00	LS	\$780.00	\$780.00	\$428.68	\$1,208.68		UPGRADE	1
2733	HVAC	D	Services	1	LS		\$1,459,100	\$789,175	\$2,248,275			
2734	Services	D306001A	Control Dampers	1	LS		\$1,200	\$604	\$1,804			
2735	Control Dampers	DAMP-BPH000-001	Control Dampers	1	LS		\$1,200	\$604	\$1,804			
2736	Control Dampers	DAMP-BPH000-001CA1	Repair control damper.	1	LS		\$1,200	\$604	\$1,804		REPAIR	1
2737			Repair control damper.	1.00	LS	\$1,200.00	\$1,200.00	\$604.42	\$1,804.42		REPAIR	1
2738	Services	D306004	Instrument Air Compressors	1	LS		\$2,400	\$1,058	\$3,458			
2739	Instrument Air Compressors	IACP-BB1000-001	Instrument Air Compressors	1	LS		\$1,200	\$529	\$1,729			
2740	Instrument Air Compressors	IACP-BB1000-001CA1	Remove abandoned instrument air compressor.	1	LS		\$1,200	\$529	\$1,729		REMOVE	1
2741			Remove abandoned instrument air compressor.	1.00	LS	\$1,200.00	\$1,200.00	\$529.24	\$1,729.24		REMOVE	1
2742	Instrument Air Compressors	IACP-BB1000-002	Instrument Air Compressors	1	LS		\$1,200	\$529	\$1,729			
2743	Instrument Air Compressors	IACP-BB1000-002CA1	Remove abandoned instrument air compressor.	1	LS		\$1,200	\$529	\$1,729		REMOVE	1
2744			Remove abandoned instrument air compressor.	1.00	LS	\$1,200.00	\$1,200.00	\$529.24	\$1,729.24		REMOVE	1
2745	Services	D401001A	Dry Pipe	1	LS		\$19,694	\$10,492	\$30,186			
2746	Dry Pipe	DPS-BPH000-001	Dry Pipe	1	LS		\$19,694	\$10,492	\$30,186			





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2747	Dry Pipe	DPS-BPH000-001CA1	Investigate sprinkler system corrosion. Document full extent of damage and evaluate for spot repairs or complete sprinkler system replacement.	1	S.F.		\$8,544	\$4,633	\$13,177		REPLACE	1
2748			Investigate sprinkler system corrosion. Document full extent of damage and evaluate for spot repairs or complete sprinkler system replacement.	26,700.00	S.F.	\$0.32	\$8,544.00	\$4,632.90	\$13,176.90	\$0.49	REPLACE	1
2749	Dry Pipe	DPS-BPH000-001CA2	Modify sprinkler system to provide proper drainage.	1	Ea.		\$3,200	\$1,759	\$4,959		UPGRADE	2
2750			Modify sprinkler system to provide proper drainage.	1.00	Ea.	\$3,200.00	\$3,200.00	\$1,758.67	\$4,958.67		UPGRADE	2
2751	Dry Pipe	DPS-BPH000-001CA3	Provide access path to auxiliary drains valves.	1	Ea.		\$2,100	\$1,154	\$3,254		UPGRADE	2
2752			Provide access path to auxiliary drains valves.	1.00	Ea.	\$2,100.00	\$2,100.00	\$1,154.13	\$3,254.13		UPGRADE	2
2753	Dry Pipe	DPS-BPH000-001CA4	Provide code-compliant sprinkler system drain connections.	1	Ea.		\$3,750	\$1,889	\$5,639		REPAIR	4
2754			Provide code-compliant sprinkler system drain connections.	1.00	Ea.	\$3,750.00	\$3,750.00	\$1,888.82	\$5,638.82		REPAIR	4
2755	Dry Pipe	DPS-BPH000-001CA5	Repair air compressor oil leak.	1	Ea.		\$2,100	\$1,058	\$3,158		REPAIR	1
2756			Repair air compressor oil leak.	1.00	Ea.	\$2,100.00	\$2,100.00	\$1,057.74	\$3,157.74		REPAIR	1
2757	Services	D401001B	Wet Pipe	1	LS		\$36,896	\$18,584	\$55,480			
2758	Wet Pipe	WPS-B01000-001	Wet Pipe	1	LS		\$9,056	\$4,561	\$13,617			
2759	Wet Pipe	WPS-B01000-001CA1	Investigate sprinkler system corrosion. Document full extent of damage and evaluate for spot repairs or complete sprinkler system replacement.	1	S.F.		\$9,056	\$4,561	\$13,617		REPAIR	1
2760			Investigate sprinkler system corrosion. Document full extent of damage and evaluate for spot repairs or complete sprinkler system replacement.	28,300.00	S.F.	\$0.32	\$9,056.00	\$4,561.36	\$13,617.36	\$0.48	REPAIR	1
2761	Wet Pipe	WPS-B02000-001	Wet Pipe	1	LS		\$8,544	\$4,303	\$12,847			
2762	Wet Pipe	WPS-B02000-001CA1	Investigate sprinkler system corrosion. Document full extent of damage and evaluate for spot repairs or complete sprinkler system replacement.	1	S.F.		\$8,544	\$4,303	\$12,847		REPAIR	1
2763			Investigate sprinkler system corrosion. Document full extent of damage and evaluate for spot repairs or complete sprinkler system replacement.	26,700.00	S.F.	\$0.32	\$8,544.00	\$4,303.48	\$12,847.48	\$0.48	REPAIR	1
2764	Wet Pipe	WPS-B03000-001	Wet Pipe	1	LS		\$8,544	\$4,303	\$12,847			
2765	Wet Pipe	WPS-B03000-001CA1	Investigate sprinkler system corrosion. Document full extent of damage and evaluate for spot repairs or complete sprinkler system replacement.	1	S.F.		\$8,544	\$4,303	\$12,847		REPAIR	1
2766			Investigate sprinkler system corrosion. Document full extent of damage and evaluate for spot repairs or complete sprinkler system replacement.	26,700.00	S.F.	\$0.32	\$8,544.00	\$4,303.48	\$12,847.48	\$0.48	REPAIR	1
2767	Wet Pipe	WPS-BB1000-001	Wet Pipe	1	LS		\$10,752	\$5,416	\$16,168			
2768	Wet Pipe	WPS-BB1000-001CA1	Investigate sprinkler system corrosion. Document full extent of damage and evaluate for spot repairs or complete sprinkler system replacement.	1	S.F.		\$10,752	\$5,416	\$16,168		REPAIR	1
2769			Investigate sprinkler system corrosion. Document full extent of damage and evaluate for spot repairs or complete sprinkler system replacement.	33,600.00	S.F.	\$0.32	\$10,752.00	\$5,415.61	\$16,167.61	\$0.48	REPAIR	1
2770	Services	D401002A	Fire Pump	1	LS		\$36,500	\$19,792	\$56,292			
2771	Fire Pump	FP-BB1000-001	Fire Pump	1	LS		\$36,500	\$19,792	\$56,292			
2772	Fire Pump	FP-BB1000-001CA1	Replace fire pump.	1	Ea.		\$36,500	\$19,792	\$56,292		REPLACE	2
2773			Replace fire pump.	1.00	Ea.	\$36,500.00	\$36,500.00	\$19,791.76	\$56,291.76		REPLACE	2
2774	Services	D401002B	Pressure Maintenance Pump (Jockey Pump)	1	LS		\$9,200	\$4,989	\$14,189			
2775	Pressure Maintenance Pump (Jockey Pump)	PMP-BB1000-001	Pressure Maintenance Pump (Jockey Pump)	1	LS		\$9,200	\$4,989	\$14,189			
2776	Pressure Maintenance Pump (Jockey Pump)	PMP-BB1000-001CA1	Replace jockey pump.	1	Ea.		\$9,200	\$4,989	\$14,189		REPLACE	2
2777			Replace jockey pump.	1.00	Ea.	\$9,200.00	\$9,200.00	\$4,988.61	\$14,188.61		REPLACE	2
2778	Services	D401002C	Fire Pump Controller	1	LS		\$36,500	\$19,792	\$56,292			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
2779	Fire Pump Controller	FPC-BB1000-001	Fire Pump Controller	1	LS		\$36,500	\$19,792	\$56,292			
2780	Fire Pump Controller	FPC-BB1000-001CA1	Replace fire pump controller.	1	Ea.		\$36,500	\$19,792	\$56,292		REPLACE	2
2781			Replace fire pump controller.	1.00	Ea.	\$36,500.00	\$36,500.00	\$19,791.76	\$56,291.76		REPLACE	2
2782	Services	D401002E	Jockey Pump Controller	1	LS		\$9,200	\$4,989	\$14,189			
2783	Jockey Pump Controller	JPC-BB1000-001	Jockey Pump Controller	1	LS		\$9,200	\$4,989	\$14,189			
2784	Jockey Pump Controller	JPC-BB1000-001CA1	Replace jockey pump controller.	1	Ea.		\$9,200	\$4,989	\$14,189		REPLACE	2
2785			Replace jockey pump controller.	1.00	Ea.	\$9,200.00	\$9,200.00	\$4,988.61	\$14,188.61		REPLACE	2
2786	Services	D403001	Portable Fire Extinguishers	1	LS		\$1,435	\$759	\$2,194			
2787	Portable Fire Extinguishers	PFE-B01000-004	Portable Fire Extinguishers	1	LS		\$120	\$53	\$173			
2788	Portable Fire Extinguishers	PFE-B01000-004CA1	Remove chairs blocking fire extinguisher access.	1	Ea.		\$120	\$53	\$173		REMOVE	1
2789			Remove chairs blocking fire extinguisher access.	1.00	Ea.	\$120.00	\$120.00	\$52.92	\$172.92		REMOVE	1
2790	Portable Fire Extinguishers	PFE-B02000-008	Portable Fire Extinguishers	1	LS		\$175	\$95	\$270			
2791	Portable Fire Extinguishers	PFE-B02000-008CA1	Install fire extinguisher wall-mount bracket.	1	Ea.		\$175	\$95	\$270		REPLACE	2
2792			Install fire extinguisher wall-mount bracket.	1.00	Ea.	\$175.00	\$175.00	\$94.89	\$269.89		REPLACE	2
2793	Portable Fire Extinguishers	PFE-B03000-006	Portable Fire Extinguishers	1	LS		\$395	\$214	\$609			
2794	Portable Fire Extinguishers	PFE-B03000-006CA1	Replace empty water extinguisher with Class ABC extinguisher and mount on wall.	1	Ea.		\$395	\$214	\$609		REPLACE	1
2795			Replace empty water extinguisher with Class ABC extinguisher and mount on wall.	1.00	Ea.	\$395.00	\$395.00	\$214.18	\$609.18		REPLACE	1
2796	Portable Fire Extinguishers	PFE-B03000-007	Portable Fire Extinguishers	1	LS		\$395	\$214	\$609			
2797	Portable Fire Extinguishers	PFE-B03000-007CA1	Replace empty water extinguisher with Class ABC extinguisher and mount on wall.	1	Ea.		\$395	\$214	\$609		REPLACE	1
2798			Replace empty water extinguisher with Class ABC extinguisher and mount on wall.	1.00	Ea.	\$395.00	\$395.00	\$214.18	\$609.18		REPLACE	1
2799	Portable Fire Extinguishers	PFE-BPH000-003	Portable Fire Extinguishers	1	LS		\$175	\$88	\$263			
2800	Portable Fire Extinguishers	PFE-BPH000-003CA1	Install fire extinguisher wall-mount bracket.	1	Ea.		\$175	\$88	\$263		REPAIR	2
2801			Install fire extinguisher wall-mount bracket.	1.00	Ea.	\$175.00	\$175.00	\$88.14	\$263.14		REPAIR	2
2802	Portable Fire Extinguishers	PFE-BPH000-004	Portable Fire Extinguishers	1	LS		\$175	\$95	\$270			
2803	Portable Fire Extinguishers	PFE-BPH000-004CA1	Install fire extinguisher wall-mount bracket.	1	Ea.		\$175	\$95	\$270		REPLACE	2
2804			Install fire extinguisher wall-mount bracket.	1.00	Ea.	\$175.00	\$175.00	\$94.89	\$269.89		REPLACE	2
2805	Services	D501003	Main Switchboards	1	LS		\$1,000	\$550	\$1,550			
2806	Main Switchboards	SWBD-BB1000-001	Main Switchboards	1	LS		\$1,000	\$550	\$1,550			
2807	Main Switchboards	SWBD-BB1000-001CA1	Relocate Equipment and Extend Feeder.	1	LS		\$1,000	\$550	\$1,550		UPGRADE	2
2808			Relocate Equipment and Extend Feeder.	1.00	LS	\$1,000.00	\$1,000.00	\$549.58	\$1,549.58		UPGRADE	2
2809	Services	D501004	Interior Distribution Transformers	1	LS		\$2,150	\$1,175	\$3,325			
2810	Interior Distribution Transformers	TDIS-BPH000-003	Interior Distribution Transformers	1	LS		\$1,075	\$587	\$1,662			
2811	Interior Distribution Transformers	TDIS-BPH000-003CA1	Provide Missing or Correct Front Cover Identification Label	1	LS		\$75	\$38	\$113		REPAIR	1
2812			Provide Missing or Correct Front Cover Identification Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
2813	Interior Distribution Transformers	TDIS-BPH000-003CA2	Relocate Equipment and Extend Feeder.	1	LS		\$1,000	\$550	\$1,550		UPGRADE	2





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
2814			Relocate Equipment and Extend Feeder.	1.00	LS	\$1,000.00	\$1,000.00	\$549.58	\$1,549.58		UPGRADE	2
2815	Interior Distribution Transformers	TDIS-BPH000-004	Interior Distribution Transformers	1	LS		\$75	\$38	\$113			
2816	Interior Distribution Transformers	TDIS-BPH000-004CA1	Provide Missing or Correct Front Cover Identification Label	1	LS		\$75	\$38	\$113		REPAIR	1
2817			Provide Missing or Correct Front Cover Identification Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
2818	Interior Distribution Transformers	TDIS-BPH000-005	Interior Distribution Transformers	1	LS		\$1,000	\$550	\$1,550			
2819	Interior Distribution Transformers	TDIS-BPH000-005CA1	Relocate Equipment and Extend Feeder.	1	LS		\$1,000	\$550	\$1,550		UPGRADE	2
2820			Relocate Equipment and Extend Feeder.	1.00	LS	\$1,000.00	\$1,000.00	\$549.58	\$1,549.58		UPGRADE	2
2821	Services	D501005	Panels	1	LS		\$37,225	\$20,045	\$57,270			
2822	Panels	PNLO-B01000-001	Panels	1	LS		\$100	\$50	\$150			
2823	Panels	PNLO-B01000-001CA1	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2824			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2825	Panels	PNLO-B01000-003	Panels	1	LS		\$2,225	\$1,212	\$3,437			
2826	Panels	PNLO-B01000-003CA1	Provide Missing Branch Circuit Number Identifier	1	LS		\$50	\$25	\$75		REPAIR	2
2827			Provide Missing Branch Circuit Number Identifier	1.00	LS	\$50.00	\$50.00	\$25.18	\$75.18		REPAIR	2
2828	Panels	PNLO-B01000-003CA2	Provide Missing or Correct Front Cover Identification Label	1	LS		\$75	\$38	\$113		REPAIR	1
2829			Provide Missing or Correct Front Cover Identification Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
2830	Panels	PNLO-B01000-003CA3	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2831			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2832	Panels	PNLO-B01000-003CA4	Relocate Equipment and Extend Feeder.	1	LS		\$1,000	\$550	\$1,550		UPGRADE	2
2833			Relocate Equipment and Extend Feeder.	1.00	LS	\$1,000.00	\$1,000.00	\$549.58	\$1,549.58		UPGRADE	2
2834	Panels	PNLO-B01000-003CA5	Relocate Equipment and Extend Feeder.	1	LS		\$1,000	\$550	\$1,550		UPGRADE	2
2835			Relocate Equipment and Extend Feeder.	1.00	LS	\$1,000.00	\$1,000.00	\$549.58	\$1,549.58		UPGRADE	2
2836	Panels	PNLO-B03000-003	Panels	1	LS		\$100	\$50	\$150			
2837	Panels	PNLO-B03000-003CA1	Provide Missing Blank Cover	1	LS		\$50	\$25	\$75		REPAIR	1
2838			Provide Missing Blank Cover	1.00	LS	\$50.00	\$50.00	\$25.18	\$75.18		REPAIR	1
2839	Panels	PNLO-B03000-003CA2	Provide Missing Blank Cover	1	LS		\$50	\$25	\$75		REPAIR	1
2840			Provide Missing Blank Cover	1.00	LS	\$50.00	\$50.00	\$25.18	\$75.18		REPAIR	1
2841	Panels	PNLO-B03000-006	Panels	1	LS		\$1,175	\$638	\$1,813			
2842	Panels	PNLO-B03000-006CA1	Provide Missing or Correct Front Cover Identification Label	1	LS		\$75	\$38	\$113		REPAIR	1
2843			Provide Missing or Correct Front Cover Identification Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
2844	Panels	PNLO-B03000-006CA2	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2845			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2846	Panels	PNLO-B03000-006CA3	Relocate Equipment and Extend Feeder.	1	LS		\$1,000	\$550	\$1,550		UPGRADE	2
2847			Relocate Equipment and Extend Feeder.	1.00	LS	\$1,000.00	\$1,000.00	\$549.58	\$1,549.58		UPGRADE	2
2848	Panels	PNLO-B03000-007	Panels	1	LS		\$2,175	\$1,187	\$3,362			
2849	Panels	PNLO-B03000-007CA1	Provide Missing or Correct Front Cover Identification Label	1	LS		\$75	\$38	\$113		REPAIR	1
2850			Provide Missing or Correct Front Cover Identification Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
2851	Panels	PNLO-B03000-007CA2	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2852			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2853	Panels	PNLO-B03000-007CA3	Relocate Equipment and Extend Feeder.	1	LS		\$1,000	\$550	\$1,550		UPGRADE	2
2854			Relocate Equipment and Extend Feeder.	1.00	LS	\$1,000.00	\$1,000.00	\$549.58	\$1,549.58		UPGRADE	2
2855	Panels	PNLO-B03000-007CA4	Relocate Equipment and Extend Feeder.	1	LS		\$1,000	\$550	\$1,550		UPGRADE	2
2856			Relocate Equipment and Extend Feeder.	1.00	LS	\$1,000.00	\$1,000.00	\$549.58	\$1,549.58		UPGRADE	2





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2857	Panels	PNLO-BB1000-001	Panels	1	LS		\$350	\$176	\$526			
2858	Panels	PNLO-BB1000-001CA1	Provide Missing Blank Cover	1	LS		\$50	\$25	\$75		REPAIR	1
2859			Provide Missing Blank Cover	1.00	LS	\$50.00	\$50.00	\$25.18	\$75.18		REPAIR	1
2860	Panels	PNLO-BB1000-001CA2	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2861			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2862	Panels	PNLO-BB1000-001CA3	Repair Loose Front Plate	1	LS		\$200	\$101	\$301		REPAIR	2
2863			Repair Loose Front Plate	1.00	LS	\$200.00	\$200.00	\$100.74	\$300.74		REPAIR	2
2864	Panels	PNLO-BB1000-002	Panels	1	LS		\$2,250	\$1,210	\$3,460			
2865	Panels	PNLO-BB1000-002CA1	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2866			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2867	Panels	PNLO-BB1000-002CA2	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	1
2868			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	1
2869	Panels	PNLO-BB1000-002CA3	Replace Malfunctioning or Missing Latch/Lock Assembly	1	LS		\$150	\$76	\$226		REPAIR	1
2870			Replace Malfunctioning or Missing Latch/Lock Assembly	1.00	LS	\$150.00	\$150.00	\$75.55	\$225.55		REPAIR	1
2871	Panels	PNLO-BB1000-003	Panels	1	LS		\$3,925	\$2,119	\$6,044			
2872	Panels	PNLO-BB1000-003CA1	Provide Missing Interior Face of Panelboard	1	LS		\$250	\$126	\$376		REPAIR	1
2873			Provide Missing Interior Face of Panelboard	1.00	LS	\$250.00	\$250.00	\$125.92	\$375.92		REPAIR	1
2874	Panels	PNLO-BB1000-003CA2	Provide Missing or Correct Front Cover Identification Label	1	LS		\$75	\$38	\$113		REPAIR	1
2875			Provide Missing or Correct Front Cover Identification Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
2876	Panels	PNLO-BB1000-003CA3	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2877			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2878	Panels	PNLO-BB1000-003CA4	Relocate Equipment and Extend Feeder.	1	LS		\$1,000	\$550	\$1,550		UPGRADE	2
2879			Relocate Equipment and Extend Feeder.	1.00	LS	\$1,000.00	\$1,000.00	\$549.58	\$1,549.58		UPGRADE	2
2880	Panels	PNLO-BB1000-003CA5	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	1
2881			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	1
2882	Panels	PNLO-BB1000-004	Panels	1	LS		\$100	\$50	\$150			
2883	Panels	PNLO-BB1000-004CA1	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2884			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2885	Panels	PNLO-BB1000-005	Panels	1	LS		\$4,050	\$2,175	\$6,225			
2886	Panels	PNLO-BB1000-005CA1	Provide Missing Blank Cover	1	LS		\$50	\$25	\$75		REPAIR	1
2887			Provide Missing Blank Cover	1.00	LS	\$50.00	\$50.00	\$25.18	\$75.18		REPAIR	1
2888	Panels	PNLO-BB1000-005CA2	Provide Missing Interior Face of Panelboard	1	LS		\$250	\$126	\$376		REPAIR	2
2889			Provide Missing Interior Face of Panelboard	1.00	LS	\$250.00	\$250.00	\$125.92	\$375.92		REPAIR	2
2890	Panels	PNLO-BB1000-005CA3	Provide Missing or Correct Front Cover Identification Label	1	LS		\$75	\$38	\$113		REPAIR	1
2891			Provide Missing or Correct Front Cover Identification Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
2892	Panels	PNLO-BB1000-005CA4	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2893			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2894	Panels	PNLO-BB1000-005CA5	Repair Loose Front Plate	1	LS		\$75	\$38	\$113		REPAIR	1
2895			Repair Loose Front Plate	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
2896	Panels	PNLO-BB1000-005CA6	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$3,500	\$1,898	\$5,398		REPLACE	1
2897			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$3,500.00	\$3,500.00	\$1,897.84	\$5,397.84		REPLACE	1
2898	Panels	PNLO-BB1000-006	Panels	1	LS		\$4,075	\$2,195	\$6,270			





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2899	Panels	PNLO-BB1000-006CA1	Provide Missing or Correct Front Cover Identification Label	1	LS		\$75	\$38	\$113		REPAIR	1
2900			Provide Missing or Correct Front Cover Identification Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
2901	Panels	PNLO-BB1000-006CA2	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2902			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2903	Panels	PNLO-BB1000-006CA3	Relocate Equipment and Extend Feeder.	1	LS		\$1,000	\$550	\$1,550		UPGRADE	2
2904			Relocate Equipment and Extend Feeder.	1.00	LS	\$1,000.00	\$1,000.00	\$549.58	\$1,549.58		UPGRADE	2
2905	Panels	PNLO-BB1000-006CA4	Replace Damaged Panel Door	1	LS		\$250	\$126	\$376		REPAIR	1
2906			Replace Damaged Panel Door	1.00	LS	\$250.00	\$250.00	\$125.92	\$375.92		REPAIR	1
2907	Panels	PNLO-BB1000-006CA5	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	1
2908			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	1
2909	Panels	PNLO-BB1000-006CA6	Replace Malfunctioning or Missing Latch/Lock Assembly	1	LS		\$150	\$76	\$226		REPAIR	1
2910			Replace Malfunctioning or Missing Latch/Lock Assembly	1.00	LS	\$150.00	\$150.00	\$75.55	\$225.55		REPAIR	1
2911	Panels	PNLO-BB1000-007	Panels	1	LS		\$3,000	\$1,576	\$4,576			
2912	Panels	PNLO-BB1000-007CA1	Remove Obsolete Panelboard	1	LS		\$500	\$221	\$721		REMOVE	1
2913			Remove Obsolete Panelboard	1.00	LS	\$500.00	\$500.00	\$220.52	\$720.52		REMOVE	1
2914	Panels	PNLO-BB1000-007CA2	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	1
2915			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	1
2916	Panels	PNLO-BB1000-008	Panels	1	LS		\$75	\$38	\$113			
2917	Panels	PNLO-BB1000-008CA1	Provide Missing MCB Rating Label	1	LS		\$75	\$38	\$113		REPAIR	1
2918			Provide Missing MCB Rating Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
2919	Panels	PNLO-BB1000-009	Panels	1	LS		\$100	\$50	\$150			
2920	Panels	PNLO-BB1000-009CA1	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2921			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2922	Panels	PNLO-BB1000-010	Panels	1	LS		\$100	\$50	\$150			
2923	Panels	PNLO-BB1000-010CA1	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2924			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2925	Panels	PNLO-BB1000-011	Panels	1	LS		\$1,100	\$600	\$1,700			
2926	Panels	PNLO-BB1000-011CA1	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2927			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2928	Panels	PNLO-BB1000-011CA2	Relocate Equipment and Extend Feeder.	1	LS		\$1,000	\$550	\$1,550		UPGRADE	2
2929			Relocate Equipment and Extend Feeder.	1.00	LS	\$1,000.00	\$1,000.00	\$549.58	\$1,549.58		UPGRADE	2
2930	Panels	PNLO-BB1000-012	Panels	1	LS		\$4,650	\$2,523	\$7,173			
2931	Panels	PNLO-BB1000-012CA1	Provide Missing Blank Cover	1	LS		\$50	\$25	\$75		REPAIR	1
2932			Provide Missing Blank Cover	1.00	LS	\$50.00	\$50.00	\$25.18	\$75.18		REPAIR	1
2933	Panels	PNLO-BB1000-012CA2	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2934			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2935	Panels	PNLO-BB1000-012CA3	Relocate Equipment and Extend Feeder.	1	LS		\$1,000	\$550	\$1,550		UPGRADE	2
2936			Relocate Equipment and Extend Feeder.	1.00	LS	\$1,000.00	\$1,000.00	\$549.58	\$1,549.58		UPGRADE	2
2937	Panels	PNLO-BB1000-012CA4	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$3,500	\$1,898	\$5,398		REPLACE	1
2938			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$3,500.00	\$3,500.00	\$1,897.84	\$5,397.84		REPLACE	1
2939	Panels	PNLO-BB1000-013	Panels	1	LS		\$4,850	\$2,624	\$7,474			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2940	Panels	PNLO-BB1000-013CA1	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2941			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2942	Panels	PNLO-BB1000-013CA2	Relocate Equipment and Extend Feeder.	1	LS		\$1,000	\$550	\$1,550		UPGRADE	2
2943			Relocate Equipment and Extend Feeder.	1.00	LS	\$1,000.00	\$1,000.00	\$549.58	\$1,549.58		UPGRADE	2
2944	Panels	PNLO-BB1000-013CA3	Replace Damaged Panel Door	1	LS		\$250	\$126	\$376		REPAIR	3
2945			Replace Damaged Panel Door	1.00	LS	\$250.00	\$250.00	\$125.92	\$375.92		REPAIR	3
2946	Panels	PNLO-BB1000-013CA4	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$3,500	\$1,898	\$5,398		REPLACE	1
2947			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$3,500.00	\$3,500.00	\$1,897.84	\$5,397.84		REPLACE	1
2948	Panels	PNLO-BB1000-014	Panels	1	LS		\$100	\$50	\$150			
2949	Panels	PNLO-BB1000-014CA1	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2950			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2951	Panels	PNLO-BB1000-015	Panels	1	LS		\$100	\$50	\$150			
2952	Panels	PNLO-BB1000-015CA1	Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1	LS		\$100	\$50	\$150		REPAIR	1
2953			Provide Missing or Update Incomplete Circuit Index Card with Room Identifier	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	1
2954	Panels	PNLO-BPH000-001	Panels	1	LS		\$125	\$63	\$188			
2955	Panels	PNLO-BPH000-001CA1	Provide Missing Branch Circuit Number Identifier	1	LS		\$50	\$25	\$75		REPAIR	4
2956			Provide Missing Branch Circuit Number Identifier	1.00	LS	\$50.00	\$50.00	\$25.18	\$75.18		REPAIR	4
2957	Panels	PNLO-BPH000-001CA2	Provide Missing or Correct Front Cover Identification Label	1	LS		\$75	\$38	\$113		REPAIR	1
2958			Provide Missing or Correct Front Cover Identification Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
2959	Panels	PNLO-BPH000-002	Panels	1	LS		\$2,500	\$1,356	\$3,856			
2960	Panels	PNLO-BPH000-002CA1	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	1
2961			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	1
2962	Services	D501006	Enclosed Circuit Breakers	1	LS		\$4,500	\$2,451	\$6,951			
2963	Enclosed Circuit Breakers	ECB0-BB1000-001	Enclosed Circuit Breakers	1	LS		\$2,250	\$1,226	\$3,476			
2964	Enclosed Circuit Breakers	ECB0-BB1000-001CA1	Relocate Equipment and Extend Feeder.	1	LS		\$750	\$412	\$1,162		UPGRADE	2
2965			Relocate Equipment and Extend Feeder.	1.00	LS	\$750.00	\$750.00	\$412.19	\$1,162.19		UPGRADE	2
2966	Enclosed Circuit Breakers	ECB0-BB1000-001CA2	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$1,500	\$813	\$2,313		REPLACE	1
2967			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$1,500.00	\$1,500.00	\$813.36	\$2,313.36		REPLACE	1
2968	Enclosed Circuit Breakers	ECB0-BB1000-002	Enclosed Circuit Breakers	1	LS		\$2,250	\$1,226	\$3,476			
2969	Enclosed Circuit Breakers	ECB0-BB1000-002CA1	Relocate Equipment and Extend Feeder.	1	LS		\$750	\$412	\$1,162		UPGRADE	2
2970			Relocate Equipment and Extend Feeder.	1.00	LS	\$750.00	\$750.00	\$412.19	\$1,162.19		UPGRADE	2
2971	Enclosed Circuit Breakers	ECB0-BB1000-002CA2	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$1,500	\$813	\$2,313		REPLACE	1
2972			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$1,500.00	\$1,500.00	\$813.36	\$2,313.36		REPLACE	1
2973	Services	D501099A	Disconnect Switches	1	LS		\$15,775	\$8,592	\$24,367			
2974	Disconnect Switches	DS00-BB1000-001	Disconnect Switches	1	LS		\$1,000	\$542	\$1,542			
2975	Disconnect Switches	DS00-BB1000-001CA1	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$1,000	\$542	\$1,542		REPLACE	1
2976			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$1,000.00	\$1,000.00	\$542.24	\$1,542.24		REPLACE	1
2977	Disconnect Switches	DS00-BB1000-005	Disconnect Switches	1	LS		\$500	\$275	\$775			





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
2978	Disconnect Switches	DS00-BB1000-005CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
2979			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
2980	Disconnect Switches	DS00-BB1000-006	Disconnect Switches	1	LS		\$500	\$275	\$775			
2981	Disconnect Switches	DS00-BB1000-006CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
2982			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
2983	Disconnect Switches	DS00-BB1000-007	Disconnect Switches	1	LS		\$500	\$275	\$775			
2984	Disconnect Switches	DS00-BB1000-007CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
2985			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
2986	Disconnect Switches	DS00-BB1000-008	Disconnect Switches	1	LS		\$500	\$275	\$775			
2987	Disconnect Switches	DS00-BB1000-008CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
2988			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
2989	Disconnect Switches	DS00-BB1000-009	Disconnect Switches	1	LS		\$575	\$316	\$891			
2990	Disconnect Switches	DS00-BB1000-009CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
2991			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
2992	Disconnect Switches	DS00-BB1000-009CA2	Remove Water Hazard from Equipment's Dedicated and Working Space	1	LS		\$75	\$41	\$116		UPGRADE	1
2993			Remove Water Hazard from Equipment's Dedicated and Working Space	1.00	LS	\$75.00	\$75.00	\$41.22	\$116.22		UPGRADE	1
2994	Disconnect Switches	DS00-BB1000-010	Disconnect Switches	1	LS		\$75	\$38	\$113			
2995	Disconnect Switches	DS00-BB1000-010CA1	Provide Missing or Correct Front Cover Identification Label	1	LS		\$75	\$38	\$113		REPAIR	1
2996			Provide Missing or Correct Front Cover Identification Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
2997	Disconnect Switches	DS00-BB1000-011	Disconnect Switches	1	LS		\$75	\$33	\$108			
2998	Disconnect Switches	DS00-BB1000-011CA1	Remove Obsolete Disconnect Switch	1	LS		\$75	\$33	\$108		REMOVE	1
2999			Remove Obsolete Disconnect Switch	1.00	LS	\$75.00	\$75.00	\$33.08	\$108.08		REMOVE	1
3000	Disconnect Switches	DS00-BB1000-012	Disconnect Switches	1	LS		\$500	\$275	\$775			
3001	Disconnect Switches	DS00-BB1000-012CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3002			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3003	Disconnect Switches	DS00-BB1000-013	Disconnect Switches	1	LS		\$500	\$275	\$775			
3004	Disconnect Switches	DS00-BB1000-013CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3005			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3006	Disconnect Switches	DS00-BB1000-014	Disconnect Switches	1	LS		\$500	\$275	\$775			
3007	Disconnect Switches	DS00-BB1000-014CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3008			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3009	Disconnect Switches	DS00-BB1000-015	Disconnect Switches	1	LS		\$500	\$275	\$775			
3010	Disconnect Switches	DS00-BB1000-015CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3011			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3012	Disconnect Switches	DS00-BB1000-020	Disconnect Switches	1	LS		\$1,500	\$813	\$2,313			
3013	Disconnect Switches	DS00-BB1000-020CA1	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$1,500	\$813	\$2,313		REPLACE	1
3014			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$1,500.00	\$1,500.00	\$813.36	\$2,313.36		REPLACE	1
3015	Disconnect Switches	DS00-BB1000-027	Disconnect Switches	1	LS		\$500	\$275	\$775			
3016	Disconnect Switches	DS00-BB1000-027CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3017			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3018	Disconnect Switches	DS00-BB1000-028	Disconnect Switches	1	LS		\$500	\$275	\$775			
3019	Disconnect Switches	DS00-BB1000-028CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3020			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3021	Disconnect Switches	DS00-BB1000-030	Disconnect Switches	1	LS		\$1,500	\$813	\$2,313			
3022	Disconnect Switches	DS00-BB1000-030CA1	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$1,500	\$813	\$2,313		REPLACE	1
3023			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$1,500.00	\$1,500.00	\$813.36	\$2,313.36		REPLACE	1





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
3024	Disconnect Switches	DS00-BB1000-031	Disconnect Switches	1	LS		\$1,500	\$813	\$2,313			
3025	Disconnect Switches	DS00-BB1000-031CA1	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$1,500	\$813	\$2,313		REPLACE	1
3026			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$1,500.00	\$1,500.00	\$813.36	\$2,313.36		REPLACE	1
3027	Disconnect Switches	DS00-BB1000-032	Disconnect Switches	1	LS		\$625	\$338	\$963			
3028	Disconnect Switches	DS00-BB1000-032CA1	Provide Missing Arc-Flash Label	1	LS		\$50	\$25	\$75		REPAIR	1
3029			Provide Missing Arc-Flash Label	1.00	LS	\$50.00	\$50.00	\$25.18	\$75.18		REPAIR	1
3030	Disconnect Switches	DS00-BB1000-032CA2	Provide Missing or Correct Front Cover Identification Label	1	LS		\$75	\$38	\$113		REPAIR	1
3031			Provide Missing or Correct Front Cover Identification Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
3032	Disconnect Switches	DS00-BB1000-032CA3	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3033			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3034	Disconnect Switches	DS00-BB1000-033	Disconnect Switches	1	LS		\$500	\$275	\$775			
3035	Disconnect Switches	DS00-BB1000-033CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3036			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3037	Disconnect Switches	DS00-BPH000-006	Disconnect Switches	1	LS		\$1,000	\$550	\$1,550			
3038	Disconnect Switches	DS00-BPH000-006CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3039			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3040	Disconnect Switches	DS00-BPH000-006CA2	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3041			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3042	Disconnect Switches	DS00-BPH000-007	Disconnect Switches	1	LS		\$600	\$325	\$925			
3043	Disconnect Switches	DS00-BPH000-007CA1	Make Nameplate Data Visible	1	LS		\$100	\$50	\$150		REPAIR	2
3044			Make Nameplate Data Visible	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	2
3045	Disconnect Switches	DS00-BPH000-007CA2	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3046			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3047	Disconnect Switches	DS00-BPH000-008	Disconnect Switches	1	LS		\$600	\$325	\$925			
3048	Disconnect Switches	DS00-BPH000-008CA1	Make Nameplate Data Visible	1	LS		\$100	\$50	\$150		REPAIR	2
3049			Make Nameplate Data Visible	1.00	LS	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	2
3050	Disconnect Switches	DS00-BPH000-008CA2	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3051			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3052	Disconnect Switches	DS00-BPH000-013	Disconnect Switches	1	LS		\$500	\$275	\$775			
3053	Disconnect Switches	DS00-BPH000-013CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3054			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3055	Disconnect Switches	DS00-BPH000-026	Disconnect Switches	1	LS		\$575	\$313	\$888			
3056	Disconnect Switches	DS00-BPH000-026CA1	Provide Missing or Correct Front Cover Identification Label	1	LS		\$75	\$38	\$113		REPAIR	1
3057			Provide Missing or Correct Front Cover Identification Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
3058	Disconnect Switches	DS00-BPH000-026CA2	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3059			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3060	Disconnect Switches	DS00-BPH000-029	Disconnect Switches	1	LS		\$75	\$38	\$113			
3061	Disconnect Switches	DS00-BPH000-029CA1	Provide Missing or Correct Front Cover Identification Label	1	LS		\$75	\$38	\$113		REPAIR	1
3062			Provide Missing or Correct Front Cover Identification Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
3063	Disconnect Switches	DS00-BPH000-030	Disconnect Switches	1	LS		\$75	\$38	\$113			
3064	Disconnect Switches	DS00-BPH000-030CA1	Provide Missing or Correct Front Cover Identification Label	1	LS		\$75	\$38	\$113		REPAIR	1
3065			Provide Missing or Correct Front Cover Identification Label	1.00	LS	\$75.00	\$75.00	\$37.78	\$112.78		REPAIR	1
3066	Services	DS01099C	VFDs	1	LS		\$3,500	\$1,902	\$5,402			
3067	VFDs	VFD0-BB1000-003	VFDs	1	LS		\$500	\$275	\$775			
3068	VFDs	VFD0-BB1000-003CA1	Relocate Equipment and Extend Feeder.	1	LS		\$500	\$275	\$775		UPGRADE	2
3069			Relocate Equipment and Extend Feeder.	1.00	LS	\$500.00	\$500.00	\$274.79	\$774.79		UPGRADE	2
3070	VFDs	VFD0-BPH000-004	VFDs	1	LS		\$3,000	\$1,627	\$4,627			
3071	VFDs	VFD0-BPH000-004CA1	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	LS		\$3,000	\$1,627	\$4,627		REPLACE	1





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
3072			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	LS	\$3,000.00	\$3,000.00	\$1,626.72	\$4,626.72		REPLACE	1
3073	Services	D502002A	Lighting Fixtures	1	LS		\$3,500	\$1,886	\$5,386			
3074	Lighting Fixtures	LTGO-B00ELE-003	Lighting Fixtures	1	LS		\$510	\$274	\$784			
3075	Lighting Fixtures	LTGO-B00ELE-003CA1	LED Replacement	1	Lt. Fixt.		\$450	\$244	\$694		REPLACE	1
3076			LED Replacement	1.00	Lt. Fixt.	\$450.00	\$450.00	\$244.01	\$694.01		REPLACE	1
3077	Lighting Fixtures	LTGO-B00ELE-003CA2	Light Fixture Cleaning	1	Lt. Fixt.		\$60	\$30	\$90		REPAIR	2
3078			Light Fixture Cleaning	1.00	Lt. Fixt.	\$60.00	\$60.00	\$30.22	\$90.22		REPAIR	2
3079	Lighting Fixtures	LTGO-B00ELN-002	Lighting Fixtures	1	LS		\$510	\$274	\$784			
3080	Lighting Fixtures	LTGO-B00ELN-002CA1	LED Replacement	1	Lt. Fixt.		\$450	\$244	\$694		REPLACE	1
3081			LED Replacement	1.00	Lt. Fixt.	\$450.00	\$450.00	\$244.01	\$694.01		REPLACE	1
3082	Lighting Fixtures	LTGO-B00ELN-002CA2	Light Fixture Cleaning	1	Lt. Fixt.		\$60	\$30	\$90		REPAIR	2
3083			Light Fixture Cleaning	1.00	Lt. Fixt.	\$60.00	\$60.00	\$30.22	\$90.22		REPAIR	2
3084	Lighting Fixtures	LTGO-B00ELS-002	Lighting Fixtures	1	LS		\$510	\$274	\$784			
3085	Lighting Fixtures	LTGO-B00ELS-002CA1	LED Replacement	1	Lt. Fixt.		\$450	\$244	\$694		REPLACE	1
3086			LED Replacement	1.00	Lt. Fixt.	\$450.00	\$450.00	\$244.01	\$694.01		REPLACE	1
3087	Lighting Fixtures	LTGO-B00ELS-002CA2	Light Fixture Cleaning	1	Lt. Fixt.		\$60	\$30	\$90		REPAIR	2
3088			Light Fixture Cleaning	1.00	Lt. Fixt.	\$60.00	\$60.00	\$30.22	\$90.22		REPAIR	2
3089	Lighting Fixtures	LTGO-B00ELW-003	Lighting Fixtures	1	LS		\$60	\$30	\$90			
3090	Lighting Fixtures	LTGO-B00ELW-003CA1	Light Fixture Cleaning	1	Lt. Fixt.		\$60	\$30	\$90		REPAIR	3
3091			Light Fixture Cleaning	1.00	Lt. Fixt.	\$60.00	\$60.00	\$30.22	\$90.22		REPAIR	3
3092	Lighting Fixtures	LTGO-B00ELW-004	Lighting Fixtures	1	LS		\$510	\$274	\$784			
3093	Lighting Fixtures	LTGO-B00ELW-004CA1	LED Replacement	1	Lt. Fixt.		\$450	\$244	\$694		REPLACE	1
3094			LED Replacement	1.00	Lt. Fixt.	\$450.00	\$450.00	\$244.01	\$694.01		REPLACE	1
3095	Lighting Fixtures	LTGO-B00ELW-004CA2	Light Fixture Cleaning	1	Lt. Fixt.		\$60	\$30	\$90		REPAIR	2
3096			Light Fixture Cleaning	1.00	Lt. Fixt.	\$60.00	\$60.00	\$30.22	\$90.22		REPAIR	2
3097	Lighting Fixtures	LTGO-B01000-002	Lighting Fixtures	1	LS		\$225	\$122	\$347			
3098	Lighting Fixtures	LTGO-B01000-002CA1	Local Lighting Controls Not Provided	1	S.F.		\$150	\$81	\$231		REPLACE	4
3099			Local Lighting Controls Not Provided	1.00	S.F.	\$150.00	\$150.00	\$81.34	\$231.34		REPLACE	4
3100	Lighting Fixtures	LTGO-B01000-002CA2	Remote Lighting Controls Not Labeled	1	S.F.		\$75	\$41	\$116		REPLACE	4
3101			Remote Lighting Controls Not Labeled	1.00	S.F.	\$75.00	\$75.00	\$40.67	\$115.67		REPLACE	4
3102	Lighting Fixtures	LTGO-B01000-003	Lighting Fixtures	1	LS		\$75	\$41	\$116			
3103	Lighting Fixtures	LTGO-B01000-003CA1	Remote Lighting Controls Not Labeled	1	S.F.		\$75	\$41	\$116		REPLACE	4
3104			Remote Lighting Controls Not Labeled	1.00	S.F.	\$75.00	\$75.00	\$40.67	\$115.67		REPLACE	4
3105	Lighting Fixtures	LTGO-B01000-H04	Lighting Fixtures	1	LS		\$50	\$27	\$77			
3106	Lighting Fixtures	LTGO-B01000-H04CA1	Confirm fixture is controlled by building timeclock.	1	Unit		\$50	\$27	\$77		REPLACE	4
3107			Confirm fixture is controlled by building timeclock.	1.00	Unit	\$50.00	\$50.00	\$27.11	\$77.11		REPLACE	4
3108	Lighting Fixtures	LTGO-B02000-002	Lighting Fixtures	1	LS		\$225	\$122	\$347			
3109	Lighting Fixtures	LTGO-B02000-002CA1	Local Lighting Controls Not Provided	1	S.F.		\$150	\$81	\$231		REPLACE	4
3110			Local Lighting Controls Not Provided	1.00	S.F.	\$150.00	\$150.00	\$81.34	\$231.34		REPLACE	4
3111	Lighting Fixtures	LTGO-B02000-002CA2	Remote Lighting Controls Not Labeled	1	S.F.		\$75	\$41	\$116		REPLACE	4
3112			Remote Lighting Controls Not Labeled	1.00	S.F.	\$75.00	\$75.00	\$40.67	\$115.67		REPLACE	4
3113	Lighting Fixtures	LTGO-B02000-003	Lighting Fixtures	1	LS		\$75	\$41	\$116			
3114	Lighting Fixtures	LTGO-B02000-003CA1	Remote Lighting Controls Not Labeled	1	S.F.		\$75	\$41	\$116		REPLACE	4
3115			Remote Lighting Controls Not Labeled	1.00	S.F.	\$75.00	\$75.00	\$40.67	\$115.67		REPLACE	4
3116	Lighting Fixtures	LTGO-B03000-002	Lighting Fixtures	1	LS		\$225	\$122	\$347			
3117	Lighting Fixtures	LTGO-B03000-002CA1	Local Lighting Controls Not Provided	1	S.F.		\$150	\$81	\$231		REPLACE	4
3118			Local Lighting Controls Not Provided	1.00	S.F.	\$150.00	\$150.00	\$81.34	\$231.34		REPLACE	4
3119	Lighting Fixtures	LTGO-B03000-002CA2	Remote Lighting Controls Not Labeled	1	S.F.		\$75	\$41	\$116		REPLACE	4
3120			Remote Lighting Controls Not Labeled	1.00	S.F.	\$75.00	\$75.00	\$40.67	\$115.67		REPLACE	4
3121	Lighting Fixtures	LTGO-B03000-003	Lighting Fixtures	1	LS		\$75	\$41	\$116			





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
3122	Lighting Fixtures	LTGO-B03000-003CA1	Remote Lighting Controls Not Labeled	1	S.F.		\$75	\$41	\$116		REPLACE	4
3123			Remote Lighting Controls Not Labeled	1.00	S.F.	\$75.00	\$75.00	\$40.67	\$115.67		REPLACE	4
3124	Lighting Fixtures	LTGO-BB1000-001	Lighting Fixtures	1	LS		\$450	\$244	\$694			
3125	Lighting Fixtures	LTGO-BB1000-001CA1	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	S.F.		\$450	\$244	\$694		REPLACE	1
3126			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	S.F.	\$450.00	\$450.00	\$244.01	\$694.01		REPLACE	1
3127	Services	D503001	Fire Alarm Systems	1	LS		\$225	\$114	\$339			
3128	Fire Alarm Systems	FAS-BPH000-001	Fire Alarm Systems	1	LS		\$225	\$114	\$339			
3129	Fire Alarm Systems	FAS-BPH000-001CA1	Remove extra duct smoke detectors.	1	S.F.		\$75	\$33	\$108		REMOVE	2
3130			Remove extra duct smoke detectors.	1.00	S.F.	\$75.00	\$75.00	\$33.08	\$108.08		REMOVE	2
3131	Fire Alarm Systems	FAS-BPH000-001CA2	EoLC - Replace missing duct smoke detector endcaps and seal duct penetrations.	1	S.F.		\$100	\$54	\$154		REPLACE	1
3132			Replace missing duct smoke detector endcaps and seal duct penetrations.	1.00	S.F.	\$100.00	\$100.00	\$54.22	\$154.22		REPLACE	1
3133	Fire Alarm Systems	FAS-BPH000-001CA3	Replace missing junction box cover plate.	1	S.F.		\$50	\$27	\$77		REPLACE	1
3134			Replace missing junction box cover plate.	1.00	S.F.	\$50.00	\$50.00	\$27.11	\$77.11		REPLACE	1
3135	Services	D503002A	Structured Cabling / Access	1	LS		\$450,000	\$244,008	\$694,008			
3136	Structured Cabling / Access	NKAL-B01BNE-001	Structured Cabling / Access	1	LS		\$112,500	\$61,002	\$173,502			
3137	Structured Cabling / Access	NKAL-B01BNE-001CA1	EoLC - Replace Asset	1	S.F.		\$112,500	\$61,002	\$173,502		REPLACE	3
3138			Replace Asset	25,000.00	S.F.	\$4.50	\$112,500.00	\$61,002.00	\$173,502.00	\$6.94	REPLACE	3
3139	Structured Cabling / Access	NKAL-B02BNE-001	Structured Cabling / Access	1	LS		\$56,250	\$30,501	\$86,751			
3140	Structured Cabling / Access	NKAL-B02BNE-001CA1	EoLC - Replace Asset	1	S.F.		\$56,250	\$30,501	\$86,751		REPLACE	3
3141			Replace Asset	12,500.00	S.F.	\$4.50	\$56,250.00	\$30,501.00	\$86,751.00	\$6.94	REPLACE	3
3142	Structured Cabling / Access	NKAL-B02BSE-001	Structured Cabling / Access	1	LS		\$56,250	\$30,501	\$86,751			
3143	Structured Cabling / Access	NKAL-B02BSE-001CA1	EoLC - Replace Asset	1	S.F.		\$56,250	\$30,501	\$86,751		REPLACE	3
3144			Replace Asset	12,500.00	S.F.	\$4.50	\$56,250.00	\$30,501.00	\$86,751.00	\$6.94	REPLACE	3
3145	Structured Cabling / Access	NKAL-B03BNE-001	Structured Cabling / Access	1	LS		\$56,250	\$30,501	\$86,751			
3146	Structured Cabling / Access	NKAL-B03BNE-001CA1	EoLC - Replace Asset	1	S.F.		\$56,250	\$30,501	\$86,751		REPLACE	3
3147			Replace Asset	12,500.00	S.F.	\$4.50	\$56,250.00	\$30,501.00	\$86,751.00	\$6.94	REPLACE	3
3148	Structured Cabling / Access	NKAL-B03BSE-001	Structured Cabling / Access	1	LS		\$56,250	\$30,501	\$86,751			
3149	Structured Cabling / Access	NKAL-B03BSE-001CA1	EoLC - Replace Asset	1	S.F.		\$56,250	\$30,501	\$86,751		REPLACE	3
3150			Replace Asset	12,500.00	S.F.	\$4.50	\$56,250.00	\$30,501.00	\$86,751.00	\$6.94	REPLACE	3
3151	Structured Cabling / Access	NKAL-BB1BNW-001	Structured Cabling / Access	1	LS		\$56,250	\$30,501	\$86,751			
3152	Structured Cabling / Access	NKAL-BB1BNW-001CA1	EoLC - Replace Asset	1	S.F.		\$56,250	\$30,501	\$86,751		REPLACE	3
3153			Replace Asset	12,500.00	S.F.	\$4.50	\$56,250.00	\$30,501.00	\$86,751.00	\$6.94	REPLACE	3
3154	Structured Cabling / Access	NKAL-BB1BSE-001	Structured Cabling / Access	1	LS		\$56,250	\$30,501	\$86,751			
3155	Structured Cabling / Access	NKAL-BB1BSE-001CA1	EoLC - Replace Asset	1	S.F.		\$56,250	\$30,501	\$86,751		REPLACE	3
3156			Replace Asset	12,500.00	S.F.	\$4.50	\$56,250.00	\$30,501.00	\$86,751.00	\$6.94	REPLACE	3
3157	Services	D503002B	Structured Cabling / Core	1	LS		\$455,000	\$246,719	\$701,719			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$ [†]	2021 Cost	2021 Unit Cost	Req. Type	Priority
3158	Structured Cabling / Core	NKCR-B01BNE-001	Structured Cabling / Core	1	LS		\$15,000	\$8,134	\$23,134			
3159	Structured Cabling / Core	NKCR-B01BNE-001CA1	EoLC - Replace Asset	1	LS		\$15,000	\$8,134	\$23,134		REPLACE	2
3160			Replace Asset	1.00	LS	\$15,000.00	\$15,000.00	\$8,133.60	\$23,133.60		REPLACE	2
3161	Structured Cabling / Core	NKCR-B02BNE-001	Structured Cabling / Core	1	LS		\$15,000	\$8,134	\$23,134			
3162	Structured Cabling / Core	NKCR-B02BNE-001CA1	EoLC - Replace Asset	1	LS		\$15,000	\$8,134	\$23,134		REPLACE	2
3163			Replace Asset	1.00	LS	\$15,000.00	\$15,000.00	\$8,133.60	\$23,133.60		REPLACE	2
3164	Structured Cabling / Core	NKCR-B02BSE-001	Structured Cabling / Core	1	LS		\$15,000	\$8,134	\$23,134			
3165	Structured Cabling / Core	NKCR-B02BSE-001CA1	EoLC - Replace Asset	1	LS		\$15,000	\$8,134	\$23,134		REPLACE	2
3166			Replace Asset	1.00	LS	\$15,000.00	\$15,000.00	\$8,133.60	\$23,133.60		REPLACE	2
3167	Structured Cabling / Core	NKCR-B03BNE-001	Structured Cabling / Core	1	LS		\$15,000	\$8,134	\$23,134			
3168	Structured Cabling / Core	NKCR-B03BNE-001CA1	EoLC - Replace Asset	1	LS		\$15,000	\$8,134	\$23,134		REPLACE	2
3169			Replace Asset	1.00	LS	\$15,000.00	\$15,000.00	\$8,133.60	\$23,133.60		REPLACE	2
3170	Structured Cabling / Core	NKCR-B03BSE-001	Structured Cabling / Core	1	LS		\$15,000	\$8,134	\$23,134			
3171	Structured Cabling / Core	NKCR-B03BSE-001CA1	EoLC - Replace Asset	1	LS		\$15,000	\$8,134	\$23,134		REPLACE	2
3172			Replace Asset	1.00	LS	\$15,000.00	\$15,000.00	\$8,133.60	\$23,133.60		REPLACE	2
3173	Structured Cabling / Core	NKCR-B03BSE-002	Structured Cabling / Core	1	LS		\$15,000	\$8,134	\$23,134			
3174	Structured Cabling / Core	NKCR-B03BSE-002CA1	EoLC - Replace Asset	1	LS		\$15,000	\$8,134	\$23,134		REPLACE	2
3175			Replace Asset	1.00	LS	\$15,000.00	\$15,000.00	\$8,133.60	\$23,133.60		REPLACE	2
3176	Structured Cabling / Core	NKCR-BB1BSE-001	Structured Cabling / Core	1	LS		\$15,000	\$8,134	\$23,134			
3177	Structured Cabling / Core	NKCR-BB1BSE-001CA1	EoLC - Replace Asset	1	LS		\$15,000	\$8,134	\$23,134		REPLACE	2
3178			Replace Asset	1.00	LS	\$15,000.00	\$15,000.00	\$8,133.60	\$23,133.60		REPLACE	2
3179	Structured Cabling / Core	NKDS-BB1BSE-001	Structured Cabling / Core	1	LS		\$350,000	\$189,784	\$539,784			
3180	Structured Cabling / Core	NKDS-BB1BSE-001CA1	EoLC - Replace Asset	1	S.F.		\$350,000	\$189,784	\$539,784		REPLACE	3
3181			Replace Asset	100,000.00	S.F.	\$3.50	\$350,000.00	\$189,784.00	\$539,784.00	\$5.40	REPLACE	3
3182	Services	D503002C	Structured Cabling / Analog	1	LS		\$22,500	\$12,200	\$34,700			
3183	Structured Cabling / Analog	TCC-B01BNE-001	Structured Cabling / Analog	1	LS		\$2,500	\$1,356	\$3,856			
3184	Structured Cabling / Analog	TCC-B01BNE-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	2
3185			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	2
3186	Structured Cabling / Analog	TCC-B01BNE-002	Structured Cabling / Analog	1	LS		\$2,500	\$1,356	\$3,856			
3187	Structured Cabling / Analog	TCC-B01BNE-002CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	2
3188			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	2
3189	Structured Cabling / Analog	TCC-B01BSE-001	Structured Cabling / Analog	1	LS		\$2,500	\$1,356	\$3,856			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
3190	Structured Cabling / Analog	TCC-B01BSE-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	2
3191			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	2
3192	Structured Cabling / Analog	TCC-B01BSE-002	Structured Cabling / Analog	1	LS		\$2,500	\$1,356	\$3,856			
3193	Structured Cabling / Analog	TCC-B01BSE-002CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	2
3194			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	2
3195	Structured Cabling / Analog	TCC-B02BNE-001	Structured Cabling / Analog	1	LS		\$2,500	\$1,356	\$3,856			
3196	Structured Cabling / Analog	TCC-B02BNE-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	2
3197			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	2
3198	Structured Cabling / Analog	TCC-B02BSE-001	Structured Cabling / Analog	1	LS		\$2,500	\$1,356	\$3,856			
3199	Structured Cabling / Analog	TCC-B02BSE-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	2
3200			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	2
3201	Structured Cabling / Analog	TCC-B03BNE-001	Structured Cabling / Analog	1	LS		\$2,500	\$1,356	\$3,856			
3202	Structured Cabling / Analog	TCC-B03BNE-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	2
3203			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	2
3204	Structured Cabling / Analog	TCC-B03BSE-001	Structured Cabling / Analog	1	LS		\$2,500	\$1,356	\$3,856			
3205	Structured Cabling / Analog	TCC-B03BSE-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	2
3206			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	2
3207	Structured Cabling / Analog	TCC-BB1BNW-001	Structured Cabling / Analog	1	LS		\$2,500	\$1,356	\$3,856			
3208	Structured Cabling / Analog	TCC-BB1BNW-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	2
3209			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	2
3210	Services	D503002E	Network Switches - IT	1	LS		\$224,000	\$121,462	\$345,462			
3211	Network Switches - IT	NKSW-B01BNE-001	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3212	Network Switches - IT	NKSW-B01BNE-001CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3213			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3214	Network Switches - IT	NKSW-B01BNE-002	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3215	Network Switches - IT	NKSW-B01BNE-002CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3216			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3217	Network Switches - IT	NKSW-B02BNE-001	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3218	Network Switches - IT	NKSW-B02BNE-001CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3219			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3220	Network Switches - IT	NKSW-B02BNE-002	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3221	Network Switches - IT	NKSW-B02BNE-002CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3222			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3223	Network Switches - IT	NKSW-B02BSE-001	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3224	Network Switches - IT	NKSW-B02BSE-001CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3225			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3226	Network Switches - IT	NKSW-B02BSE-002	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3227	Network Switches - IT	NKSW-B02BSE-002CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3228			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
3229	Network Switches - IT	NKSW-B02BSE-003	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3230	Network Switches - IT	NKSW-B02BSE-003CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3231			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3232	Network Switches - IT	NKSW-B02BSE-004	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3233	Network Switches - IT	NKSW-B02BSE-004CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3234			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3235	Network Switches - IT	NKSW-B02BSE-005	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3236	Network Switches - IT	NKSW-B02BSE-005CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3237			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3238	Network Switches - IT	NKSW-B03BNE-001	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3239	Network Switches - IT	NKSW-B03BNE-001CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3240			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3241	Network Switches - IT	NKSW-B03BNE-002	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3242	Network Switches - IT	NKSW-B03BNE-002CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3243			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3244	Network Switches - IT	NKSW-B03BNE-003	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3245	Network Switches - IT	NKSW-B03BNE-003CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3246			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3247	Network Switches - IT	NKSW-B03BNE-004	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3248	Network Switches - IT	NKSW-B03BNE-004CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3249			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3250	Network Switches - IT	NKSW-B03BNE-005	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3251	Network Switches - IT	NKSW-B03BNE-005CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3252			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3253	Network Switches - IT	NKSW-B03BNE-006	Network Switches - IT	1	LS		\$17,000	\$9,218	\$26,218			
3254	Network Switches - IT	NKSW-B03BNE-006CA1	EoLC - Replace Asset	1	LS		\$17,000	\$9,218	\$26,218		REPLACE	2
3255			Replace Asset	1.00	LS	\$17,000.00	\$17,000.00	\$9,218.08	\$26,218.08		REPLACE	2
3256	Network Switches - IT	NKSW-B03BSE-001	Network Switches - IT	1	LS		\$3,000	\$1,627	\$4,627			
3257	Network Switches - IT	NKSW-B03BSE-001CA1	EoLC - Replace Asset	1	LS		\$3,000	\$1,627	\$4,627		REPLACE	3
3258			Replace Asset	1.00	LS	\$3,000.00	\$3,000.00	\$1,626.72	\$4,626.72		REPLACE	3
3259	Network Switches - IT	NKSW-B03BSE-002	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3260	Network Switches - IT	NKSW-B03BSE-002CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3261			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3262	Network Switches - IT	NKSW-B03BSE-003	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3263	Network Switches - IT	NKSW-B03BSE-003CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3264			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3265	Network Switches - IT	NKSW-BB1BSE-001	Network Switches - IT	1	LS		\$12,000	\$6,507	\$18,507			
3266	Network Switches - IT	NKSW-BB1BSE-001CA1	EoLC - Replace Asset	1	LS		\$12,000	\$6,507	\$18,507		REPLACE	3
3267			Replace Asset	1.00	LS	\$12,000.00	\$12,000.00	\$6,506.88	\$18,506.88		REPLACE	3
3268	Services	D503002G	Wireless Access Points	1	LS		\$36,000	\$19,521	\$55,521			
3269	Wireless Access Points	NKAP-B01000-001	Wireless Access Points	1	LS		\$9,000	\$4,880	\$13,880			
3270	Wireless Access Points	NKAP-B01000-001CA1	EoLC - Replace Asset	1	LS		\$9,000	\$4,880	\$13,880		REPLACE	3
3271			Replace Asset	1.00	LS	\$9,000.00	\$9,000.00	\$4,880.16	\$13,880.16		REPLACE	3
3272	Wireless Access Points	NKAP-B02000-001	Wireless Access Points	1	LS		\$9,000	\$4,880	\$13,880			
3273	Wireless Access Points	NKAP-B02000-001CA1	EoLC - Replace Asset	1	LS		\$9,000	\$4,880	\$13,880		REPLACE	3
3274			Replace Asset	1.00	LS	\$9,000.00	\$9,000.00	\$4,880.16	\$13,880.16		REPLACE	3
3275	Wireless Access Points	NKAP-B03000-001	Wireless Access Points	1	LS		\$9,000	\$4,880	\$13,880			
3276	Wireless Access Points	NKAP-B03000-001CA1	EoLC - Replace Asset	1	LS		\$9,000	\$4,880	\$13,880		REPLACE	3
3277			Replace Asset	1.00	LS	\$9,000.00	\$9,000.00	\$4,880.16	\$13,880.16		REPLACE	3
3278	Wireless Access Points	NKAP-BB1000-001	Wireless Access Points	1	LS		\$9,000	\$4,880	\$13,880			





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
3279	Wireless Access Points	NKAP-BB1000-001CA1	EoLC - Replace Asset	1	LS		\$9,000	\$4,880	\$13,880		REPLACE	3
3280			Replace Asset	1.00	LS	\$9,000.00	\$9,000.00	\$4,880.16	\$13,880.16		REPLACE	3
3281	Services	D503002I	Distributed Antenna Systems (DAS)	1	LS		\$15,000	\$8,134	\$23,134			
3282	Distributed Antenna Systems (DAS)	NKEQ-B03BSE-001	Distributed Antenna Systems (DAS)	1	LS		\$15,000	\$8,134	\$23,134			
3283	Distributed Antenna Systems (DAS)	NKEQ-B03BSE-001CA1	EoLC - Replace Asset	1	LS		\$15,000	\$8,134	\$23,134		REPLACE	3
3284			Replace Asset	1.00	LS	\$15,000.00	\$15,000.00	\$8,133.60	\$23,133.60		REPLACE	3
3285	Services	D503007A	Structured Cabling / Coaxial Distribution	1	LS		\$14,000	\$7,591	\$21,591			
3286	Structured Cabling / Coaxial Distribution	TCCA-B01BNE-001	Structured Cabling / Coaxial Distribution	1	LS		\$2,000	\$1,084	\$3,084			
3287	Structured Cabling / Coaxial Distribution	TCCA-B01BNE-001CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	4
3288			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	4
3289	Structured Cabling / Coaxial Distribution	TCCA-B01BSE-001	Structured Cabling / Coaxial Distribution	1	LS		\$2,000	\$1,084	\$3,084			
3290	Structured Cabling / Coaxial Distribution	TCCA-B01BSE-001CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	4
3291			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	4
3292	Structured Cabling / Coaxial Distribution	TCCA-B02BNE-001	Structured Cabling / Coaxial Distribution	1	LS		\$2,000	\$1,084	\$3,084			
3293	Structured Cabling / Coaxial Distribution	TCCA-B02BNE-001CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	4
3294			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	4
3295	Structured Cabling / Coaxial Distribution	TCCA-B02BSE-001	Structured Cabling / Coaxial Distribution	1	LS		\$2,000	\$1,084	\$3,084			
3296	Structured Cabling / Coaxial Distribution	TCCA-B02BSE-001CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	4
3297			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	4
3298	Structured Cabling / Coaxial Distribution	TCCA-B03BNE-001	Structured Cabling / Coaxial Distribution	1	LS		\$2,000	\$1,084	\$3,084			
3299	Structured Cabling / Coaxial Distribution	TCCA-B03BNE-001CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	4
3300			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	4
3301	Structured Cabling / Coaxial Distribution	TCCA-B03BSE-001	Structured Cabling / Coaxial Distribution	1	LS		\$2,000	\$1,084	\$3,084			
3302	Structured Cabling / Coaxial Distribution	TCCA-B03BSE-001CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	4
3303			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	4
3304	Structured Cabling / Coaxial Distribution	TCCA-BB1BSE-001	Structured Cabling / Coaxial Distribution	1	LS		\$2,000	\$1,084	\$3,084			
3305	Structured Cabling / Coaxial Distribution	TCCA-BB1BSE-001CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	4
3306			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	4
3307	Services	D5031002K	IT - Voice Equipment	1	LS		\$21,000	\$11,387	\$32,387			
3308	IT - Voice Equipment	TCEQ-B01BNE-001	IT - Voice Equipment	1	LS		\$8,000	\$4,338	\$12,338			
3309	IT - Voice Equipment	TCEQ-B01BNE-001CA1	EoLC - Replace Asset	1	LS		\$8,000	\$4,338	\$12,338		REPLACE	4
3310			Replace Asset	1.00	LS	\$8,000.00	\$8,000.00	\$4,337.92	\$12,337.92		REPLACE	4
3311	IT - Voice Equipment	TCEQ-B01BNE-002	IT - Voice Equipment	1	LS		\$8,000	\$4,338	\$12,338			
3312	IT - Voice Equipment	TCEQ-B01BNE-002CA1	EoLC - Replace Asset	1	LS		\$8,000	\$4,338	\$12,338		REPLACE	4
3313			Replace Asset	1.00	LS	\$8,000.00	\$8,000.00	\$4,337.92	\$12,337.92		REPLACE	4
3314	IT - Voice Equipment	TCEQ-BB1BNW-001	IT - Voice Equipment	1	LS		\$5,000	\$2,711	\$7,711			
3315	IT - Voice Equipment	TCEQ-BB1BNW-001CA1	EoLC - Replace Asset	1	LS		\$5,000	\$2,711	\$7,711		REPLACE	3





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
3316			Replace Asset	1.00	LS	\$5,000.00	\$5,000.00	\$2,711.20	\$7,711.20		REPLACE	3
3317	Services	D509002F	Emergency Battery Pack Lights	1	LS		\$500	\$271	\$771			
3318	Emergency Battery Pack Lights	EBAT-BPH000-001	Emergency Battery Pack Lights	1	LS		\$500	\$271	\$771			
3319	Emergency Battery Pack Lights	EBAT-BPH000-001CA1	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	S.F.		\$500	\$271	\$771		REPLACE	1
3320			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	S.F.	\$500.00	\$500.00	\$271.12	\$771.12		REPLACE	1
3321	Services	D509002G	Exit Signs	1	LS		\$200	\$108	\$308			
3322	Exit Signs	EXIT-BPH000-001	Exit Signs	1	LS		\$200	\$108	\$308			
3323	Exit Signs	EXIT-BPH000-001CA1	EoLC - Replace Equipment in the Near Future (Past Expected Service Life)	1	S.F.		\$200	\$108	\$308		REPLACE	1
3324			Replace Equipment in the Near Future (Past Expected Service Life)	1.00	S.F.	\$200.00	\$200.00	\$108.45	\$308.45		REPLACE	1
3325	Estimate Tree	E	Equipment & Furnishings	1	LS		\$198,900	\$106,556	\$305,456			
3326	Equipment & Furnishings	E10	Equipment	1	LS		\$165,300	\$89,632	\$254,932			
3327	Equipment	E	Equipment & Furnishings	1	LS		\$165,300	\$89,632	\$254,932			
3328	Equipment & Furnishings	E102009A	Courtroom Recording Systems	1	LS		\$45,000	\$24,401	\$69,401			
3329	Courtroom Recording Systems	AVCR-B01BNE-001	Courtroom Recording Systems	1	LS		\$5,000	\$2,711	\$7,711			
3330	Courtroom Recording Systems	AVCR-B01BNE-001CA1	EoLC - Replace Asset	1	LS		\$5,000	\$2,711	\$7,711		REPLACE	3
3331			Replace Asset	1.00	LS	\$5,000.00	\$5,000.00	\$2,711.20	\$7,711.20		REPLACE	3
3332	Courtroom Recording Systems	AVCR-B01BSE-001	Courtroom Recording Systems	1	LS		\$5,000	\$2,711	\$7,711			
3333	Courtroom Recording Systems	AVCR-B01BSE-001CA1	EoLC - Replace Asset	1	LS		\$5,000	\$2,711	\$7,711		REPLACE	3
3334			Replace Asset	1.00	LS	\$5,000.00	\$5,000.00	\$2,711.20	\$7,711.20		REPLACE	3
3335	Courtroom Recording Systems	AVCR-B02BNE-001	Courtroom Recording Systems	1	LS		\$5,000	\$2,711	\$7,711			
3336	Courtroom Recording Systems	AVCR-B02BNE-001CA1	EoLC - Replace Asset	1	LS		\$5,000	\$2,711	\$7,711		REPLACE	3
3337			Replace Asset	1.00	LS	\$5,000.00	\$5,000.00	\$2,711.20	\$7,711.20		REPLACE	3
3338	Courtroom Recording Systems	AVCR-B02BSE-001	Courtroom Recording Systems	1	LS		\$5,000	\$2,711	\$7,711			
3339	Courtroom Recording Systems	AVCR-B02BSE-001CA1	EoLC - Replace Asset	1	LS		\$5,000	\$2,711	\$7,711		REPLACE	3
3340			Replace Asset	1.00	LS	\$5,000.00	\$5,000.00	\$2,711.20	\$7,711.20		REPLACE	3
3341	Courtroom Recording Systems	AVCR-B02BSW-001	Courtroom Recording Systems	1	LS		\$5,000	\$2,711	\$7,711			
3342	Courtroom Recording Systems	AVCR-B02BSW-001CA1	EoLC - Replace Asset	1	LS		\$5,000	\$2,711	\$7,711		REPLACE	3
3343			Replace Asset	1.00	LS	\$5,000.00	\$5,000.00	\$2,711.20	\$7,711.20		REPLACE	3
3344	Courtroom Recording Systems	AVCR-B03BNE-001	Courtroom Recording Systems	1	LS		\$5,000	\$2,711	\$7,711			
3345	Courtroom Recording Systems	AVCR-B03BNE-001CA1	EoLC - Replace Asset	1	LS		\$5,000	\$2,711	\$7,711		REPLACE	3
3346			Replace Asset	1.00	LS	\$5,000.00	\$5,000.00	\$2,711.20	\$7,711.20		REPLACE	3
3347	Courtroom Recording Systems	AVCR-B03BNE-002	Courtroom Recording Systems	1	LS		\$5,000	\$2,711	\$7,711			
3348	Courtroom Recording Systems	AVCR-B03BNE-002CA1	EoLC - Replace Asset	1	LS		\$5,000	\$2,711	\$7,711		REPLACE	3
3349			Replace Asset	1.00	LS	\$5,000.00	\$5,000.00	\$2,711.20	\$7,711.20		REPLACE	3





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
3350	Courtroom Recording Systems	AVCR-B03BNE-003	Courtroom Recording Systems	1	LS		\$5,000	\$2,711	\$7,711			
3351	Courtroom Recording Systems	AVCR-B03BNE-003CA1	EoLC - Replace Asset	1	LS		\$5,000	\$2,711	\$7,711		REPLACE	3
3352			Replace Asset	1.00	LS	\$5,000.00	\$5,000.00	\$2,711.20	\$7,711.20		REPLACE	3
3353	Courtroom Recording Systems	AVCR-B03BNE-004	Courtroom Recording Systems	1	LS		\$5,000	\$2,711	\$7,711			
3354	Courtroom Recording Systems	AVCR-B03BNE-004CA1	EoLC - Replace Asset	1	LS		\$5,000	\$2,711	\$7,711		REPLACE	3
3355			Replace Asset	1.00	LS	\$5,000.00	\$5,000.00	\$2,711.20	\$7,711.20		REPLACE	3
3356	Equipment & Furnishings	E102009B	Displays / Projection Screens	1	LS		\$2,000	\$1,084	\$3,084			
3357	Displays / Projection Screens	AVPS-BB1BSW-001	Displays / Projection Screens	1	LS		\$2,000	\$1,084	\$3,084			
3358	Displays / Projection Screens	AVPS-BB1BSW-001CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	2
3359			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	2
3360	Equipment & Furnishings	E102009C	Displays / Flat Panel Monitor	1	LS		\$55,000	\$29,823	\$84,823			
3361	Displays / Flat Panel Monitor	AVFP-B01BNE-001	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3362	Displays / Flat Panel Monitor	AVFP-B01BNE-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3363			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3364	Displays / Flat Panel Monitor	AVFP-B01BNE-002	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3365	Displays / Flat Panel Monitor	AVFP-B01BNE-002CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	2
3366			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	2
3367	Displays / Flat Panel Monitor	AVFP-B01BNW-001	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3368	Displays / Flat Panel Monitor	AVFP-B01BNW-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3369			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3370	Displays / Flat Panel Monitor	AVFP-B01BNW-002	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3371	Displays / Flat Panel Monitor	AVFP-B01BNW-002CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3372			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3373	Displays / Flat Panel Monitor	AVFP-B01BNW-003	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3374	Displays / Flat Panel Monitor	AVFP-B01BNW-003CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3375			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3376	Displays / Flat Panel Monitor	AVFP-B01BSE-001	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3377	Displays / Flat Panel Monitor	AVFP-B01BSE-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3378			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3379	Displays / Flat Panel Monitor	AVFP-B01BSE-002	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3380	Displays / Flat Panel Monitor	AVFP-B01BSE-002CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3381			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
3382	Displays / Flat Panel Monitor	AVFP-B01BSE-003	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3383	Displays / Flat Panel Monitor	AVFP-B01BSE-003CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3384			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3385	Displays / Flat Panel Monitor	AVFP-B01BSW-001	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3386	Displays / Flat Panel Monitor	AVFP-B01BSW-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3387			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3388	Displays / Flat Panel Monitor	AVFP-B02BNE-001	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3389	Displays / Flat Panel Monitor	AVFP-B02BNE-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3390			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3391	Displays / Flat Panel Monitor	AVFP-B02BNE-002	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3392	Displays / Flat Panel Monitor	AVFP-B02BNE-002CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3393			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3394	Displays / Flat Panel Monitor	AVFP-B02BNW-001	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3395	Displays / Flat Panel Monitor	AVFP-B02BNW-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3396			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3397	Displays / Flat Panel Monitor	AVFP-B02BNW-002	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3398	Displays / Flat Panel Monitor	AVFP-B02BNW-002CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3399			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3400	Displays / Flat Panel Monitor	AVFP-B02BNW-003	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3401	Displays / Flat Panel Monitor	AVFP-B02BNW-003CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3402			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3403	Displays / Flat Panel Monitor	AVFP-B02BSE-001	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3404	Displays / Flat Panel Monitor	AVFP-B02BSE-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3405			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3406	Displays / Flat Panel Monitor	AVFP-B02BSE-002	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3407	Displays / Flat Panel Monitor	AVFP-B02BSE-002CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3408			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3409	Displays / Flat Panel Monitor	AVFP-B02BSE-003	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3410	Displays / Flat Panel Monitor	AVFP-B02BSE-003CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3411			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3412	Displays / Flat Panel Monitor	AVFP-B02BSE-004	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3413	Displays / Flat Panel Monitor	AVFP-B02BSE-004CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
3414			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3415	Displays / Flat Panel Monitor	AVFP-B03BNW-001	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3416	Displays / Flat Panel Monitor	AVFP-B03BNW-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3417			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3418	Displays / Flat Panel Monitor	AVFP-B03BSW-001	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3419	Displays / Flat Panel Monitor	AVFP-B03BSW-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3420			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3421	Displays / Flat Panel Monitor	AVFP-BB1BNW-001	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3422	Displays / Flat Panel Monitor	AVFP-BB1BNW-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3423			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3424	Displays / Flat Panel Monitor	AVFP-BB1BSW-001	Displays / Flat Panel Monitor	1	LS		\$2,500	\$1,356	\$3,856			
3425	Displays / Flat Panel Monitor	AVFP-BB1BSW-001CA1	EoLC - Replace Asset	1	LS		\$2,500	\$1,356	\$3,856		REPLACE	3
3426			Replace Asset	1.00	LS	\$2,500.00	\$2,500.00	\$1,355.60	\$3,855.60		REPLACE	3
3427	Equipment & Furnishings	E102009D	Displays / Projectors	1	LS		\$4,000	\$2,169	\$6,169			
3428	Displays / Projectors	AVPJ-BB1BSW-001	Displays / Projectors	1	LS		\$4,000	\$2,169	\$6,169			
3429	Displays / Projectors	AVPJ-BB1BSW-001CA1	EoLC - Replace Asset	1	LS		\$4,000	\$2,169	\$6,169		REPLACE	3
3430			Replace Asset	1.00	LS	\$4,000.00	\$4,000.00	\$2,168.96	\$6,168.96		REPLACE	3
3431	Equipment & Furnishings	E102009E	Rack-based AV Control, Process, and Dist	1	LS		\$50,000	\$27,112	\$77,112			
3432	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-001	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3433	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-001CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3434			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3435	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-002	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3436	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-002CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3437			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3438	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-003	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3439	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-003CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3440			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3441	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-004	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3442	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-004CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3443			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3444	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-005	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3445	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-005CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3446			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
3447	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-006	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3448	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-006CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3449			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3450	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-007	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3451	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-007CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3452			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3453	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-008	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3454	Rack-based AV Control, Process, and Dist	AVEQ-B01BNE-008CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3455			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3456	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-001	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3457	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-001CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3458			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3459	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-002	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3460	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-002CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3461			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3462	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-003	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3463	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-003CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3464			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3465	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-004	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3466	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-004CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3467			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3468	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-005	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3469	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-005CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3470			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3471	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-006	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3472	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-006CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3473			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3474	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-007	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3475	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-007CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3476			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3477	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-008	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3478	Rack-based AV Control, Process, and Dist	AVEQ-B01BSE-008CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
3479			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3480	Rack-based AV Control, Process, and Dist	AVEQ-B02BNE-001	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3481	Rack-based AV Control, Process, and Dist	AVEQ-B02BNE-001CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3482			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3483	Rack-based AV Control, Process, and Dist	AVEQ-B02BNE-002	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3484	Rack-based AV Control, Process, and Dist	AVEQ-B02BNE-002CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3485			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3486	Rack-based AV Control, Process, and Dist	AVEQ-B02BNE-003	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3487	Rack-based AV Control, Process, and Dist	AVEQ-B02BNE-003CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3488			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3489	Rack-based AV Control, Process, and Dist	AVEQ-B02BNE-004	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3490	Rack-based AV Control, Process, and Dist	AVEQ-B02BNE-004CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3491			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3492	Rack-based AV Control, Process, and Dist	AVEQ-B02BSE-001	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3493	Rack-based AV Control, Process, and Dist	AVEQ-B02BSE-001CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3494			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3495	Rack-based AV Control, Process, and Dist	AVEQ-B02BSW-001	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3496	Rack-based AV Control, Process, and Dist	AVEQ-B02BSW-001CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3497			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3498	Rack-based AV Control, Process, and Dist	AVEQ-B02BSW-002	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3499	Rack-based AV Control, Process, and Dist	AVEQ-B02BSW-002CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3500			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3501	Rack-based AV Control, Process, and Dist	AVEQ-B02BSW-003	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3502	Rack-based AV Control, Process, and Dist	AVEQ-B02BSW-003CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3503			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3504	Rack-based AV Control, Process, and Dist	AVEQ-B02BSW-004	Rack-based AV Control, Process, and Dist	1	LS		\$2,000	\$1,084	\$3,084			
3505	Rack-based AV Control, Process, and Dist	AVEQ-B02BSW-004CA1	EoLC - Replace Asset	1	LS		\$2,000	\$1,084	\$3,084		REPLACE	3
3506			Replace Asset	1.00	LS	\$2,000.00	\$2,000.00	\$1,084.48	\$3,084.48		REPLACE	3
3507	Equipment & Furnishings	E102009F	Audiovisual Equipment Racks	1	LS		\$4,500	\$2,440	\$6,940			
3508	Audiovisual Equipment Racks	AVRK-B02BNE-001	Audiovisual Equipment Racks	1	LS		\$1,500	\$813	\$2,313			
3509	Audiovisual Equipment Racks	AVRK-B02BNE-001CA1	EoLC - Replace Asset	1	LS		\$1,500	\$813	\$2,313		REPLACE	3
3510			Replace Asset	1.00	LS	\$1,500.00	\$1,500.00	\$813.36	\$2,313.36		REPLACE	3





DC Courts Building B FCA

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Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$	2021 Cost	2021 Unit Cost	Req. Type	Priority
3511	Audiovisual Equipment Racks	AVRK-B03BNE-001	Audiovisual Equipment Racks	1	LS		\$1,500	\$813	\$2,313			
3512	Audiovisual Equipment Racks	AVRK-B03BNE-001CA1	EoLC - Replace Asset	1	LS		\$1,500	\$813	\$2,313		REPLACE	3
3513			Replace Asset	1.00	LS	\$1,500.00	\$1,500.00	\$813.36	\$2,313.36		REPLACE	3
3514	Audiovisual Equipment Racks	AVRK-BB1BSW-001	Audiovisual Equipment Racks	1	LS		\$1,500	\$813	\$2,313			
3515	Audiovisual Equipment Racks	AVRK-BB1BSW-001CA1	EoLC - Replace Asset	1	LS		\$1,500	\$813	\$2,313		REPLACE	3
3516			Replace Asset	1.00	LS	\$1,500.00	\$1,500.00	\$813.36	\$2,313.36		REPLACE	3
3517	Equipment & Furnishings	E102009G	Control Touch Panel / Telestrator	1	LS		\$4,800	\$2,603	\$7,403			
3518	Control Touch Panel / Telestrator	AVTP-B01BNE-001	Control Touch Panel / Telestrator	1	LS		\$1,200	\$651	\$1,851			
3519	Control Touch Panel / Telestrator	AVTP-B01BNE-001CA1	EoLC - Replace Asset	1	LS		\$1,200	\$651	\$1,851		REPLACE	3
3520			Replace Asset	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	3
3521	Control Touch Panel / Telestrator	AVTP-B01BNE-002	Control Touch Panel / Telestrator	1	LS		\$1,200	\$651	\$1,851			
3522	Control Touch Panel / Telestrator	AVTP-B01BNE-002CA1	EoLC - Replace Asset	1	LS		\$1,200	\$651	\$1,851		REPLACE	3
3523			Replace Asset	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	3
3524	Control Touch Panel / Telestrator	AVTP-B01BSE-001	Control Touch Panel / Telestrator	1	LS		\$1,200	\$651	\$1,851			
3525	Control Touch Panel / Telestrator	AVTP-B01BSE-001CA1	EoLC - Replace Asset	1	LS		\$1,200	\$651	\$1,851		REPLACE	3
3526			Replace Asset	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	3
3527	Control Touch Panel / Telestrator	AVTP-B01BSE-002	Control Touch Panel / Telestrator	1	LS		\$1,200	\$651	\$1,851			
3528	Control Touch Panel / Telestrator	AVTP-B01BSE-002CA1	EoLC - Replace Asset	1	LS		\$1,200	\$651	\$1,851		REPLACE	3
3529			Replace Asset	1.00	LS	\$1,200.00	\$1,200.00	\$650.69	\$1,850.69		REPLACE	3
3530	Equipment & Furnishings	E20	Furnishings	1	LS		\$33,600	\$16,924	\$50,524			
3531	Furnishings	E2010	Fixed Furnishings	1	LS		\$33,600	\$16,924	\$50,524			
3532	Fixed Furnishings	E201003	Seating (Fixed)	1	LS		\$33,600	\$16,924	\$50,524			
3533	Seating (Fixed)	FS00-B01000-001	Seating (Fixed)	1	LS		\$25,200	\$12,693	\$37,893			
3534	Seating (Fixed)	FS00-B01000-001CA1	Repair wood scratches	1	Unit		\$14,700	\$7,404	\$22,104		REPAIR	3
3535			Repair wood scratches	42.00	Unit	\$350.00	\$14,700.00	\$7,404.15	\$22,104.15	\$526.29	REPAIR	3
3536	Seating (Fixed)	FS00-B01000-001CA2	Replace missing top edge	1	Unit		\$10,500	\$5,289	\$15,789		REPAIR	3
3537			Replace missing top edge	42.00	Unit	\$250.00	\$10,500.00	\$5,288.68	\$15,788.68	\$375.92	REPAIR	3
3538	Seating (Fixed)	FS00-B01000-002	Seating (Fixed)	1	LS		\$1,400	\$705	\$2,105			
3539	Seating (Fixed)	FS00-B01000-002CA1	Repair wood scratches	1	Unit		\$1,400	\$705	\$2,105		REPAIR	3
3540			Repair wood scratches	4.00	Unit	\$350.00	\$1,400.00	\$705.16	\$2,105.16	\$526.29	REPAIR	3
3541	Seating (Fixed)	FS00-B02000-001	Seating (Fixed)	1	LS		\$6,300	\$3,173	\$9,473			
3542	Seating (Fixed)	FS00-B02000-001CA1	Repair wood scratches	1	Unit		\$6,300	\$3,173	\$9,473		REPAIR	3
3543			Repair wood scratches	18.00	Unit	\$350.00	\$6,300.00	\$3,173.21	\$9,473.21	\$526.29	REPAIR	3
3544	Seating (Fixed)	FS00-B02000-002	Seating (Fixed)	1	LS		\$700	\$353	\$1,053			
3545	Seating (Fixed)	FS00-B02000-002CA1	Repair wood scratches	1	Unit		\$700	\$353	\$1,053		REPAIR	3
3546			Repair wood scratches	2.00	Unit	\$350.00	\$700.00	\$352.58	\$1,052.58	\$526.29	REPAIR	3
3547	Estimate Tree	G	Sitework	1	LS		\$670,539	\$361,250	\$1,031,789			
3548	Sitework	G20	Site Improvements	1	LS		\$670,539	\$361,250	\$1,031,789			





DC Courts Building B FCA

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3549	Site Improvements	G	Sitework	1	LS		\$670,539	\$361,250	\$1,031,789			
3550	Sitework	G201003	Roadway Paved Surfaces	1	LS		\$14,351	\$7,782	\$22,133			
3551	Roadway Paved Surfaces	PASU-B00SNW-002	Roadway Paved Surfaces	1	LS		\$8,344	\$4,524	\$12,868			
3552	Roadway Paved Surfaces	PASU-B00SNW-002CA1	EoLC - Service Drive granite border.	1	Ea.		\$8,344	\$4,524	\$12,868		REPLACE	4
3553			Service Drive border. Replace 12"x36" granite pavers.	75.00	Ea.	\$86.25	\$6,468.75	\$3,507.62	\$9,976.37	\$133.02	REPLACE	4
3554			Remove Existing Service Drive border. 12"x36" granite pavers.	75.00	Ea.	\$25.00	\$1,875.00	\$1,016.70	\$2,891.70	\$38.56	REPLACE	4
3555	Roadway Paved Surfaces	PASU-B00SSW-002	Roadway Paved Surfaces	1	LS		\$6,008	\$3,258	\$9,265			
3556	Roadway Paved Surfaces	PASU-B00SSW-002CA1	EoLC - Service Drive granite border.	1	Ea.		\$6,008	\$3,258	\$9,265		REPLACE	4
3557			Service Drive border. Replace 12"x36" granite pavers.	54.00	Ea.	\$86.25	\$4,657.50	\$2,525.48	\$7,182.98	\$133.02	REPLACE	4
3558			Remove Existing Service Drive border. 12"x36" granite pavers.	54.00	Ea.	\$25.00	\$1,350.00	\$732.02	\$2,082.02	\$38.56	REPLACE	4
3559	Sitework	G202002	Parking Lots Curbs and Gutters	1	LS		\$35,144	\$17,701	\$52,845			
3560	Parking Lots Curbs and Gutters	CUGU-B01000-001	Parking Lots Curbs and Gutters	1	LS		\$35,144	\$17,701	\$52,845			
3561	Parking Lots Curbs and Gutters	CUGU-B01000-001CA1	Repair or replace damaged curbs as required. Reset all curbs to fix alignment.	1	L.F.		\$35,144	\$17,701	\$52,845		REPAIR	3
3562			Repair or replace damaged curbs as required. Reset all curbs to fix alignment.	955.00	L.F.	\$36.80	\$35,144.00	\$17,701.47	\$52,845.47	\$55.34	REPAIR	3
3563	Sitework	G202003	Parking Lots Paved Surfaces	1	LS		\$538,387	\$291,935	\$830,322			
3564	Parking Lots Paved Surfaces	PASU-B00SSE-002	Parking Lots Paved Surfaces	1	LS		\$6,000	\$3,253	\$9,253			
3565	Parking Lots Paved Surfaces	PASU-B00SSE-002CA1	EoLC - South Concrete Driveway	1	S.F.		\$6,000	\$3,253	\$9,253		REPLACE	3
3566			South Concrete Driveway-Replace Aggregate Driveway Entrance	240.00	S.F.	\$25.00	\$6,000.00	\$3,253.44	\$9,253.44	\$38.56	REPLACE	3
3567	Parking Lots Paved Surfaces	PASU-B00SSE-003	Parking Lots Paved Surfaces	1	LS		\$3,400	\$1,844	\$5,244			
3568	Parking Lots Paved Surfaces	PASU-B00SSE-003CA1	EoLC - South Dumpster Alley Concrete Driveway	1	S.F.		\$3,400	\$1,844	\$5,244		REPLACE	2
3569			South Dumpster Alley Concrete Driveway-Concrete driveway entrance to dumpster loading area- Complete inc. demo	170.00	S.F.	\$20.00	\$3,400.00	\$1,843.62	\$5,243.62	\$30.84	REPLACE	2
3570	Parking Lots Paved Surfaces	PASU-B01000-001	Parking Lots Paved Surfaces	1	LS		\$528,987	\$286,838	\$815,825			
3571	Parking Lots Paved Surfaces	PASU-B01000-001CA1	Replace Parking Lot	1	S.F.		\$528,987	\$286,838	\$815,825		REPLACE	3
3572			Replace Parking Lot- assume 2 lots	26,400.00	S.F.	\$20.00	\$528,000.00	\$286,302.72	\$814,302.72	\$30.84	REPLACE	3
3573			Restripe Parking Lot	94.00	Stall	\$10.50	\$987.00	\$535.19	\$1,522.19	\$16.19	REPLACE	3
3574	Sitework	G203002	Pedestrian Paving Curbs and Gutters	1	LS		\$24,050	\$12,577	\$36,627			
3575	Pedestrian Paving Curbs and Gutters	CGCG-B01SNE-001	Pedestrian Paving Curbs and Gutters	1	LS		\$12,025	\$6,520	\$18,545			
3576	Pedestrian Paving Curbs and Gutters	CGCG-B01SNE-001CA1	Repair or replace damaged curbs as required. Reset all curbs to fix alignment.	1	L.F.		\$12,025	\$6,520	\$18,545		REPLACE	3
3577			Repair or replace damaged curbs as required. Reset all curbs to fix alignment.	325.00	L.F.	\$37.00	\$12,025.00	\$6,520.44	\$18,545.44	\$57.06	REPLACE	3
3578	Pedestrian Paving Curbs and Gutters	CGCG-B01SSE-001	Pedestrian Paving Curbs and Gutters	1	LS		\$12,025	\$6,057	\$18,082			
3579	Pedestrian Paving Curbs and Gutters	CGCG-B01SSE-001CA1	Repair or replace damaged curbs as required. Reset all curbs to fix alignment.	1	L.F.		\$12,025	\$6,057	\$18,082		REPAIR	3
3580			Repair or replace damaged curbs as required. Reset all curbs to fix alignment.	325.00	L.F.	\$37.00	\$12,025.00	\$6,056.80	\$18,081.80	\$55.64	REPAIR	3
3581	Sitework	G203003	Pedestrian Paving Paved Surfaces	1	LS		\$36,156	\$19,599	\$55,755			
3582	Pedestrian Paving Paved Surfaces	PASU-B00ELW-H01	Pedestrian Paving Paved Surfaces	1	LS		\$156	\$79	\$235			





DC Courts Building B FCA

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3583	Pedestrian Paving Paved Surfaces	PASU-B00ELW-H01CA1	Granite pavement cleaning	1	S.F.		\$156	\$79	\$235		REPAIR	3
3584			Granite pavement cleaning- Pressure wash	120.00	S.F.	\$1.30	\$156.00	\$78.57	\$234.57	\$1.95	REPAIR	3
3585	Pedestrian Paving Paved Surfaces	PASU-B01SNE-001	Pedestrian Paving Paved Surfaces	1	LS		\$18,000	\$9,760	\$27,760			
3586	Pedestrian Paving Paved Surfaces	PASU-B01SNE-001CA1	Replace Sidewalks	1	L.F.		\$18,000	\$9,760	\$27,760		REPLACE	3
3587			Replace Sidewalks- assume 8' wide sidewalks- complete	225.00	L.F.	\$80.00	\$18,000.00	\$9,760.32	\$27,760.32	\$123.38	REPLACE	3
3588	Pedestrian Paving Paved Surfaces	PASU-B01SSE-001	Pedestrian Paving Paved Surfaces	1	LS		\$18,000	\$9,760	\$27,760			
3589	Pedestrian Paving Paved Surfaces	PASU-B01SSE-001CA1	Replace Sidewalks	1	L.F.		\$18,000	\$9,760	\$27,760		REPLACE	3
3590			Replace Sidewalks- assume 8' wide sidewalks- complete	225.00	L.F.	\$80.00	\$18,000.00	\$9,760.32	\$27,760.32	\$123.38	REPLACE	3
3591	Sitework	G204002	Retaining Walls	1	LS		\$20	\$10	\$30			
3592	Retaining Walls	RETW-B01SNE-001	Retaining Walls	1	LS		\$20	\$10	\$30			
3593	Retaining Walls	RETW-B01SNE-001CA1	CA Name	1	S.F.		\$10	\$5	\$15		REPLACE	1
3594			Realign / reset retaining wall stones. Regrout joints.	1.00	S.F.	\$10.00	\$10.00	\$5.42	\$15.42		REPLACE	1
3595	Retaining Walls	RETW-B01SNE-001CA2	Realign / reset retaining wall stones. Regrout joints.	1	S.F.		\$10	\$5	\$15		REPAIR	3
3596			Realign / reset retaining wall stones. Regrout joints.	1.00	S.F.	\$10.00	\$10.00	\$5.04	\$15.04		REPAIR	3
3597	Sitework	G204003	Exterior Furnishings	1	LS		\$650	\$352	\$1,002			
3598	Exterior Furnishings	EFRN-B00SSE-001	Exterior Furnishings	1	LS		\$650	\$352	\$1,002			
3599	Exterior Furnishings	EFRN-B00SSE-001CA1	Replace damaged trash receptacle	1	Ea.		\$650	\$352	\$1,002		REPLACE	1
3600			Replace damaged trash receptacle	1.00	Ea.	\$650.00	\$650.00	\$352.46	\$1,002.46		REPLACE	1
3601	Sitework	G204005	Signage	1	LS		\$1,760	\$886	\$2,646			
3602	Signage	SIGN-B00SNE-001	Signage	1	LS		\$880	\$443	\$1,323			
3603	Signage	SIGN-B00SNE-001CA1	Repair dislodged granite veneer on plinth	1	Ea.		\$880	\$443	\$1,323		REPAIR	3
3604			Repair dislodged granite veneer on plinth-2 man crew, 8 hrs- assume using existing granite	1.00	Ea.	\$880.00	\$880.00	\$443.24	\$1,323.24		REPAIR	3
3605	Signage	SIGN-B00SSW-001	Signage	1	LS		\$880	\$443	\$1,323			
3606	Signage	SIGN-B00SSW-001CA1	Repair dislodged granite veneer on plinth	1	Ea.		\$880	\$443	\$1,323		REPAIR	2
3607			Repair dislodged granite veneer on plinth-- 2 man crew, 8 hrs- assume using existing granite	1.00	Ea.	\$880.00	\$880.00	\$443.24	\$1,323.24		REPAIR	2
3608	Sitework	G204008	Terrace and Perimeter Walls	1	LS		\$7,959	\$4,009	\$11,968			
3609	Terrace and Perimeter Walls	TPWL-B00SNE-001	Terrace and Perimeter Walls	1	LS		\$1,872	\$943	\$2,814			
3610	Terrace and Perimeter Walls	TPWL-B00SNE-001CA1	Clean wall	1	L.F.		\$716	\$361	\$1,076		REPAIR	3
3611			Clean wall	71.58	L.F.	\$10.00	\$715.80	\$360.54	\$1,076.34	\$15.04	REPAIR	3
3612	Terrace and Perimeter Walls	TPWL-B00SNE-001CA2	Repoint 18 joints	1	L.F.		\$716	\$361	\$1,076		REPAIR	4
3613			Repoint 18 joints	71.58	L.F.	\$10.00	\$715.80	\$360.54	\$1,076.34	\$15.04	REPAIR	4
3614	Terrace and Perimeter Walls	TPWL-B00SNE-001CA3	Reset one granite wall cap stone	1	L.F.		\$440	\$222	\$662		REPAIR	2
3615			Reset one granite wall cap stone	1.00	L.F.	\$440.00	\$440.00	\$221.62	\$661.62		REPAIR	2
3616	Terrace and Perimeter Walls	TPWL-B00SSE-001	Terrace and Perimeter Walls	1	LS		\$498	\$251	\$749			
3617	Terrace and Perimeter Walls	TPWL-B00SSE-001CA1	Clean cheek wall cap stone	1	L.F.		\$249	\$125	\$374		REPAIR	3
3618			Clean cheek wall cap stone	24.90	L.F.	\$10.00	\$249.00	\$125.42	\$374.42	\$15.04	REPAIR	3
3619	Terrace and Perimeter Walls	TPWL-B00SSE-001CA2	Repoint 22 joints	1	L.F.		\$249	\$125	\$374		REPAIR	4
3620			Repoint 22 joints	24.90	L.F.	\$10.00	\$249.00	\$125.42	\$374.42	\$15.04	REPAIR	4





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3621	Terrace and Perimeter Walls	TPWL-B00SSE-002	Terrace and Perimeter Walls	1	LS		\$4,740	\$2,387	\$7,127			
3622	Terrace and Perimeter Walls	TPWL-B00SSE-002CA1	Clean biological growth	1	L.F.		\$2,370	\$1,194	\$3,564		REPAIR	3
3623			Clean biological growth	237.00	L.F.	\$10.00	\$2,370.00	\$1,193.73	\$3,563.73	\$15.04	REPAIR	3
3624	Terrace and Perimeter Walls	TPWL-B00SSE-002CA2	Repoint 13 joints	1	L.F.		\$2,370	\$1,194	\$3,564		REPAIR	4
3625			Repoint 13 joints	237.00	L.F.	\$10.00	\$2,370.00	\$1,193.73	\$3,563.73	\$15.04	REPAIR	4
3626	Terrace and Perimeter Walls	TPWL-B00SSE-003	Terrace and Perimeter Walls	1	LS		\$849	\$428	\$1,277			
3627	Terrace and Perimeter Walls	TPWL-B00SSE-003CA1	Clean staining and biological growth	1	L.F.		\$425	\$214	\$638		REPAIR	3
3628			Clean staining and biological growth	42.46	L.F.	\$10.00	\$424.60	\$213.86	\$638.46	\$15.04	REPAIR	3
3629	Terrace and Perimeter Walls	TPWL-B00SSE-003CA2	Repoint 5 joints	1	L.F.		\$425	\$214	\$638		REPAIR	4
3630			Repoint 5 joints	42.46	L.F.	\$10.00	\$424.60	\$213.86	\$638.46	\$15.04	REPAIR	4
3631	Sitework	G205005	Plantings	1	LS		\$2,220	\$1,159	\$3,379			
3632	Plantings	PLTG-B00SNE-005	Plantings	1	LS		\$445	\$241	\$686			
3633	Plantings	PLTG-B00SNE-005CA1	Replace 1 dead shrub	1	Ea.		\$445	\$241	\$686		REPLACE	2
3634			Replace 1 dead shrub	1.00	Ea.	\$445.00	\$445.00	\$241.30	\$686.30		REPLACE	2
3635	Plantings	PLTG-B00SSE-001	Plantings	1	LS		\$440	\$194	\$634			
3636	Plantings	PLTG-B00SSE-001CA1	Remove dead tree stump	1	Ea.		\$440	\$194	\$634		REMOVE	2
3637			Remove dead tree stump	1.00	Ea.	\$440.00	\$440.00	\$194.05	\$634.05		REMOVE	2
3638	Plantings	PLTG-B00SSE-003	Plantings	1	LS		\$1,335	\$724	\$2,059			
3639	Plantings	PLTG-B00SSE-003CA1	Replace 3 dead shrubs	1	Ea.		\$1,335	\$724	\$2,059		REPLACE	1
3640			Replace 3 dead shrubs	3.00	Ea.	\$445.00	\$1,335.00	\$723.89	\$2,058.89	\$686.30	REPLACE	1
3641	Sitework	G205006	Planters	1	LS		\$8,442	\$4,533	\$12,975			
3642	Planters	PLTR-B00SNE-001	Planters	1	LS		\$8,442	\$4,533	\$12,975			
3643	Planters	PLTR-B00SNE-001CA1	Clean all planters	1	Ea.		\$1,152	\$580	\$1,732		REPAIR	2
3644			Clean all planters	16.00	Ea.	\$72.00	\$1,152.00	\$580.24	\$1,732.24	\$108.27	REPAIR	2
3645	Planters	PLTR-B00SNE-001CA2	Replace one circular planter	1	Ea.		\$3,500	\$1,898	\$5,398		REPLACE	2
3646			Replace one circular planter	1.00	Ea.	\$3,500.00	\$3,500.00	\$1,897.84	\$5,397.84		REPLACE	2
3647	Planters	PLTR-B00SNE-001CA3	Replace one rectangular planter	1	Ea.		\$3,790	\$2,055	\$5,845		REPLACE	2
3648			Replace one rectangular planter - Assume 5'x3'	1.00	Ea.	\$3,790.00	\$3,790.00	\$2,055.09	\$5,845.09		REPLACE	2
3649	Sitework	G402006	Exterior Lighting Fixtures and Controls	1	LS		\$1,400	\$705	\$2,105			
3650	Exterior Lighting Fixtures and Controls	SLTG-B00ELE-H01	Exterior Lighting Fixtures and Controls	1	LS		\$350	\$176	\$526			
3651	Exterior Lighting Fixtures and Controls	SLTG-B00ELE-H01CA1	Refinish Light Post	1	Lt. Post		\$250	\$126	\$376		REPAIR	2
3652			Refinish Light Post	1.00	Lt. Post	\$250.00	\$250.00	\$125.92	\$375.92		REPAIR	2
3653	Exterior Lighting Fixtures and Controls	SLTG-B00ELE-H01CA2	Replace Joint Sealant	1	Lt. Post		\$100	\$50	\$150		REPAIR	2
3654			Replace Joint Sealant	1.00	Lt. Post	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	2
3655	Exterior Lighting Fixtures and Controls	SLTG-B00ELN-H01	Exterior Lighting Fixtures and Controls	1	LS		\$350	\$176	\$526			
3656	Exterior Lighting Fixtures and Controls	SLTG-B00ELN-H01CA1	Refinish Light Post	1	Lt. Post		\$250	\$126	\$376		REPAIR	2
3657			Refinish Light Post	1.00	Lt. Post	\$250.00	\$250.00	\$125.92	\$375.92		REPAIR	2
3658	Exterior Lighting Fixtures and Controls	SLTG-B00ELN-H01CA2	Replace Joint Sealant	1	Lt. Post		\$100	\$50	\$150		REPAIR	2
3659			Replace Joint Sealant	1.00	Lt. Post	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	2





DC Courts Building B FCA

* Sub Markup includes: Design Contingency, General Conditions/General Requirements, Insurance & Bonds, and Profit

Line #	Parent Location	Uniformat / Asset ID	Description	Quantity	UoM	Base Unit Cost	Subtotal Direct Cost	Sub Markup \$*	2021 Cost	2021 Unit Cost	Req. Type	Priority
3660	Exterior Lighting Fixtures and Controls	SLTG-B00ELS-H01	Exterior Lighting Fixtures and Controls	1	LS		\$350	\$176	\$526			
3661	Exterior Lighting Fixtures and Controls	SLTG-B00ELS-H01CA1	Refinish Light Post	1	Lt. Post		\$250	\$126	\$376		REPAIR	2
3662			Refinish Light Post	1.00	Lt. Post	\$250.00	\$250.00	\$125.92	\$375.92		REPAIR	2
3663	Exterior Lighting Fixtures and Controls	SLTG-B00ELS-H01CA2	Replace Joint Sealant	1	Lt. Post		\$100	\$50	\$150		REPAIR	2
3664			Replace Joint Sealant	1.00	Lt. Post	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	2
3665	Exterior Lighting Fixtures and Controls	SLTG-B00ELW-H01	Exterior Lighting Fixtures and Controls	1	LS		\$350	\$176	\$526			
3666	Exterior Lighting Fixtures and Controls	SLTG-B00ELW-H01CA1	Refinish Light Post	1	Lt. Post		\$250	\$126	\$376		REPAIR	2
3667			Refinish Light Post	1.00	Lt. Post	\$250.00	\$250.00	\$125.92	\$375.92		REPAIR	2
3668	Exterior Lighting Fixtures and Controls	SLTG-B00ELW-H01CA2	Replace Joint Sealant	1	Lt. Post		\$100	\$50	\$150		REPAIR	2
3669			Replace Joint Sealant	1.00	Lt. Post	\$100.00	\$100.00	\$50.37	\$150.37		REPAIR	2



5.2 HAZARDOUS MATERIALS ANALYSIS

5.2.2 BUILDING B

Historical hazardous materials reports provided by the District of Columbia Courts as well as referenced reports on file with Maxximus Environmental, Inc were analyzed by Maxximus for where there are hazardous materials at Building B. The analysis is intended to inform the potential for hazardous materials with similar installations for future projects within the building. No testing was performed within the scope of work.



April 28, 2021

Mr. Robert Sly
Smith Group
1700 New York Avenue, Suite 1000
Washington, DC 20006

**SUBJECT: Hazardous Materials Summary
DC Courts Building B
Facility Condition Assessment**

Dear Mr. Sly,

Maxximus has reviewed available reports for Building B of the DC Courts to summarize work previously performed to identify and/or abate asbestos and lead hazards. Maxximus has reviewed the following:

Asbestos:

- Abatement Monitoring Room 228 – Conference Room, dated 11/9/09
- Abatement Monitoring Room 228 – Judges Suite dated 8/2/12
- Bulk Sample/Analysis SB101 – Training Room dated 9/14/15
- Bulk Sample/Analysis SB112 – Training Room dated 11/3/15
- Abatement Monitoring Various Locations dated 3/19/14
- Abatement Monitoring Various Locations dated 11/9/10

Lead:

- Lead Safe Work Plan Buildings A and B dated 5/15/09
- Final Lead Wipes dated 3/29/10
- Final Lead Wipes dated 5/27/10
- Final Lead Wipes dated 5/28/10

A summary of the reports is attached.

Summary of asbestos-containing materials:

Table one presents a summary of materials that have been identified as suspect asbestos containing materials, as well as locations of samples collected and locations where the material has been removed.



Table 1: Summary of Suspect Asbestos-Containing Materials

Material Description	Location(s) where sampled	Sample Results	Location(s) where removed	Source	Comments
12"x12" Floor Tile and Mastic	No Information Provided	No Information Provided but material was treated as asbestos	Room 228 Conference Room; Room 228 Judges Suite; Room 201	Hillian 44-31-01 Hillian 44-53-01 Hillian 44-31-02	No description of tiles or mastic was included. No information about if the material is present in other locations.
Plaster	Training Room SB101	NAD	NA	Hillian 44-117-01	Only one sample analyzed. Additional samples are needed to conclude that the material is not asbestos-containing.
Joint Compound – white	Training Room SB101	NAD	NA	Hillian 44-117-01	
Carpet Mastic – tan	Training Room SB101	NAD	NA	Hillian 44-117-01	
2'x2' Ceiling Tile	Training Room SB101	NAD	NA	Hillian 44-117-01	
Floor Tile – Brown	Room SB112	NAD	NA	Hillian 44-118-01	
Floor Tile Mastic – yellow	Room SB112	NAD	NA	Hillian 44-118-01	



Unspecified Thermal System Insulation	No Information Provided	No Information Provided but material was treated as asbestos	First Floor: Rms 112, 122, 123, Men's Restroom, Women's Restroom, Courtroom 109; Third Floor: Rms 326, 327, 315, 314B, 310, Men's Restroom, Women's Restroom; Basement: cellblock, Men's restroom, Women's restroom, training room)	Hillian 44-88-01	No information on if material remains in these or other locations.
NAD – No asbestos detected NA – Not applicable					

Summary of lead-based paint:

Window renovations throughout Building B were presumed to disturb lead-based paint. Wipe samples collected from window sills and floors adjacent to the windows following remediation were found to contain less than the laboratory's detection limit. The reports reviewed did not provide any information about whether lead paint remains in the building.

Conclusions

The reports did not contain enough information to determine with any certainty the locations or quantities of asbestos-containing materials or lead-based paint remaining in Building B. Twelve-inch floor tile and thermals system insulation were identified as asbestos-containing materials and may remain in the building. Lead-based paint was identified as being impacted by window renovations, but no information was provided regarding what building components had lead-paint or if the paint was removed during renovation. Maxximus recommends that a thorough inspection for asbestos and lead based paint be performed prior to any future renovation or demolition.

Sincerely,
Maxximus Environmental, Inc.

Josh Julius, CIH

Attachments: Summary of Reports; Reports



Summary of Reports						
Report Title	Date	Building	Area of Building	Type of Report	Key Findings	Comments
Hillian 44-31-01	11/9/09	B	Room 228 – conference Room	ACM Closeout	Removed 220 SF Floor Tile and Mastic from Room 228 Conference Room on 10/9/09	Floor tile and mastic are ACM; unclear if materials remain elsewhere in building
Hillian 44-53-01	9/2/12	B	Room 228 Judges Suite	ACM Closeout	Removed 12x12 tile from Judges Suite 7/21/12	Floor tile and mastic are ACM; unclear if materials remain elsewhere in building
Hillian 44-117-01	9/14/15	B	Training Room SB101	ACM Inspection	Sampled plaster, joint compound, carpet mastic, 2x2 Ceiling Tile. NAD	1 sample each.
Hillian 44-118-01	11/3/15	B	Training Room SB112	ACM Inspection	Sampled brown tile and yellow mastic NAD	1 sample each
Hillian 44-88-01	3/19/14	B	Multiple	ACM Closeout	TSI from 1 st Floor (112, 122, 123, Men's restroom Courtroom 109 women's restroom) 3 rd Floor (326, 327, 315, 314B, 310 Men's Restroom, women's restroom) Basement: (cellblock, men's Restroom Women's restroom, training	Thermal System Insulation is ACM; unclear if materials remain elsewhere in building



Summary of Reports						
Report Title	Date	Building	Area of Building	Type of Report	Key Findings	Comments
					room) 2/23/14-3/4/14	
Hillian 44-31-02	11/9/09	B	Room 201	ACM Closeout	2000 SF floor tile and mastic from Court Room 201	Floor tile and mastic are ACM; unclear if materials remain elsewhere in building
208-03-01	3/29/10	B	First Floor	Lead Wipes post remediation	Lead wipes after window renovation project First Floor	Surfaces with lead-based paint not identified
208-03-02	5/27/10	B	Second Floor	Lead Wipes post remediation	Lead wipes after window renovation project Second Floor	Surfaces with lead-based paint not identified
208-03-03	5/28/10	B	Third Floor	Lead Wipes post remediation	Lead wipes after window renovation project Third Floor	Surfaces with lead-based paint not identified
Washington Gas and Electric Lead Safe Work Plan	8/13/8	A & B	Throughout	Lead work plan	Identifies that lead paint will be impacted by window renovations	Surfaces with lead-based paint not identified
Washington Gas Interior Window Final Schedule		A&B	Throughout	Schedule for window work		Surfaces with lead-based paint not identified

November 9, 2009

Mr. Anthony Hillian
Hillian Brothers and Sons, Inc.
8501 Ardwick Ardmore Road
Landover, MD 20785

**Re: Asbestos Abatement Project Monitoring
DC Court – Building B
Room 228 – Conference Room
Washington, DC**

Dear Mr. Hillian:

Enclosed is data produced through the industrial hygiene monitoring of the asbestos abatement project performed at DC Courts, Building B, Room 228, NW, Washington, DC, which took place from October 29, 2009.

1.0 PROJECT SUMMARY

This project involved an asbestos abatement action performed by Hillian Brothers & Sons, Inc. (Hillian). Maxximus Environmental, Inc. (Maxximus) provided fiber-in-air monitoring and industrial hygiene oversight during the asbestos abatement. Asbestos abatement work practices observed were performed in a manner consistent with the requirements of Part 61, the National Emission Standards for Hazardous Air Pollutants (NESHAPs). Work was also performed in a manner consistent with Title 29 Code of Federal Regulations (CFR) 1926.1101, the Occupational Safety and Health Administration's (OSHA) asbestos construction standard.

Abatement involved the removal of approximately 220 SF of asbestos containing floor tile with associated mastic from conference room 228 of Building B. The removal activities were performed within a negative pressure enclosure with a three-stage decontamination chamber, with negative air provided using high-efficiency particulate air (HEPA) filtration devices. Workers wore disposable, full-body coveralls and half-face, air-purifying respirators with HEPA cartridges during removal activities.

2.0 SAMPLING AND ANALYTICAL PROTOCOL

Maxximus performed air monitoring and industrial hygiene oversight. Air samples were collected during and after abatement activities from various locations inside and outside the work area. Personal air monitoring samples were collected from the abatement worker to document fiber-in-air exposure.

Maxximus collected fiber-in-air samples and analyzed them using National Institute for Occupational Safety and Health (NIOSH) Method 7400 which uses 25 millimeter (mm), 0.8 microgram (μm), mixed cellulose ester filters (MCEFs), calibrated sampling pumps, and phase contrast microscopy (PCM). NIOSH 582-trained analyst Mr. Ritik Das analyzed

samples. Maximus analyst's participate in the American Industrial Hygiene Association (AIHA) proficiency analytical testing (PAT) program and are currently rated proficient for asbestos.

Maximus collected final air samples in the former work areas for analysis using transmission electron microscopy (TEM) in accordance with the protocols found in 40 CFR 763, Appendix A, Subpart E, which uses 25 mm, 0.45 μm MCEFs and calibrated sampling pumps. TEM sample analysis was performed by AMA Analytical Services, Inc. of Lanham, Maryland (AMA).

3.0 SUMMARY OF RESULTS

- Pre-abatement samples collected before removal activities in the immediate vicinity of the work showed fiber-in-air concentrations of 0.02 per cubic centimeter (f/cc) of air.
- Personal exposure samples showed concentrations well within the limits of the personal protective devices (half-face respirators) employed by the abatement workers.
- Outside air samples collected in the vicinity of the work area showed fiber-in-air levels of less than one fiber per cubic centimeter (<0.01 f/cc) of air.
- Final air samples collected in the former work area showed fiber-in-air levels of <0.01 f/cc, which meets the U.S. Environmental Protection Agency (EPA)-recommended and State of Maryland-required re-occupancy level after an abatement action.
- TEM air samples collected on October 30, 2009 from room 228 after abatement showed an average of less than 70 structures per millimeter squared (<70 s/mm²), which meets the U.S. Environmental Protection Agency (EPA)-recommended and District of Columbia-required re-occupancy level after an abatement action.
- Final clearance inspection of the work area showed that the areas were free of visible debris.

Maximus is pleased to have had the opportunity to provide these services to Hillian Brothers, Inc. If you have any questions or comments, please contact us.

Sincerely,

Khadijah A. Muse
Vice President

August 02, 2012

Mr. Anthony Hillian
Hillian Brothers and Sons, Inc.
8501 Ardwick Ardmore Road
Landover, MD 20785

**Re: Asbestos Abatement Project Monitoring
DC Court of Appeals – Building B
510 4th Street – 2nd Floor – Room #228 Judge Suite
Washington, DC**

Dear Mr. Hillian:

Enclosed is data produced through the industrial hygiene monitoring of the asbestos abatement project performed at the DC Courts of Appeals – Building B, 510 4th Street – Room #228, NW, Washington, DC, which took place from July 19 through July 21, 2012.

1.0 PROJECT SUMMARY

This project involved an asbestos abatement action performed by Hillian Brothers & Sons, Inc. (Hillian). Maxximus Environmental, Inc. (Maxximus) provided fiber-in-air monitoring and industrial hygiene oversight before, during and after the asbestos abatement. Asbestos abatement work practices observed were performed in a manner consistent with the requirements of Part 61, the National Emission Standards for Hazardous Air Pollutants (NESHAPs). Work was also performed in a manner consistent with Title 29 Code of Federal Regulations (CFR) 1926.1101, the Occupational Safety and Health Administration's (OSHA) asbestos construction standard. Abatement activities were supervised by Mr. Carlos Martinez with four (4) workers onsite.

Abatement involved in the removal of 12 x 12 asbestos containing floor tile and mastic from the Judges Suite (Room #228) in Building - B. The removal activities were performed within a negative pressure enclosure, with negative air provided using high-efficiency particulate air (HEPA) filtration devices. Workers wore disposable, full-body coveralls and half-face, air-purifying respirators with HEPA cartridges during removal activities.

2.0 SAMPLING AND ANALYTICAL PROTOCOL

Maxximus performed air monitoring and industrial hygiene oversight. Air samples were collected before, during and after abatement activities from various locations inside and outside the work area. Personal air monitoring samples were collected from the abatement worker to document fiber-in-air exposure.

Maximus collected fiber-in-air samples and analyzed them using National Institute for Occupational Safety and Health (NIOSH) Method 7400 which uses 25 millimeter (mm), 0.8 microgram (μm), mixed cellulose ester filters (MCEFs), calibrated sampling pumps, and phase contrast microscopy (PCM). NIOSH 582-trained analyst Mr. Jose Ramirez analyzed samples. Maximus analyst's participate in the American Industrial Hygiene Association (AIHA) proficiency analytical testing (PAT) program and are currently rated proficient for asbestos.

Maximus collected final air samples on July 21, 2012 with in the former work area (2nd Floor – Judge Suite) for analysis using transmission electron microscopy (TEM) in accordance with the protocols found in 40 CFR 763, Appendix A, Subpart E, which uses 25 mm, 0.45 μm MCEFs and calibrated sampling pumps. TEM sample analysis was performed by AMA Analytical Services, Inc. of Lanham, Maryland (AMA). (Please see below), for specific locations.

DC Court of Appeals – Building B 510 4 th Street, NW, Washington, DC COC#227405						
Date:	Sample ID	Material Abated:	Location:	F/CC	# Cassette Type	Area Clearance Cleared/Fail
07/22/12	T3 through T6	12 x 12 asbestos floor tile and mastic	Inside Containment – 2 nd Floor – Room #228	<15	(4) TEM	Cleared

3.0 SUMMARY OF RESULTS

- Background air samples collected within the surrounding area of the 2nd Floor – room #228 revealed airborne fiber concentrations ranging of <0.01 f/cc.
- Personal exposure samples showed concentrations well within the limits of the personal protective devices (half-face respirators) employed by the abatement workers.
- Outside air samples collected in the vicinity of the work area showed fiber-in-air levels of less than one fiber per cubic centimeter (<0.01 f/cc) of air.
- TEM air samples collected on July 21, 2012 inside work area (2nd Floor – room #228) after abatement activities showed an average of less than 70 structures per millimeter squared (<70 s/mm²), which meets the U.S. Environmental Protection Agency (EPA)-recommended and District of Columbia-required re-occupancy level after an abatement action.
- Final clearance inspection of the work area showed that the areas were free of visible debris.

Maximus is pleased to have had the opportunity to provide these services to Hillian Brothers, Inc. If you have any questions or comments, please contact us.

Sincerely,

A handwritten signature in black ink, appearing to read 'K. Muse', with a stylized flourish at the end.

Khadijah A. Muse
Vice President

Daily Project Summary Sheet

Laboratory Analysis

TEM



September 14, 2015

Mr. Anthony Hillian
 Hillian Brothers & Sons, Inc.
 8501 Ardwick Ardmore Road
 Landover, Maryland 20785

**Re: Asbestos Bulk Sample & Analysis
 Moultrie Courthouse
 (Building #B – Training Room #SB101)
 500 Indiana Ave, NW
 Washington, DC**

Dear Mr. Hillian:

Maxximus Environmental, Inc. (Maxximus) provided asbestos consulting services at the Moultrie Courthouse, 500 Indiana Ave, Building B – Training Room #SB101, in Washington, DC, that took place on August 31, 2015.

Suspect Asbestos Containing Building Material's (ACBM's)

Four bulk asbestos samples were collected and analyzed by EMSL Analytical Services, Inc. (EMSL), in Beltsville, Maryland. The results of the analysis revealed that all samples collected were **NEGATIVE** for asbestos. For specific locations of sampled suspect ACBMs, see table below.

Moultrie Courthouse – Building B, Washington, DC – COC#191510632					
Suspect ACBM's					
Sample ID	Miscellaneous Material Description	Friable?	Location	ACBM?	Quantity
01	Plaster, White	N	Training Room #SB101	NAD	N/A
02	Joint Compound, White	N	Training Room #SB101	NAD	N/A
03	Carpet, Tan (Mastic)	N	Training Room #SB101	NAD	N/A
04	2 X 2, Ceiling Tile, Gray/White	N	Training Room #SB101	NAD	N/A

Asbestos bulk samples were analyzed using the Environmental Protection Agency (EPA) analysis method EPA/600/R-93/116 dated July 1993 in conjunction with dispersion staining (PLM/DS). Analysis was conducted by a National Voluntary Laboratory Accreditation Program (NVLAP)-accredited laboratory. Asbestos bulk samples that contain greater than one percent (>1%) of asbestos by visual estimation are considered positive for asbestos. All samples were analyzed by EMSL.



A material is considered asbestos-containing if any one sample is found to contain greater than one percent asbestos. A material is considered not asbestos-containing if all samples are found to contain less than one percent asbestos. Any of these materials can be friable (easily crumbled by hand pressure when dry) or non friable.

Construction activities may expose additional suspect asbestos containing materials. We recommend a licensed contractor specializing in Asbestos removal abatement contractor should be involved in addressing this item above.

Maxximus Environmental, Inc. appreciates this opportunity to provide this service. Should you have any questions or need further information concerning these results, please call me.

Sincerely,

A handwritten signature in black ink, appearing to read "Khadijah A. Muse".

Khadijah A. Muse
Vice President



Certificate of Analysis

Moultrie Courthouse

COC# 191510632



EMSL Analytical, Inc.

10768 Baltimore Avenue, Beltsville, MD 20705

Phone/Fax: (301) 937-5700 / (301) 937-5701

<http://www.EMSL.com>

beltsvillelab@emsl.com

EMSL Order: 191510632

CustomerID: MAXX50

CustomerPO:

ProjectID:

Attn: **Kiki Muse**
Maxximus Environmental
1010 Rockville Pike
Suite # 200
Rockville, MD 20852

Phone: (301) 838-2730
Fax: (301) 838-2732
Received: 08/31/15 12:45 PM
Analysis Date: 8/31/2015
Collected: 8/31/2015

Project: **MOULTRIE COURTHOUSE BUILDING B**

Test Report: Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
01 <i>191510632-0001</i>	PLASTER - 8B101 TRAINING RM	White Non-Fibrous Homogeneous		5% Quartz 45% Ca Carbonate 50% Non-fibrous (other)	None Detected
02 <i>191510632-0002</i>	JOINT COMPOUND - 8B101 TRAINING RM	White Non-Fibrous Homogeneous		5% Quartz 40% Ca Carbonate 55% Non-fibrous (other)	None Detected
03 <i>191510632-0003</i>	CARPET MASTIC - 8B101 TRAINING RM	Tan Non-Fibrous Homogeneous		10% Ca Carbonate 90% Non-fibrous (other)	None Detected
04 <i>191510632-0004</i>	2X2 SMOOTH CEILING TILE - 8B101 TRAINING RM	Gray/White Fibrous Heterogeneous	10% Cellulose 15% Glass 15% Min. Wool	5% Ca Carbonate 55% Non-fibrous (other)	None Detected

EMSL maintains liability limited to cost of analysis. This report relates only to the samples reported and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Samples received in good condition unless otherwise noted. Estimated accuracy, precision and uncertainty data available upon request. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Reporting limit is 1%

Samples analyzed by EMSL Analytical, Inc. Beltsville, MD NVLAP Lab Code 200293-0

Initial report from 08/31/2015 21:50:26



EMSL Analytical, Inc.

10768 Baltimore Avenue, Beltsville, MD 20705

Phone/Fax: (301) 937-5700 / (301) 937-5701

<http://www.EMSL.com>

beltsvillelab@emsl.com

EMSL Order:	191510632
CustomerID:	MAXX50
CustomerPO:	
ProjectID:	

Attn: Kiki Muse Maxximus Environmental 1010 Rockville Pike Suite # 200 Rockville, MD 20852	Phone: (301) 838-2730 Fax: (301) 838-2732 Received: 08/31/15 12:45 PM Analysis Date: 8/31/2015 Collected: 8/31/2015
Project: MOULTRIE COURTHOUSE BUILDING B	

The samples in this report were submitted to EMSL for analysis by Asbestos Analysis of Bulk Materials via EPA 600/R-93/116 Method using Polarized Light Microscopy. The reference number for these samples is the EMSL Order ID above. Please use this reference number when calling about these samples.

Report Comments:

Sample Receipt Date::	8/31/2015	Sample Receipt Time:	12:45 PM
Analysis Completed Date:	8/31/2015	Analysis Completed Time:	2:02 PM

Analyst(s):

William Chrobak PLM (4)

Samples reviewed and approved by:

Joe Centifonti, Laboratory Manager
or other approved signatory

EMSL maintains liability limited to cost of analysis. This report relates only to the samples reported and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. Interpretation and use of test results are the responsibility of the client. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Samples received in good condition unless otherwise noted. Estimated accuracy, precision and uncertainty data available upon request. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Reporting limit is 1%
Samples analyzed by EMSL Analytical, Inc. Beltsville, MD NVLAP Lab Code 200293-0

Initial report from 08/31/2015 21:50:26



Asbestos Chain of Custody EMSL Order Number (Lab Use Only):

191510632

Beltsville, MD 20705
PHONE: (301) 937-5700
FAX: (301) 937-5701

EMSL ANALYTICAL, INC.
LABORATORY • PRODUCTS • TRAINING

Company: Maximus Environmental		EMSL-Bill to: <input type="checkbox"/> Different <input checked="" type="checkbox"/> Same <small>If Bill to is Different note instructions in Comments**</small>	
Street: 1010 Rockville Pike, 200		<i>Third Party Billing requires written authorization from third party</i>	
City: Rockville	State/Province: MD	Zip/Postal Code: 20852	Country: United States
Report To (Name): Rafael Lopez		Telephone #: 301-838-2730	
Email Address: Kiki@maximus.com		Fax #: 301-838-2732	Purchase Order:
Project Name/Number: Moultrie Courthouse Building B		Please Provide Results: <input type="checkbox"/> FAX <input checked="" type="checkbox"/> E-mail <input type="checkbox"/> Mail	
U.S. State Samples Taken: DC		Connecticut Samples: <input type="checkbox"/> Commercial <input type="checkbox"/> Residential	

Turnaround Time (TAT) Options* - Please Check

3 Hour
 6 Hour
 24 Hour
 48 Hour
 72 Hour
 96 Hour
 1 Week
 2 Week

*For TEM Air 3 hr through 6 hr, please call ahead to schedule. *There is a premium charge for 3 Hour TEM AHERA or EPA Level II TAT. You will be asked to sign an authorization form for this service. Analysis completed in accordance with EMSL's Terms and Conditions located in the Analytical Price Guide.

PCM - Air <input type="checkbox"/> Check if samples are from NY <input type="checkbox"/> NIOSH 7400 <input type="checkbox"/> w/ OSHA 8hr. TWA	TEM - Air <input type="checkbox"/> 4-4.5hr TAT (AHERA only) <input type="checkbox"/> AHERA 40 CFR, Part 763 <input type="checkbox"/> NIOSH 7402 <input type="checkbox"/> EPA Level II <input type="checkbox"/> ISO 10312	TEM - Dust <input type="checkbox"/> Microvac - ASTM D 5755 <input type="checkbox"/> Wipe - ASTM D6480 <input type="checkbox"/> Carpet Sonication (EPA 600/J-93/167)
PLM - Bulk (reporting limit) <input checked="" type="checkbox"/> PLM EPA 600/R-93/116 (<1%) <input type="checkbox"/> PLM EPA NOB (<1%) Point Count <input type="checkbox"/> 400 (<0.25%) <input type="checkbox"/> 1000 (<0.1%) Point Count w/Gravimetric <input type="checkbox"/> 400 (<0.25%) <input type="checkbox"/> 1000 (<0.1%) <input type="checkbox"/> NYS 198.1 (friable in NY) <input type="checkbox"/> NYS 198.6 NOB (non-friable-NY) <input type="checkbox"/> NIOSH 9002 (<1%)	TEM - Bulk <input type="checkbox"/> TEM EPA NOB <input type="checkbox"/> NYS NOB 198.4 (non-friable-NY) <input type="checkbox"/> Chatfield SOP <input type="checkbox"/> TEM Mass Analysis-EPA 600 sec. 2.5	Soil/Rock/Vermiculite <input type="checkbox"/> PLM CARB 435 - A (0.25% sensitivity) <input type="checkbox"/> PLM CARB 435 - B (0.1% sensitivity) <input type="checkbox"/> TEM CARB 435 - B (0.1% sensitivity) <input type="checkbox"/> TEM CARB 435 - C (0.01% sensitivity) <input type="checkbox"/> TEM Qual. via Filtration Technique <input type="checkbox"/> TEM Qual. via Drop-Mount Technique
<input type="checkbox"/> Check For Positive Stop - Clearly Identify Homogenous Group		Filter Pore Size (Air Samples): <input type="checkbox"/> 0.8µm <input type="checkbox"/> 0.45µm

Samplers Name: **Rodney Distance** Samplers Signature: *Rodney Distance*

Sample #	Sample Description	Volume/Area (Air) HA # (Bulk)	Date/Time Sampled
01	JB10 Training Room <i>Plaster Drywall</i>		
02	<i>Joint Compound</i>		
03	<i>Carpet Mastic</i>		
04	<i>2x2 smooth Ceiling tile</i>		

Client Sample # (s):	-	Total # of Samples:	
Relinquished (Client):	Date:	Time:	
Received (Lab): <i>Ed Walker</i>	Date: <i>8/21/15</i>	Time: <i>1245pm</i>	
Comments/Special Instructions:			
<small>Please Email Rodneydistance@yahoo.com</small>		<small>Samples were run using aggressiv AHERA Methods</small>	



November 3, 2015

Mr. Anthony Hillian
Hillian Brothers & Sons, Inc.
8501 Ardwick Ardmore Road
Landover, Maryland 20785

**Re: Asbestos Bulk Sample & Analysis
Moultrie Courthouse
(Building #B – Training Room #SB112)
500 Indiana Ave, NW
Washington, DC**

Dear Mr. Hillian:

Maxximus Environmental, Inc. (Maxximus) provided asbestos consulting services at the Moultrie Courthouse, 500 Indiana Ave, Building B – Room #SB112, in Washington, DC, that took place on September 09, 2015.

Suspect Asbestos Containing Building Material's (ACBM's)

Two bulk asbestos samples were collected and analyzed by AMA Analytical Services, Inc. (AMA), in Lanham, Maryland. The results of the analysis revealed that all samples collected were **NEGATIVE** for asbestos. For specific locations of sampled suspect ACBMs, see table below.

Moultrie Courthouse – Building B, Washington, DC – COC#265294					
Suspect ACBM's					
Sample ID	Miscellaneous Material Description	Friable?	Location	ACBM?	Quantity
09092015-MC-01	Floor Tile, Brown	N	Room #SB112	NAD	N/A
09092015-MC-02	Mastic, Yellow	N	Room #SB112	NAD	N/A

Asbestos bulk samples were analyzed using the Environmental Protection Agency (EPA) analysis method EPA/600/R-93/116 dated July 1993 in conjunction with dispersion staining (PLM/DS). Analysis was conducted by a National Voluntary Laboratory Accreditation Program (NVLAP)-accredited laboratory. Asbestos bulk samples that contain greater than one percent (>1%) of asbestos by visual estimation are considered positive for asbestos. All samples were analyzed by AMA.



A material is considered asbestos-containing if any one sample is found to contain greater than one percent asbestos. A material is considered not asbestos-containing if all samples are found to contain less than one percent asbestos. Any of these materials can be friable (easily crumbled by hand pressure when dry) or non friable.

Construction activities may expose additional suspect asbestos containing materials. We recommend a licensed contractor specializing in Asbestos removal abatement contractor should be involved in addressing this item above.

Maxximus Environmental, Inc. appreciates this opportunity to provide this service. Should you have any questions or need further information concerning these results, please call me.

Sincerely,

A handwritten signature in black ink, appearing to read "Khadijah A. Muse".

Khadijah A. Muse
Vice President



Certificate of Analysis

Moultrie Courthouse

COC# 265294



March 19, 2014

Mr. Anthony Hillian
Hillian Brothers and Sons, Inc.
8501 Ardwick Ardmore Road
Landover, MD 20785

**Re: Asbestos Abatement Project Monitoring
Moultrie Courthouse
Building B (Various Locations)
510 4th Street, NW
Washington, DC**

Dear Mr. Hillian:

Enclosed is data produced through the industrial hygiene monitoring of the asbestos abatement project performed at the Moultrie Courthouse - Building B, 510 4th Street, NW, Washington, DC, which took place on February 26, February 27 and March 04, 2014.

1.0 PROJECT SUMMARY

This project involved an asbestos abatement action performed by Hillian Brothers & Sons, Inc. (Hillian). Maxximus Environmental, Inc. (Maxximus) provided fiber-in-air monitoring and industrial hygiene oversight before, during and after the asbestos abatement. Asbestos abatement work practices observed were performed in a manner consistent with the requirements of Part 61, the National Emission Standards for Hazardous Air Pollutants (NESHAPs). Work was also performed in a manner consistent with Title 29 Code of Federal Regulations (CFR) 1926.1101, the Occupational Safety and Health Administration's (OSHA) asbestos construction standard. Abatement activities were supervised by Mr. Carlos Martinez with three (3) workers onsite.

February 26, 2014

Abatement involved the removal of asbestos containing Thermal System Insulation (TSI) via-Glove bag from various locations on the 1st Floor (Room 122 (1) - Room 123 (2) – Men's Restroom (5) – Courtroom #109 (2) – Women's Restroom (2)) & 3rd Floor (Room 326 (3) – Room 327 (2) – Men's Restroom (2)) of Building B. The removal activities were performed within a negative pressure mini enclosure, with negative air provided using high-efficiency particulate air (HEPA) filtration devices.

February 27, 2014

Abatement involved the removal of asbestos containing Thermal System Insulation (TSI) via-Glove bag from various locations on the 3rd Floor (Women's Restroom (1) - Room 315 (4) – Room 311 (1) – Room #314B (2) – Room #314 (2) – Room #310 (2)), Basement (Cellblock (4)) & 1st Floor (Room #112 (1)) of Building B. The removal activities were performed within a negative pressure mini enclosure, with negative air provided using high-efficiency particulate air (HEPA) filtration devices.



March 04, 2014

Abatement involved the removal of asbestos containing Thermal System Insulation (TSI) via-Glove bag from various locations in the Basement (Men’s Restroom (2) – Women’s restroom (1) – Training Room (1) – Cellblock (2)), of Building B. The removal activities were performed within a negative pressure mini enclosure, with negative air provided using high-efficiency particulate air (HEPA) filtration devices.

Workers wore disposable, full-body coveralls and half-face, air-purifying respirators with HEPA cartridges during removal activities.

2.0 SAMPLING AND ANALYTICAL PROTOCOL

Maxximus performed air monitoring and industrial hygiene oversight. Air samples were collected during and after abatement activities from various locations inside and outside the work area. Personal air monitoring samples were collected from the abatement worker to document fiber-in-air exposure.

Maxximus collected fiber-in-air samples and analyzed them using National Institute for Occupational Safety and Health (NIOSH) Method 7400 which uses 25 millimeter (mm), 0.8 microgram (µm), mixed cellulose ester filters (MCEFs), calibrated sampling pumps, and phase contrast microscopy (PCM). NIOSH 582-trained analyst Mr. Rodney Distance analyzed samples. Maxximus analyst’s participate in the American Industrial Hygiene Association (AIHA) proficiency analytical testing (PAT) program and are currently rated proficient for asbestos.

Date:	Material Abated:	Location:	F/CC	# Cassette Type	Area Clearance Cleared/Fail
02/26/14	Asbestos containing TSI	1 st Floor Inside Mini-Enclosure #Room #122 – Bathroom (1 Glove-Bag)	<0.01	(2) PCM	Cleared
		1 st Floor Inside Mini-Enclosure #Room #123 – Bathroom (2 Glove-Bags)	<0.01	(2) PCM	Cleared
		1 st Floor Inside Mini-Enclosure - Men’s Restroom (5 Glove-Bags)	<0.01	(2) PCM	Cleared
		1 st Floor Inside Mini-Enclosure – Courtroom #109 – Bathroom (2 Glove-Bags)	<0.01	(2) PCM	Cleared
		1 st Floor Inside Mini-Enclosure - Women’s Restroom (2 Glove Bags)	<0.01	(2) PCM	Cleared
		3 rd Floor Inside Mini-Enclosure – Room #326 Dr. Schuchart – Restroom (2 Glove Bags)	<0.01	(2) PCM	Cleared
		3 rd Floor Inside Mini-Enclosure – Room #326 Dr. Hugonnet Restroom (1 Glove Bag)	<0.01	(2) PCM	Cleared



Date:	Material Abated:	Location:	F/CC	# Cassette Type	Area Clearance Cleared/Fail
02/26/14	Asbestos containing TSI	3 rd Floor Inside Mini-Enclosure – Room #327 Dr. Donnelly Restroom (1 Glove Bag)	<0.01	(2) PCM	Cleared
		3 rd Floor Inside Mini-Enclosure – Room #327 Dr. Woodland Restroom (1 Glove Bag)	<0.01	(2) PCM	Cleared
		3 rd Floor Inside Mini-Enclosure - Men's Restroom (2 Glove Bags)	<0.01	(2) PCM	Cleared

Date:	Material Abated:	Location:	F/CC	# Cassette Type	Area Clearance Cleared/Fail
02/27/14	Asbestos containing TSI	3 rd Floor Inside Mini-Enclosure – Women's Restroom (1 Glove Bag)	<0.01	(2) PCM	Cleared
		3 rd Floor Inside Mini-Enclosure - Room #315 – Bathroom (4 Glove Bags)	<0.01	(2) PCM	Cleared
		3 rd Floor Inside Mini-Enclosure – Room #311 – Bathroom (1 Glove Bag)	<0.01	(2) PCM	Cleared
		3 rd Floor Inside Mini-Enclosure – Room #314B – Bathroom (2 Glove Bags)	<0.01	(2) PCM	Cleared
		3 rd Floor Inside Mini-Enclosure – Room #314 – Bathroom (2 Glove Bags)	<0.01	(2) PCM	Cleared
		3 rd Floor Inside Mini-Enclosure – Room #310 – Bathroom (2 Glove Bags)	<0.01	(2) PCM	Cleared
		Basement Inside Mini-Enclosure – Basement – Cell Block Area (4 Glove Bags)	<0.01	(4) PCM	Cleared
		1 st Floor Inside Mini-Enclosure – Room #112 – Bathroom (1 Glove Bag)	<0.01	(2) PCM	Cleared

Date:	Material Abated:	Location:	F/CC	# Cassette Type	Area Clearance Cleared/Fail
03/04/14	Asbestos containing TSI	Basement Inside Mini-Enclosure – Basement – Men's Restroom (2 Glove Bags)	<0.01	(2) PCM	Cleared
		Basement Inside Mini-Enclosure – Basement – Women's Restroom (1 Glove Bag)	<0.01	(2) PCM	Cleared
		Basement Inside Mini-Enclosure – Basement – Training Room (1 Glove Bag)	<0.01	(2) PCM	Cleared
		Basement Inside Mini-Enclosure – Basement – Cell Block Area (12 Glove Bags)	<0.01	(4) PCM	Cleared



3.0 SUMMARY OF RESULTS

- Final clearance samples collected in the work areas after abatement activities showed airborne fiber concentrations of <0.01 f/cc, which meets the District of Columbia and U.S. Environmental Protection Agency (EPA)-recommended re-occupancy level after an abatement action.
- Final clearance inspection of the work area showed that the areas were free of visible debris.

Maxximus is pleased to have had the opportunity to provide these services to Hillian. If you have any questions or comments, please contact us.

Sincerely,

Khadijah A. Muse
Vice President



Daily Project Summary Report

November 9, 2009

Mr. Anthony Hillian
Hillian Brothers and Sons, Inc.
8501 Ardwick Ardmore Road
Landover, MD 20785

**Re: Asbestos Abatement Project Monitoring
DC Court – Building B
Room 201 – 2nd Floor
Washington, DC**

Dear Mr. Hillian:

Enclosed is data produced through the industrial hygiene monitoring of the asbestos abatement project performed at DC Courts, Building B, Room 201, NW, Washington, DC, which took place from October 26 to October 28, 2009.

1.0 PROJECT SUMMARY

This project involved an asbestos abatement action performed by Hillian Brothers & Sons, Inc. (Hillian). Maxximus Environmental, Inc. (Maxximus) provided fiber-in-air monitoring and industrial hygiene oversight during the asbestos abatement. Asbestos abatement work practices observed were performed in a manner consistent with the requirements of Part 61, the National Emission Standards for Hazardous Air Pollutants (NESHAPs). Work was also performed in a manner consistent with Title 29 Code of Federal Regulations (CFR) 1926.1101, the Occupational Safety and Health Administration's (OSHA) asbestos construction standard.

Abatement involved the removal of approximately 2000 SF of asbestos containing floor tile with associated mastic from court room 201 of Building B. The removal activities were performed within a negative pressure enclosure with a three-stage decontamination chamber, with negative air provided using high-efficiency particulate air (HEPA) filtration devices. Workers wore disposable, full-body coveralls and half-face, air-purifying respirators with HEPA cartridges during removal activities.

2.0 SAMPLING AND ANALYTICAL PROTOCOL

Maxximus performed air monitoring and industrial hygiene oversight. Air samples were collected during and after abatement activities from various locations inside and outside the work area. Personal air monitoring samples were collected from the abatement worker to document fiber-in-air exposure.

Maxximus collected fiber-in-air samples and analyzed them using National Institute for Occupational Safety and Health (NIOSH) Method 7400 which uses 25 millimeter (mm), 0.8 microgram (μm), mixed cellulose ester filters (MCEFs), calibrated sampling pumps, and phase contrast microscopy (PCM). NIOSH 582-trained analyst Mr. Francis Yomi and Ritik

Das analyzed samples. Maximus analyst's participate in the American Industrial Hygiene Association (AIHA) proficiency analytical testing (PAT) program and are currently rated proficient for asbestos.

Maximus collected final air samples in the former work areas for analysis using transmission electron microscopy (TEM) in accordance with the protocols found in 40 CFR 763, Appendix A, Subpart E, which uses 25 mm, 0.45 μm MCEFs and calibrated sampling pumps. TEM sample analysis was performed by AMA Analytical Services, Inc. of Lanham, Maryland (AMA).

3.0 SUMMARY OF RESULTS

- Pre-abatement samples collected before removal activities in the immediate vicinity of the work showed fiber-in-air concentrations of 0.02 per cubic centimeter (f/cc) of air.
- Personal exposure samples showed concentrations well within the limits of the personal protective devices (half-face respirators) employed by the abatement workers.
- Outside air samples collected in the vicinity of the work area showed fiber-in-air levels of less than one fiber per cubic centimeter (<0.01 f/cc) of air.
- Final air samples collected in the former work area showed fiber-in-air levels of <0.01 f/cc, which meets the U.S. Environmental Protection Agency (EPA)-recommended and State of Maryland-required re-occupancy level after an abatement action.
- TEM air samples collected on October 28, 2009 from room 201 after abatement showed an average of less than 70 structures per millimeter squared (<70 s/mm²), which meets the U.S. Environmental Protection Agency (EPA)-recommended and District of Columbia-required re-occupancy level after an abatement action.
- Final clearance inspection of the work area showed that the areas were free of visible debris.

Maximus is pleased to have had the opportunity to provide these services to Hillian Brothers, Inc. If you have any questions or comments, please contact us.

Sincerely,



Khadijah A. Muse
Vice President



May 27, 2010

Mr. Claude G. Jalkh
Washington Gas
6862 Elm Street, Suite 300
McLean, VA 22101

**RE: Final Lead Wipe Sample Analysis
DC Courts B/Interior Window Renovation Project
510 Fourth St, NW
Washington, DC**

Dear Mr. Jalkh:

Enclosed are the results of the lead-based paint (LBP) wipe analysis collected on May 08, 2010, from DC Courts Building B located at 510 Fourth St., NW, Washington, DC.

Maxximus Environmental, Inc. (Maxximus) collected final lead wipe samples from randomly selected window sills and floor areas directly in front of the window. A total of 132 wipe samples were collected in Building B. All samples were collected using PACE wipes. All LBP dust wipe analysis was conducted by AMA Analytical in Lanham, Maryland. AMA uses U.S. Environmental Protection Agency (EPA) Method SW-846, 7420AA. The clearance level in the District of Columbia and according to the Department of Housing and Urban Development (HUD) is equal to or less than 40 ug/ft² for floors and 250 ug/ft² on window sills.

Samples were collected in order to determine if there are any lead paint hazard conditions in DC Courts Building B after interior window renovation, through-out the 2nd floor.

118 of the 125 samples collected on May 8, 2010 revealed a lead level less than the limit of detection for the analysis performed.

Seven of the samples collected were above the limit of detection. Maxximus recommended re-cleaning and re-testing.

Maxximus returned on May 12, 2010 to re-sample the affected areas. Sample results showed that all samples collected on May 12, 2010 revealed a lead level less than the limit of detection.

Sample Results from Lead Wipe Samples are listed in the following table:



Sample #	Window Location (Window #) WS – window sill FL - floor	Results (ug/ft ²)
Phase V		
050810 -DC Court B – 01	2nd floor B1248 WS	140
DC Court B – 02	2 nd floor B248 FL	100 (re-test)
DC Court B – 03	2 nd floor B249 WS	<12
DC Court B – 04	2 nd floor B249 FL	22
DC Court B – 05	2 nd floor B250 FL – Door	<12
DC Court B – 06	2 nd floor B251 WS	20
DC Court B – 07	2 nd floor B251 FL	<12
DC Court B – 08	2 nd floor B252 WS	170
DC Court B – 09	2 nd floor B252 FL	66 (re-test)
DC Court B – 10	2 nd floor B253 WS	28
DC Court B – 11	2 nd floor B253 FL	<12
DC Court B – 12	2 nd floor B254 WS	<12
DC Court B – 13	2 nd floor B254 FL	<12
DC Court B – 14	2 nd floor B255 WS	<12
DC Court B – 15	2 nd floor B255 FL	<12
DC Court B – 16	2 nd floor B256 WS	65
DC Court B – 17	2 nd floor B256 FL	<12
DC Court B – 18	2 nd floor B257 WS	<12
DC Court B – 19	2 nd floor B257 FL	<12
DC Court B – 20	2 nd floor B258 WS	<12
DC Court B – 21	2 nd floor B258 FL	<12
DC Court B – 22	2 nd floor B259 WS	<12
DC Court B – 23	2 nd floor B259 FL	<12
DC Court B – 24	2 nd floor B260 WS	130
DC Court B – 25	2 nd floor B260 FL	<12
DC Court B – 26	2 nd floor B201 WS	<12
DC Court B – 27	2 nd floor B201 FL	<12
DC Court B – 28	2 nd floor B202 WS	<12
DC Court B – 29	2 nd floor B202 FL	<12
DC Court B – 30	2 nd floor B203 WS	<12
DC Court B – 31	2 nd floor B203 FL	<12
DC Court B – 32	2 nd floor B204 WS	90
DC Court B – 33	2 nd floor B204 FL	<12
Phase VI		
DC Court B – 34	2 nd floor B205 WS	17
DC Court B – 35	2 nd floor B205 FL	<12
DC Court B – 36	2 nd floor B206 WS	40
DC Court B – 37	2 nd floor B206 FL	<12
DC Court B – 38	2 nd floor B207 WS	120
DC Court B – 39	2 nd floor B207 FL	<12



Continued,

Sample #	Window Location (Window #) WS – window sill FL - floor	Results (ug/ft ²)
DC Court B – 40	2 nd floor B208 WS	130
DC Court B – 41	2 nd floor B208 FL	<12
DC Court B – 42	2 nd floor B209 WS	<12
DC Court B – 43	2 nd floor B209 FL	<12
DC Court B – 44	2 nd floor B210 WS	100
DC Court B – 45	2 nd floor B210 FL	<12
DC Court B – 46	2 nd floor B211 WS	<12
DC Court B – 47	2 nd floor B211 FL	47 (re-test)
DC Court B – 48	2 nd floor B212 WS	17
DC Court B – 49	2 nd floor B212 FL	<12
DC Court B – 50	2 nd floor B213 WS	20
DC Court B – 51	2 nd floor B213 FL	<12
DC Court B – 52	2 nd floor B214 WS	42
DC Court B – 53	2 nd floor B214 FL	<12
DC Court B – 54	2 nd floor B215 WS	54
DC Court B – 55	2 nd floor B215 FL	<12
DC Court B – 56	2 nd floor B216 WS	140
DC Court B – 57	2 nd floor B216 FL	<12
DC Court B – 58	2 nd floor B217 WS	34
DC Court B – 59	2 nd floor B217 FL	<12
Phase VII		
DC Court B – 60	2 nd floor B218 WS	21
DC Court B – 61	2 nd floor B218 FL	<12
DC Court B – 62	2 nd floor B219 WS	<12
DC Court B – 63	2 nd floor B219 FL	18
DC Court B – 64	2 nd floor B220 WS	20
DC Court B – 65	2 nd floor B220 FL	<12
DC Court B – 66	2 nd floor B221 WS	37
DC Court B – 67	2 nd floor B221 FL	<12
DC Court B – 68	2 nd floor B222 WS	270 (re-test)
DC Court B – 69	2 nd floor B222 FL	180 (re-test)
DC Court B – 70	2 nd floor B223 WS	<12
DC Court B – 71	2 nd floor B223 FL	<12
DC Court B – 72	2 nd floor B224 WS	22
DC Court B – 73	2 nd floor B224 FL	<12
DC Court B – 74	2 nd floor B225 WS	15
DC Court B – 75	2 nd floor B225 FL	<12
DC Court B – 76	2 nd floor B226 WS	94
DC Court B – 77	2 nd floor B226 FL	<12
DC Court B – 78	2 nd floor B227 WS	32
DC Court B – 79	2 nd floor B227 FL	<12



Continued,

Sample #	Window Location (Window #) WS – window sill FL – floor	Results (ug/ft ²)
DC Court B – 80	2 nd floor B228 WS	12
DC Court B – 81	2 nd floor B228 FL	<12
DC Court B – 82	2 nd floor B229 WS	<12
DC Court B – 83	2 nd floor B229 FL	<12
DC Court B – 84	2 nd floor B230 WS	89
DC Court B – 85	2 nd floor B230 FL	57 (re-test)
DC Court B – 86	2 nd floor B231 WS	34
DC Court B – 87	2 nd floor B231 FL	<12
DC Court B – 88	2 nd floor B232 Door	22
DC Court B – 89	2 nd floor B233 WS	120
DC Court B – 90	2 nd floor B233 FL	24
DC Court B – 91	2 nd floor B234 WS	69
DC Court B – 92	2 nd floor B234 FL	16
Phase VIII		
DC Court B – 93	2 nd floor B235 WS	91
DC Court B – 94	2 nd floor B235 FL	<12
DC Court B – 95	2 nd floor B236 WS	64
DC Court B – 96	2 nd floor B236 FL	<12
DC Court B – 97	2 nd floor B237 WS	38
DC Court B – 98	2 nd floor B237 FL	<12
DC Court B – 99	2 nd floor B238 WS	110
DC Court B – 100	2 nd floor B238 FL	<12
DC Court B – 101	2 nd floor B239 WS	<12
DC Court B – 102	2 nd floor B239 FL	<12
DC Court B – 103	2 nd floor B240 WS	84
DC Court B – 104	2 nd floor B240 FL	<12
DC Court B – 105	2 nd floor B241 WS	75
DC Court B – 106	2 nd floor B241 FL	<12
DC Court B – 107	2 nd floor B242 WS	<12
DC Court B – 108	2 nd floor B242 FL	<12
DC Court B – 109	2 nd floor B243 WS	<12
DC Court B – 110	2 nd floor B243 FL	<12
DC Court B – 111	2 nd floor B244 WS	23
DC Court B – 112	2 nd floor B244 FL	<12
DC Court B – 113	2 nd floor B245 WS	<12
DC Court B – 114	2 nd floor B245 FL	<12
DC Court B – 115	2 nd floor B246 WS	15
DC Court B – 116	2 nd floor B246 FL	<12
DC Court B – 117	2 nd floor B247 WS	34
DC Court B – 118	2 nd floor B247 FL	<12



Field Blanks		
DC Court B – 119	Phase V – Blank	<12
DC Court B – 120	Phase V – Blank	<12
DC Court B – 121	Phase VI – Blank	<12
DC Court B – 122	Phase VI – Blank	<12
DC Court B - 123	Phase VII – Blank	<12
DC Court B - 124	Phase VII – Blank	<12
DC Court B – 125	Phase VIII – Blank	<12

Maxximus re-turned on May 12, 2010 to re-test the locations that were above the limit of detection. (Please see table below),

Sample #	Window Location (Window #) WS – window sill FL - floor	Results (ug/ft ²)
051210 -DC Court B – 02A	2 nd floor B248 FL	<12
DC Court B – 09A	2 nd floor B252 FL	<12
DC Court B – 47A	2 nd floor B211 FL	<12
DC Court B – 68A	2 nd floor B222 WS	<12
DC Court B - 69A	2 nd floor B222 FL	<12
DC Court B - 85A	2 nd floor B230 FL	<12
DC Court B – 125A	Blank	<12

Maxximus Environmental, Inc. appreciates this opportunity to provide this service to Washington Gas. Should you have any questions or need further information concerning these results, please contact me.

Sincerely,

Khadijah A. Muse
Vice President



CERTIFICATE OF ANALYSIS



Client: Maximus Environmental
Address: 1010 Rockville Pike, Suite 200
 Rockville, Maryland 20852

Job Name: DC Superior Court
Job Location: Building B 2nd Floor
Job Number: Not Provided
P.O. Number: Not Provided

Chain Of Custody: 199527
Date Submitted: 5/10/2010
Person Submitting: Rodney Distance
Date Analyzed:

100470
NY ELAP
 10920

Report Date: 5/12/2010

Attention: Kiki Muse

Summary of Atomic Absorption Analysis for Lead

Page 1 of 8

AMA Sample Number	Client Sample Number	Analysis Type	Sample Type	Air Volume (L)	Area Wiped (ft ²)	Reporting Limit	Total ug	Final Result	Comments
1045220	050810-DCC-B01	Flame	Wipe	****	1.000	12 ug/ft ²	140	140 ug/ft ²	
1045221	050810-DCC-B02	Flame	Wipe	****	1.000	12 ug/ft ²	100	100 ug/ft ²	
1045222	050810-DCC-B03	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045223	050810-DCC-B04	Flame	Wipe	****	1.000	12 ug/ft ²	22	22 ug/ft ²	
1045224	050810-DCC-B05	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045225	050810-DCC-B06	Flame	Wipe	****	1.000	12 ug/ft ²	20	20 ug/ft ²	
1045226	050810-DCC-B07	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045227	050810-DCC-B08	Flame	Wipe	****	1.000	12 ug/ft ²	170	170 ug/ft ²	
1045228	050810-DCC-B09	Flame	Wipe	****	1.000	12 ug/ft ²	66	66 ug/ft ²	
1045229	050810-DCC-B10	Flame	Wipe	****	1.000	12 ug/ft ²	28	28 ug/ft ²	
1045230	050810-DCC-B11	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045231	050810-DCC-B12	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045232	050810-DCC-B13	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045233	050810-DCC-B14	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045234	050810-DCC-B15	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045235	050810-DCC-B16	Flame	Wipe	****	1.000	12 ug/ft ²	65	65 ug/ft ²	
1045236	050810-DCC-B17	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045237	050810-DCC-B18	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045238	050810-DCC-B19	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	

This report applies only to the sample, or samples, investigated and is not necessarily indicative of the quality or condition of apparently identical or similar products. As a mutual protection to clients, the public, and these Laboratories, this report is submitted and accepted for the exclusive use of the client to whom it is addressed and upon the condition that it is not to be used, in whole or in part, in any advertising or publicity matter without prior written authorization from us. Sample types, locations, and collection protocols are based upon the information provided by the persons submitting them and, unless collected by personnel of these Laboratories, we expressly disclaim any knowledge and liability for the accuracy and completeness of this information. Residual sample material will be discarded in accordance with the appropriate regulatory guidelines, unless otherwise requested by the client. NVLAP accreditation applies only to polarized light microscopy of bulk samples and transmission electron microscopy of AHERA air samples. This report must not be used to claim, and does not imply product certification, approval, or endorsement by NVLAP, NIST, or any agency of the Federal Government. All rights reserved. AMA Analytical Services, Inc.

An AIHA (#100470), NVLAP (101143-0), and NY ELAP (#10920) Accredited Laboratory

4475 Forbes Blvd. • Lanham, MD, 20706 • (301) 459-2640 • Toll Free (800) 346-0961 • Fax (301) 459-2643



CERTIFICATE OF ANALYSIS



Client: Maximus Environmental
Address: 1010 Rockville Pike, Suite 200
 Rockville, Maryland 20852

Job Name: DC Superior Court
Job Location: Building B 2nd Floor
Job Number: Not Provided
P.O. Number: Not Provided

Chain Of Custody: 199527
Date Submitted: 5/10/2010
Person Submitting: Rodney Distance
Date Analyzed:

100470
NY ELAP
 10920

Attention: Kiki Muse

Report Date: 5/12/2010

Summary of Atomic Absorption Analysis for Lead

Page 2 of 8

AMA Sample Number	Client Sample Number	Analysis Type	Sample Type	Air Volume (L)	Area Wiped (ft ²)	Reporting Limit	Total ug	Final Result	Comments
1045239	050810-DCC-B20	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045240	050810-DCC-B21	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045241	050810-DCC-B22	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045242	050810-DCC-B23	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045243	050810-DCC-B24	Flame	Wipe	****	1.000	12 ug/ft ²	130	130 ug/ft ²	
1045244	050810-DCC-B25	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045245	050810-DCC-B26	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045246	050810-DCC-B27	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045247	050810-DCC-B28	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045248	050810-DCC-B29	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045249	050810-DCC-B30	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045250	050810-DCC-B31	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045251	050810-DCC-B32	Flame	Wipe	****	1.000	12 ug/ft ²	90	90 ug/ft ²	
1045252	050810-DCC-B33	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045253	050810-DCC-B34	Flame	Wipe	****	1.000	12 ug/ft ²	17	17 ug/ft ²	
1045254	050810-DCC-B35	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045255	050810-DCC-B36	Flame	Wipe	****	1.000	12 ug/ft ²	42	42 ug/ft ²	
1045256	050810-DCC-B37	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045257	050810-DCC-B38	Flame	Wipe	****	1.000	12 ug/ft ²	120	120 ug/ft ²	

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Attention: Kiki Muse			

Summary of Atomic Absorption Analysis for Lead

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1045258	050810-DCC-B39	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045259	050810-DCC-B40	Flame	Wipe	****	1.000	12 ug/ft ²	130	130 ug/ft ²	
1045260	050810-DCC-B41	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045261	050810-DCC-B42	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045262	050810-DCC-B43	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045263	050810-DCC-B44	Flame	Wipe	****	1.000	12 ug/ft ²	100	100 ug/ft ²	
1045264	050810-DCC-B45	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045265	050810-DCC-B46	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045266	050810-DCC-B47	Flame	Wipe	****	1.000	12 ug/ft ²	47	47 ug/ft ²	
1045267	050810-DCC-B48	Flame	Wipe	****	1.000	12 ug/ft ²	17	17 ug/ft ²	
1045268	050810-DCC-B49	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045269	050810-DCC-B50	Flame	Wipe	****	1.000	12 ug/ft ²	20	20 ug/ft ²	
1045270	050810-DCC-B51	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045271	050810-DCC-B52	Flame	Wipe	****	1.000	12 ug/ft ²	42	42 ug/ft ²	
1045272	050810-DCC-B53	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045273	050810-DCC-B54	Flame	Wipe	****	1.000	12 ug/ft ²	54	54 ug/ft ²	
1045274	050810-DCC-B55	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045275	050810-DCC-B56	Flame	Wipe	****	1.000	12 ug/ft ²	140	140 ug/ft ²	
1045276	050810-DCC-B57	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	

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Summary of Atomic Absorption Analysis for Lead

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AMA Sample Number	Client Sample Number	Analysis Type	Sample Type	Air Volume (L)	Area Wiped (ft ²)	Reporting Limit	Total ug	Final Result	Comments
1045277	050810-DCC-B58	Flame	Wipe	****	1.000	12 ug/ft ²	34	34 ug/ft ²	
1045278	050810-DCC-B59	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045279	050810-DCC-B60	Flame	Wipe	****	1.000	12 ug/ft ²	21	21 ug/ft ²	
1045280	050810-DCC-B61	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045281	050810-DCC-B62	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045282	050810-DCC-B63	Flame	Wipe	****	1.000	12 ug/ft ²	18	18 ug/ft ²	
1045283	050810-DCC-B64	Flame	Wipe	****	1.000	12 ug/ft ²	20	20 ug/ft ²	
1045284	050810-DCC-B65	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045285	050810-DCC-B66	Flame	Wipe	****	1.000	12 ug/ft ²	37	37 ug/ft ²	
1045286	050810-DCC-B67	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045287	050810-DCC-B68	Flame	Wipe	****	1.000	12 ug/ft ²	270	270 ug/ft ²	
1045288	050810-DCC-B69	Flame	Wipe	****	1.000	12 ug/ft ²	180	180 ug/ft ²	
1045289	050810-DCC-B70	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045290	050810-DCC-B71	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045291	050810-DCC-B72	Flame	Wipe	****	1.000	12 ug/ft ²	22	22 ug/ft ²	
1045292	050810-DCC-B73	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045293	050810-DCC-B74	Flame	Wipe	****	1.000	12 ug/ft ²	15	15 ug/ft ²	
1045294	050810-DCC-B75	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045295	050810-DCC-B76	Flame	Wipe	****	1.000	12 ug/ft ²	94	94 ug/ft ²	

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	P.O. Number: Not Provided	Date Analyzed:	Report Date: 5/12/2010
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Summary of Atomic Absorption Analysis for Lead

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AMA Sample Number	Client Sample Number	Analysis Type	Sample Type	Air Volume (L)	Area Wiped (ft ²)	Reporting Limit	Total ug	Final Result	Comments
1045296	050810-DCC-B77	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045297	050810-DCC-B78	Flame	Wipe	****	1.000	12 ug/ft ²	32	32 ug/ft ²	
1045298	050810-DCC-B79	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045299	050810-DCC-B80	Flame	Wipe	****	1.000	12 ug/ft ²	12	12 ug/ft ²	
1045300	050810-DCC-B81	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045301	050810-DCC-B82	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045302	050810-DCC-B83	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045303	050810-DCC-B84	Flame	Wipe	****	1.000	12 ug/ft ²	89	89 ug/ft ²	
1045304	050810-DCC-B85	Flame	Wipe	****	1.000	12 ug/ft ²	57	57 ug/ft ²	
1045305	050810-DCC-B86	Flame	Wipe	****	1.000	12 ug/ft ²	34	34 ug/ft ²	
1045306	050810-DCC-B87	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045307	050810-DCC-B88	Flame	Wipe	****	1.000	12 ug/ft ²	22	22 ug/ft ²	
1045308	050810-DCC-B89	Flame	Wipe	****	1.000	12 ug/ft ²	120	120 ug/ft ²	
1045309	050810-DCC-B90	Flame	Wipe	****	1.000	12 ug/ft ²	24	24 ug/ft ²	
1045310	050810-DCC-B91	Flame	Wipe	****	1.000	12 ug/ft ²	69	69 ug/ft ²	
1045311	050810-DCC-B92	Flame	Wipe	****	1.000	12 ug/ft ²	16	16 ug/ft ²	
1045312	050810-DCC-B93	Flame	Wipe	****	1.000	12 ug/ft ²	91	91 ug/ft ²	
1045313	050810-DCC-B94	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045314	050810-DCC-B95	Flame	Wipe	****	1.000	12 ug/ft ²	64	64 ug/ft ²	

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Summary of Atomic Absorption Analysis for Lead

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AMA Sample Number	Client Sample Number	Analysis Type	Sample Type	Air Volume (L)	Area Wiped (ft ²)	Reporting Limit	Total ug	Final Result	Comments
1045315	050810-DCC-B96	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045316	050810-DCC-B97	Flame	Wipe	****	1.000	12 ug/ft ²	38	38 ug/ft ²	
1045317	050810-DCC-B98	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045318	050810-DCC-B99	Flame	Wipe	****	1.000	12 ug/ft ²	110	110 ug/ft ²	
1045319	050810-DCC-B100	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045320	050810-DCC-B101	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045321	050810-DCC-B102	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045322	050810-DCC-B103	Flame	Wipe	****	1.000	12 ug/ft ²	84	84 ug/ft ²	
1045323	050810-DCC-B104	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045324	050810-DCC-B105	Flame	Wipe	****	1.000	12 ug/ft ²	75	75 ug/ft ²	
1045325	050810-DCC-B106	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045326	050810-DCC-B107	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045327	050810-DCC-B108	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045328	050810-DCC-B109	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045329	050810-DCC-B110	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045330	050810-DCC-B111	Flame	Wipe	****	1.000	12 ug/ft ²	23	23 ug/ft ²	
1045331	050810-DCC-B112	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045332	050810-DCC-B113	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045333	050810-DCC-B114	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	

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Summary of Atomic Absorption Analysis for Lead

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1045334	050810-DCC-B115	Flame	Wipe	****	1.000	12 ug/ft ²	15	15 ug/ft ²	
1045335	050810-DCC-B116	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045336	050810-DCC-B117	Flame	Wipe	****	1.000	12 ug/ft ²	34	34 ug/ft ²	
1045337	050810-DCC-B118	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1045338	050810-DCC-B119	Flame	Wipe Blank	****	N/A	12 ug	<12	ug	
1045339	050810-DCC-B120	Flame	Wipe Blank	****	N/A	12 ug	<12	ug	
1045340	050810-DCC-B121	Flame	Wipe Blank	****	N/A	12 ug	<12	ug	
1045341	050810-DCC-B122	Flame	Wipe Blank	****	N/A	12 ug	<12	ug	
1045342	050810-DCC-B123	Flame	Wipe Blank	****	N/A	12 ug	<12	ug	
1045343	050810-DCC-B124	Flame	Wipe Blank	****	N/A	12 ug	<12	ug	
1045344	050810-DCC-B125	Flame	Wipe Blank	****	N/A	12 ug	<12	ug	

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Summary of Atomic Absorption Analysis for Lead

Page 8 of 8

AMA Sample Number	Client Sample Number	Analysis Type	Sample Type	Air Volume (L)	Area Wiped (ft ²)	Reporting Limit	Total ug	Final Result	Comments
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Analysis Method for Flame: Air, Wipes, Paints, and Soil/Solids: EPA 600/R-93/200(M)-7420; Water: SM-3111B
 Analysis Method For Furnace: Air, Wipes, Paints, and Soil/Solids : EPA 600/R-93/200(M)-7421; Water: SM-3113B
 N/A = Not Applicable mg/Kg = parts per million (ppm) by weight mg/L = parts per million (ppm)
 %Pb = percent lead by weight ug = micrograms ug/L = parts per billion (ppb)

See QC Summary for analytical results of quality control samples associated with these samples.
 NY ELAP accreditation applies only to paint chip, wipe, and soil samples.

Note: All samples were received in good condition unless otherwise noted.
 Note: All results have two significant digits. Any additional digits shown should not be considered when interpreting the result.

Air and Wipe results are not corrected for any blank results
 Final results for air and wipe samples are based on client supplied information nor verified by this laboratory.

Analyst: Ang Cao / Nida McGarvey

Technical Manager: G Edward Carney

This report applies only to the sample, or samples, investigated and is not necessarily indicative of the quality or condition of apparently identical or similar products. As a mutual protection to clients, the public, and these Laboratories, this report is submitted and accepted for the exclusive use of the client to whom it is addressed and upon the condition that it is not to be used, in whole or in part, in any advertising or publicity matter without prior written authorization from us. Sample types, locations, and collection protocols are based upon the information provided by the persons submitting them and, unless collected by personnel of these Laboratories, we expressly disclaim any knowledge and liability for the accuracy and completeness of this information. Residual sample material will be discarded in accordance with the appropriate regulatory guidelines, unless otherwise requested by the client. NVLAP accreditation applies only to polarized light microscopy of bulk samples and transmission electron microscopy of AHERA air samples. This report must not be used to claim, and does not imply product certification, approval, or endorsement by NVLAP, NIST, or any agency of the Federal Government. All rights reserved. AMA Analytical Services, Inc.



AMA Analytical Services, Inc.

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4475 Forbes Blvd. • Lanham, MD 20706
(301) 459-2640 • (800) 346-0961 • Fax (301) 459-2643

CHAIN OF CUSTODY

(Please Refer To This
Number For Inquires)

199527

Mailing/Billing Information:

1. Client Name: Maximus Environmental
2. Address 1: _____
3. Address 2: _____
4. Address 3: _____
5. Phone #: _____ Fax #: _____

Submittal Information:

1. Job Name: DC Superior Court
2. Job Location: Building B 2nd floor
3. Job #: _____ P.O. #: _____
4. Contact Person: Kiki @ phone # 240-378-
5. Submitted by: Rodney Distance Signature: [Signature]

Reporting Information (Results will be provided as soon as technically feasible):

AFTER HOURS (must be pre-scheduled) <input type="checkbox"/> Immediate Date Due: _____ <input type="checkbox"/> 24 Hours Time Due: _____ Comments: _____	NORMAL BUSINESS HOURS <input type="checkbox"/> Immediate <input type="checkbox"/> 3 Day <input type="checkbox"/> Results Required By Noon <input type="checkbox"/> Next Day <input type="checkbox"/> 5 Day + <u>5-12-10</u> <input checked="" type="checkbox"/> 2 Day Date Due: _____	REPORT TO: <input checked="" type="checkbox"/> Include COC/Field Data Sheets with Report <input checked="" type="checkbox"/> Email: <u>Maximus@msk.com</u> <input checked="" type="checkbox"/> Fax: <u>signerada@msk.com</u> <input checked="" type="checkbox"/> Verbals: <u>Rodneydistance@yahoo.com</u>
--	---	--

Asbestos Analysis

PCM Air – Please Indicate Filter Type:
 NIOSH 7400 (QTY)
 Fiberglass (QTY)

TEM Air – Please Indicate Filter Type:
 AHERA (QTY)
 NIOSH 7402 (QTY)
 Other (specify _____) (QTY)

PLM Bulk
 EPA 600 – Visual Estimate (QTY)
 EPA Point Count (QTY)
 NY State Friable 198.1 (QTY)
 Grav. Reduction ELAP 198.6 (QTY)
 Other (specify _____) (QTY)

TEM Bulk

ELAP 198.4/Chatfield (QTY)
 NY State PLM/TEM (QTY)
 Residual Ash (QTY)

TEM Dust

Qual. (pres/abs) Vacuum/Dust (QTY)
 Quan. (s/area) Vacuum D5755-95 (QTY)
 Quan. (s/area) Dust D6480-99 (QTY)

TEM Water

Qual. (pres/abs) (QTY)
 ELAP 198.2/EPA 100.2 (QTY)
 EPA 100.1 (QTY)

All samples received in good condition unless otherwise noted.
(TEM Water samples _____ °C)

Metals Analysis

Pb Paint Chip (QTY)
 Pb Dust Wipe (wipe type ASTM) 125 (QTY)
 Pb Air (QTY)
 Pb Soil/Solid (QTY)
 Pb TCLP (QTY)
 Drinking Water Pb (QTY) Cu (QTY) As (QTY)
 Waste Water Pb (QTY) Cu (QTY) As (QTY)
 Pb Furnace (Media _____) (QTY)

Fungal Analysis

Collection Apparatus for Spore Traps/Air Samples: _____
Collection Media _____
 Spore-Trap (QTY) Surface Vacuum Dust (QTY)
 Surface Swab (QTY) Culturable ID Genus (Media _____) (QTY)
 Surface Tape (QTY) Culturable ID Species (Media _____) (QTY)
 Other (Specify _____) (QTY)

MISC

Vermiculite
 Asbestos Soil PLM (Qual) PLM (Quan) PLM/TEM (Qual) PLM/TEM (Quan)

CLIENT ID NUMBER	SAMPLE INFORMATION			ANALYSIS											CLIENT CONTACT				
	SAMPLE LOCATION/ IDENTIFICATION	DATE	VOLUME (LITERS)	WIPE AREA	TEM	PCM	PLM	LEAD	MOLD	AIR	BULK	DUST	WATER AND OTHER	SPORE TRAP	TAPE	SWAB	(LABORATORY STAFF ONLY)		
	<u>Field Street Attach</u>	<u>5/8/10</u>															Date/Time:	Contact:	By:
																	Date/Time:	Contact:	By:
																	Date/Time:	Contact:	By:

LABORATORY
STAFF ONLY:
(CUSTODY)

1. Date/Time RCVD: 5/10/10 @ 8:00 Via: DO BOX By (Print): Surat Watson Sign: [Signature]
2. Date/Time Analyzed: _____ / _____ / _____ @ _____ By (Print): _____ Sign: _____
3. Results Reported To: Kiki Via: Mail Date: 5/12/10 Time: 14:40 Initials: [Initials]
4. Comments: _____

Surface Sampling Field Data Sheet

Date Collected: May 8, 2010

Job Name: DC Superior Court

Company: Maxximus Environmental

Job Number: _____

Job Location: Building B 2nd Floor

Phone Number: 199527

Contact Person: Keke

Address: _____

Collected By: Rodney Distance

COC Number: _____

Sample Number	Sample Location	Surface/Substrate Sampled	Area Wiped (in ² /ft ²)	Collection Media
050810-DC-8 01	Phase 5 - window 248	WS	144 in ²	
02	248	FL		
03	249	WS		
04	249	FL		
05	Door 250	FL		
06	251	WS		
07	251	FL		
08	252	WS		
09	252	FL		
10	253	WS		
11	253	FL		
12	254	WS		
13	254	FL		

Please Return Samples To:

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Surface Sampling Field Data Sheet

Date Collected: May 8, 2010

Job Name: DC Superior Court

Company: Maxximus Environmental

Job Number: _____

Job Location: Building B 2nd Floor

Phone Number: 199527

Contact Person: Keke

Address: _____

Collected By: Rodney Distance

COC Number: _____

Sample Number	Sample Location	Surface/Substrate Sampled	Area Wiped (in ² /ft ²)	Collection Media
050810-Dec-B 14	Phase 5 - window 255	WS	144 in ²	
15	255	FL		
16	256	WS		
17	256	FL		
18	257	WS		
19	257	FL		
20	258	WS		
21	258	FL		
22	259	WS		
23	259	FL		
24	260	WS		
25	260	FL		
26	201	WS		

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Surface Sampling Field Data Sheet

Date Collected: May 8, 2010

Job Name: DC Superior Court

Company: Maxximus Environmental

Job Number: _____

Job Location: Building B 2nd Floor

Phone Number: 199627

Contact Person: Keke

Address: _____

Collected By: Rodney Distance

COC Number: _____

Sample Number	Sample Location	Surface/Substrate Sampled	Area Wiped (in ² /ft ²)	Collection Media
050810-DEC-B 27	Phase 5 - window 201	FL	144 in ²	
28	↓	202	↓	
29		202		
30		203		
31		203		
32		204		
33		204		
34		Phase 6 - window 205		WS
35	↓	205	↓	
36		206		
37		206		
38		207		
39		207		

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Surface Sampling Field Data Sheet

Date Collected: May 8, 2010 Job Name: DC Superior Court Company: Maxximus Environmental
 Job Number: _____ Job Location: Building B 2nd Floor Phone Number: 199527
 Contact Person: Keke Address: _____ Collected By: Rodney Distance
 _____ _____ COC Number: _____

Sample Number	Sample Location	Surface/Substrate Sampled	Area Wiped (in ² /ft ²)	Collection Media
050810-DEC-B 40	Phase 6 - Window 208	WS	144 in ²	
41	208	FL		
42	209	WS		
43	209	FL		
44	210	WS		
45	210	FL		
46	211	WS		
47	211	FL		
48	212	WS		
49	212	FL		
50	213	WS		
51	213	FL		
52	214	WS		

Please Return Samples To:

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Surface Sampling Field Data Sheet

Date Collected: May 8, 2010 Job Name: DC Superior Court Company: Maxximus Environmental
 Job Number: _____ Job Location: Building B 2nd Floor Phone Number: 199527
 Contact Person: Keke Address: _____ Collected By: Rodney Distance
 COC Number: _____

Sample Number	Sample Location	Surface/Substrate Sampled	Area Wiped (in ² /ft ²)	Collection Media
050810-DC-B 53	Phase 6 - window	FL	144 in ²	
54		WS		
55		FL		
56		WS		
57		FL		
58		WS		
59		FL		
60	Phase 7 - window	WS		
61		FL		
62		WS		
63		FL		
64		WS		
65		FL		

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Surface Sampling Field Data Sheet

Date Collected: May 8, 2010 Job Name: DC Superior Court Company: Maxximus Environmental
 Job Number: _____ Job Location: Building B 2nd Floor Phone Number: 199527
 Contact Person: Keke Address: _____ Collected By: Rodney Distance
 _____ COC Number: _____

Sample Number	Sample Location	Surface/Substrate Sampled	Area Wiped (in ² /ft ²)	Collection Media		
050810-DC-8 66	Phase 7 - window 221	WS	144in ²			
67	221	FL	↓			
68		WS				
69		FL				
70		WS				
71		FL				
72		WS				
73		FL				
74		WS				
75		FL				
76		WS				
77		FL				
78		227		WS	↓	

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Surface Sampling Field Data Sheet

Date Collected: May 8, 2010
 Job Number: _____
 Contact Person: Keke

Job Name: DC Superior Court
 Job Location: Building B 2nd Floor
 Address: _____

Company: Maxximus Environmental
 Phone Number: 199527
 Collected By: Rodney Distance
 COC Number: _____

Sample Number	Sample Location	Surface/Substrate Sampled	Area Wiped (in ² /ft ²)	Collection Media	
050810-Dec-8 79	Phase 7 - window	227 FL	144 in ²		
80	↓	228 WS			
81		228 FL			
82		229 WS			
83		229 FL			
84		230 WS			
85		230 FL			
86		231 WS			
87		231 FL			
88		Door	232 FL		
89			233 WS		
90		233 FL			
91		234 WS			

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Surface Sampling Field Data Sheet

Date Collected: May 8, 2010 Job Name: DC Superior Court Company: Maxximus Environmental
 Job Number: _____ Job Location: Building B 2nd Floor Phone Number: 199527
 Contact Person: Keke Address: _____ Collected By: Rodney Distance
 COC Number: _____

Sample Number	Sample Location	Surface/Substrate Sampled	Area Wiped (in ² /ft ²)	Collection Media
050810-DC-8 92	Phase 7 - window 234	FL	144 in ²	
93	Phase 8 - window 235	WS		
94	235	FL		
95	236	WS		
96	236	FL		
97	237	WS		
98	237	FL		
99	238	WS		
100	238	FL		
101	239	WS		
102	239	FL		
103	240	WS		
104	240	FL		

Please Return Samples To:

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Surface Sampling Field Data Sheet

Date Collected: May 8, 2010

Job Name: DC Superior Court

Company: Maxximus Environmental

Job Number: _____

Job Location: Building B 2nd Floor

Phone Number: 199.527

Contact Person: Keke

Address: _____

Collected By: Rodney Distance

COC Number: _____

Sample Number	Sample Location	Surface/Substrate Sampled	Area Wiped (in ² /ft ²)	Collection Media
050810-DC-C-B 105	Phase B - window 241	WS	144 m ²	
106	241	FL		
107	242	WS		
108	242	FL		
109	243	WS		
110	243	FL		
111	244	WS		
112	244	FL		
113	245	WS		
114	245	FL		
115	246	WS		
116	246	FL		
117	247	WS		

Please Return Samples To:

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Surface Sampling Field Data Sheet

Date Collected: May 8, 2010
 Job Number: _____
 Contact Person: Keke

Job Name: DC Superior Court
 Job Location: Building B 2nd Floor
 Address: _____

Company: Maxximus Environmental
 Phone Number: _____
 Collected By: Rodney Distance
 COC Number: _____

Sample Number	Sample Location	Surface/Substrate Sampled	Area Wiped (in ² /ft ²)	Collection Media
050810-DC-B 118	Phase 8 window 247	FL	144.2	
119	Blank		0	
120	Blank		0	
121	Blank		0	
122	Blank		0	
125	Blank		0	



Please Return Samples To:
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Laboratory Analysis
(Re-Test)



CERTIFICATE OF ANALYSIS



100470

NY ELAP

10920

Client: Maxximus Environmental
Address: 1010 Rockville Pike, Suite 200
 Rockville, Maryland 20852

Job Name: DC Superior Courts
Job Location: Building B 2nd Floor
Job Number: Not Provided
P.O. Number: Not Provided

Chain Of Custody: 199533
Date Submitted: 5/13/2010
Person Submitting: Rodney Distance
Date Analyzed: 5/13/2010 **Report Date:** 5/13/2010

Attention: Kiki Muse

Summary of Atomic Absorption Analysis for Lead

Page 1 of 1

AMA Sample Number	Client Sample Number	Analysis Type	Sample Type	Air Volume (L)	Area Wiped (ft ²)	Reporting Limit	Total ug	Final Result	Comments
1046172	050810-DCC-B 02A	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1046173	050810-DCC-B 09A	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1046174	050810-DCC-B 47A	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1046175	050810-DCC-B 68A	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1046176	050810-DCC-B 69A	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1046177	050810-DCC-B 85A	Flame	Wipe	****	1.000	12 ug/ft ²	<12	<12 ug/ft ²	
1046178	050810-DCC-B 125A	Flame	Wipe Blank	****	N/A	12 ug	<12	ug	

Analysis Method for Flame: Air, Wipes, Paints, and Soil/Solids: EPA 600/R-93/200(M)-7420; Water: SM-3111B
 Analysis Method For Furnace: Air, Wipes, Paints, and Soil/Solids : EPA 600/R-93/200(M)-7421; Water: SM-3113B
 N/A = Not Applicable mg/Kg = parts per million (ppm) by weight mg/L = parts per million (ppm)
 %Pb = percent lead by weight ug = micrograms ug/L = parts per billion (ppb)

See QC Summary for analytical results of quality control samples associated with these samples.
 NY ELAP accreditation applies only to paint chip, wipe, and soil samples.

Note: All samples were received in good condition unless otherwise noted.

Note: All results have two significant digits. Any additional digits shown should not be considered when interpreting the result.

Air and Wipe results are not corrected for any blank results

Final results for air and wipe samples are based on client supplied information nor verified by this laboratory.

Analyst: Nida McGarvey

Technical Manager: G Edward Carney

This report applies only to the sample, or samples, investigated and is not necessarily indicative of the quality or condition of apparently identical or similar products. As a mutual protection to clients, the public, and these Laboratories, this report is submitted and accepted for the exclusive use of the client to whom it is addressed and upon the condition that it is not to be used, in whole or in part, in any advertising or publicity matter without prior written authorization from us. Sample types, locations, and collection protocols are based upon the information provided by the persons submitting them and, unless collected by personnel of these Laboratories, we expressly disclaim any knowledge and liability for the accuracy and completeness of this information. Residual sample material will be discarded in accordance with the appropriate regulatory guidelines, unless otherwise requested by the client. NVLAP accreditation applies only to polarized light microscopy of bulk samples and transmission electron microscopy of AHERA air samples. This report must not be used to claim, and does not imply product certification, approval, or endorsement by NVLAP, NIST, or any agency of the Federal Government. All rights reserved. AMA Analytical Services, Inc.

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CHAIN OF CUSTODY

(Please Refer To This
Number For Inquires)

199533

Mailing/Billing Information:

- Client Name: Maximus Environmental
- Address 1: _____
- Address 2: _____
- Address 3: _____
- Phone #: _____ Fax #: _____

Submittal Information:

- Job Name: DC Superior Courts
- Job Location: Building B 2nd Floor
- Job #: _____ P.O. #: _____
- Contact Person: Kate @ phone # 240-372-9233
- Submitted by: Rodney Distance Signature: Rodney Distance

Reporting Information (Results will be provided as soon as technically feasible):

AFTER HOURS (must be pre-scheduled) <input type="checkbox"/> Immediate Date Due: _____ <input type="checkbox"/> 24 Hours Time Due: _____ Comments: _____	NORMAL BUSINESS HOURS <input checked="" type="checkbox"/> Immediate <input type="checkbox"/> 3 Day <input type="checkbox"/> Next Day <input type="checkbox"/> 5 Day + <u>5-13-10</u> Results Required By Noon <input type="checkbox"/> 2 Day <input type="checkbox"/> 2 Day Date Due: _____		REPORT TO: <input checked="" type="checkbox"/> Include COC/Field Data Sheets with Report <input checked="" type="checkbox"/> Email: <u>Maximv @ MSN.com</u> <input checked="" type="checkbox"/> Fax: <u>Vianeyada @ MSN.com</u> <input checked="" type="checkbox"/> Verbal: <u>Rodneydistance @ yahoo.com</u>
--	--	--	--

Asbestos Analysis

- PCM Air** – Please Indicate Filter Type:
 NIOSH 7400 (QTY)
 Fiberglass (QTY)
- TEM Air** – Please Indicate Filter Type:
 AHERA (QTY)
 NIOSH 7402 (QTY)
 Other (specify _____) (QTY)
- PLM Bulk**
 EPA 600 – Visual Estimate (QTY)
 EPA Point Count (QTY)
 NY State Friable 198.1 (QTY)
 Grav. Reduction ELAP 198.6 (QTY)
 Other (specify _____) (QTY)
- MISC**
 Vermiculite
 Asbestos Soil PLM (Qual) PLM (Quan) PLM/TEM (Qual) PLM/TEM (Quan)

TEM Bulk

- ELAP 198.4/Chatfield (QTY)
- NY State PLM/TEM (QTY)
- Residual Ash (QTY)

TEM Dust

- Qual. (pres/abs) Vacuum/Dust (QTY)
- Quan. (s/area) Vacuum D5755-95 (QTY)
- Quan. (s/area) Dust D6480-99 (QTY)

TEM Water

- Qual. (pres/abs) (QTY)
- ELAP 198.2/EPA 100.2 (QTY)
- EPA 100.1 (QTY)

All samples received in good condition unless otherwise noted.
(TEM Water samples _____ °C)

Metals Analysis

- Pb Paint Chip (QTY)
- Pb Dust Wipe (wipe type ASTM) 7 (QTY)
- Pb Air (QTY)
- Pb Soil/Solid (QTY)
- Pb TCLP (QTY)
- Drinking Water Pb (QTY) Cu (QTY) As (QTY)
- Waste Water Pb (QTY) Cu (QTY) As (QTY)
- Pb Furnace (Media _____) (QTY)

Fungal Analysis

- Collection Apparatus for Spore Traps/Air Samples: _____
 Collection Media _____
- Spore-Trap (QTY) Surface Vacuum Dust (QTY)
 - Surface Swab (QTY) Culturable ID Genus (Media _____) (QTY)
 - Surface Tape (QTY) Culturable ID Species (Media _____) (QTY)
 - Other (Specify _____) (QTY)

CLIENT ID NUMBER	SAMPLE INFORMATION			WIPE AREA	ANALYSIS										CLIENT CONTACT					
	SAMPLE LOCATION/ IDENTIFICATION	DATE	VOLUME (LITERS)		TEM	PCM	PLM	LEAD	MOLD	AIR	BULK	DUST	MATRIX	WATER AND OTHER	SPORE TRAP	TAPE	SWAB	(LABORATORY STAFF ONLY)		
	<u>Field Street Attached</u>																	Date/Time:	Contact:	By:
																		Date/Time:	Contact:	By:
																		Date/Time:	Contact:	By:

LABORATORY
STAFF ONLY:
(CUSTODY)

- Date/Time RCVD: 5 / 13 / 10 @ 8:00 Via: DO Box By (Print): Surat Watson Sign: sd
- Date/Time Analyzed: _____ / _____ / _____ @ _____ By (Print): _____ Sign: _____
- Results Reported To: _____ Via: _____ Date: _____ / _____ / _____ Time: _____ Initials: _____
- Comments: _____

Surface Sampling Field Data Sheet

Date Collected: 5/12/10

Job Number: _____

Contact Person: KCKC

Job Name: DC Superior Court

Job Location: Building B 2nd floor

Address: _____

Page of

Company: Maximus Environmental

Phone Number: 199533

Collected By: Rodney Distance

COC Number: _____

Sample Number	Sample Location	Surface/Substrate Sampled	Area Wiped (in ² /ft ²)	Collection Media
050810-DCG-B 02 A	Window 248 FL	FLOOR	144 in ²	ASTM
09 A	Window 252 FL	FLOOR	↓	↓
47 A	Window 211 FL	FLOOR	↓	↓
68 A	Window 222 WS	Window Sill	↓	↓
69 A	FL	FLOOR	↓	↓
85 A	Window 230 FL	FLOOR	↓	↓
125 A	Blank	—	0	↓

Please Return Samples To:

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May 28, 2010

Mr. Claude G. Jalkh
Washington Gas
6862 Elm Street, Suite 300
McLean, VA 22101

**RE: Final Lead Wipe Sample Analysis
DC Courts B/Interior Window Renovation Project
510 Fourth St, NW
Washington, DC**

Dear Mr. Jalkh:

Enclosed are the results of the lead-based paint (LBP) wipe analysis collected on May 22, 2010, from DC Courts Building B located at 510 Fourth St., NW, Washington, DC.

Maxximus Environmental, Inc. (Maxximus) collected final lead wipe samples from randomly selected window sills and floor areas directly in front of the window. A total of 132 wipe samples were collected in Building B. All samples were collected using PACE wipes. All LBP dust wipe analysis was conducted by AMA Analytical in Lanham, Maryland. AMA uses U.S. Environmental Protection Agency (EPA) Method SW-846, 7420AA. The clearance level in the District of Columbia and according to the Department of Housing and Urban Development (HUD) is equal to or less than 40 ug/ft² for floors and 250 ug/ft² on window sills.

Samples were collected in order to determine if there are any lead paint hazard conditions in DC Courts Building B after interior window renovation, through-out the 3rd floor. 125 samples were collected on May 22, 2010; laboratory analysis revealed a lead level less than the limit of detection for the analysis performed.

Sample Results from Lead Wipe Samples are listed in the following table:



Sample #	Window Location (Window #) WS – window sill FL - floor	Results (ug/ft ²)
Phase XIV		
052210 -DC Court B – 01	3 rd floor B348 WS	14
DC Court B – 02	3 rd floor B348 FL	<10
DC Court B – 03	3 rd floor B349 WS	<10
DC Court B – 04	3 rd floor B349 FL	<10
DC Court B – 05	3 rd floor B350 WS	<10
DC Court B – 06	3 rd floor B350 FL	<10
DC Court B – 07	3 rd floor B351 WS	<10
DC Court B – 08	3 rd floor B351 FL	<10
DC Court B – 09	3 rd floor B352 WS	<10
DC Court B – 10	3 rd floor B352 FL	<10
DC Court B – 11	3 rd floor B353 WS	<10
DC Court B – 12	3 rd floor B353 FL	<10
DC Court B – 13	3 rd floor B354 WS	<10
DC Court B – 14	3 rd floor B354 FL	<10
DC Court B – 15	3 rd floor B355 WS	<10
DC Court B – 16	3 rd floor B355 FL	<10
DC Court B – 17	3 rd floor B356 WS	<15
DC Court B – 18	3 rd floor B356 FL	<10
DC Court B – 19	3 rd floor B357 WS	20
DC Court B – 20	3 rd floor B357 FL	<10
DC Court B – 21	3 rd floor B358 WS	10
DC Court B – 22	3 rd floor B358 FL	<10
DC Court B – 23	3 rd floor B359 WS	<10
DC Court B – 24	3 rd floor B359 FL	<10
DC Court B – 25	3 rd floor B360 WS	<10
DC Court B – 26	3 rd floor B360 FL	<10
DC Court B – 27	3 rd floor B301 WS	<10
DC Court B – 28	3 rd floor B301 FL	<10
DC Court B – 29	3 rd floor B302 WS	<10
DC Court B – 30	3 rd floor B302 FL	<10
DC Court B – 31	3 rd floor B303 WS	-
DC Court B – 32	3 rd floor B303 FL	<10
DC Court B – 33	3 rd floor B304 WS	<10
DC Court B – 34	3 rd floor B304 FL	<10
Phase XV		
DC Court B – 35	3 rd floor B305 WS	<10
DC Court B – 36	3 rd floor B305 FL	<10
DC Court B – 37	3 rd floor B306 WS	<10
DC Court B – 38	3 rd floor B306 FL	<10
DC Court B – 39	3 rd floor B307 WS	<10



Continued,

Sample #	Window Location (Window #) WS – window sill FL - floor	Results (ug/ft ²)
DC Court B – 40	3 rd floor B307 FL	<10
DC Court B – 41	3 rd floor B308 WS	<10
DC Court B – 42	3 rd floor B308 FL	<10
DC Court B – 43	3 rd floor B309 WS	<10
DC Court B – 44	3 rd floor B309 FL	<10
DC Court B – 45	3 rd floor B310 WS	<10
DC Court B – 46	3 rd floor B310 FL	<10
DC Court B – 47	3 rd Floor B311 WS	<10
DC Court B – 48	3 rd floor B311 FL	<10
DC Court B – 49	3 rd floor B312 WS	<10
DC Court B – 50	3 rd floor B312 FL	<10
DC Court B – 51	3 rd floor B313 WS	<10
DC Court B – 52	3 rd floor B313 FL	<10
DC Court B – 53	3 rd floor B314 WS	<10
DC Court B – 54	3 rd floor B314 FL	<10
DC Court B – 55	3 rd floor B315 WS	<10
DC Court B – 56	3 rd floor B315 FL	<10
DC Court B – 57	3 rd floor B316 WS	<10
DC Court B – 58	3 rd floor B316 FL	<10
DC Court B – 59	3 rd floor B317 WS	<10
DC Court B – 60	3 rd floor B317 FL	<10
Phase XVI		
DC Court B – 61	3 rd floor B318 WS	<10
DC Court B – 62	3 rd floor B318 FL	<10
DC Court B – 63	3 rd floor B319 WS	<10
DC Court B – 64	3 rd floor B319 FL	<10
DC Court B – 65	3 rd floor B320 WS	<10
DC Court B – 66	3 rd floor B320 FL	<10
DC Court B – 67	3 rd floor B321 WS	<10
DC Court B – 68	3 rd floor B321 FL	<10
DC Court B – 69	3 rd floor B322 WS	<10
DC Court B – 70	3 rd floor B322 FL	<10
DC Court B – 71	3 rd floor B323 WS	<10
DC Court B – 72	3 rd floor B323 FL	<10
DC Court B – 73	3 rd floor B324 WS	<10
DC Court B – 74	3 rd floor B324 FL	<10
DC Court B – 75	3 rd floor B325 WS	<10
DC Court B – 76	3 rd floor B325 FL	<10
DC Court B – 77	3 rd floor B326 WS	<10
DC Court B – 78	3 rd floor B326 FL	<10
DC Court B – 79	3 rd floor B327 WS	<10



Continued,

Sample #	Window Location (Window #) WS – window sill FL – floor	Results (ug/ft ²)
DC Court B – 80	3 rd floor B327 FL	<10
DC Court B – 81	3 rd floor B328 WS	<10
DC Court B – 82	3 rd floor B328 FL	<10
DC Court B – 83	3 rd floor B329 WS	<10
DC Court B – 84	3 rd floor B329 FL	<10
DC Court B – 85	3 rd floor B330 WS	<10
DC Court B – 86	3 rd floor B330 FL	<10
DC Court B – 87	3 rd floor B331 WS	<10
DC Court B – 88	3 rd floor B331 FL	<10
DC Court B – 89	3 rd floor B332 WS	<10
DC Court B – 90	3 rd floor B332 FL	<10
DC Court B – 91	3 rd floor B333 WS	<10
DC Court B – 92	3 rd floor B333 FL	<10
DC Court B – 93	3 rd floor B334 WS	<10
DC Court B – 94	3 rd floor B334 FL	<10
Phase XVII		
DC Court B – 95	3 rd floor B335 WS	<10
DC Court B – 96	3 rd floor B335 FL	<10
DC Court B – 97	3 rd floor B336 WS	<10
DC Court B – 98	3 rd floor B336 FL	<10
DC Court B – 99	3 rd floor B337 WS	<10
DC Court B – 100	3 rd floor B337 FL	<10
DC Court B – 101	3 rd floor B338 WS	<10
DC Court B – 102	3 rd floor B338 FL	<10
DC Court B – 103	3 rd floor B339 WS	<10
DC Court B – 104	3 rd floor B339 FL	<10
DC Court B – 105	3 rd floor B340 WS	11
DC Court B – 106	3 rd floor B340 FL	<10
DC Court B – 107	3 rd floor B341 WS	<10
DC Court B – 108	3 rd floor B341 FL	<10
DC Court B – 109	3 rd floor B342 WS	<10
DC Court B – 110	3 rd floor B342 FL	<10
DC Court B – 111	3 rd floor B343 WS	<10
DC Court B – 112	3 rd floor B343 FL	<10
DC Court B – 113	3 rd floor B344 WS	<10
DC Court B – 114	3 rd floor B344 FL	<10
DC Court B – 115	3 rd floor B345 WS	<10
DC Court B – 116	3 rd floor B345 FL	<10
DC Court B – 117	3 rd floor B346 WS	<10
DC Court B – 118	3 rd floor B346 FL	<10



Field Blanks		
DC Court B – 119	3 rd floor B347 WS	<10
DC Court B – 120	3 rd floor B347 FL	<10
DC Court B – 121	Phase XIV – Blank	<10
DC Court B – 122	Phase XV – Blank	<10
DC Court B - 123	Phase XVI – Blank	<10
DC Court B - 124	Phase XVII – Blank	<10

Maxximus Environmental, Inc. appreciates this opportunity to provide this service to Washington Gas. Should you have any questions or need further information concerning these results, please contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Khadijah A. Muse'.

Khadijah A. Muse
Vice President



Laboratory Analysis



EMSL Analytical, Inc.

10768 Baltimore Avenue, Beltsville, MD 20705

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Received: 05/24/10 8:30 AM
EMSL Order: 191004574

Fax: (301) 838-2732 Phone: (301) 838-2730
Project: **DC SUPERIOR COURT BLDG B 3RD FLR**

EMSL Proj:

Test Report: Lead in Dust by Flame AAS (SW 846 3050B*/7000B)

<i>Client Sample Description</i>	<i>Lab ID</i>	<i>Collected</i>	<i>Analyzed</i>	<i>Area Sampled</i>	<i>Lead Concentration</i>
052210-DCC-3RD-01 PHASE 9 WS B348	0001	5/22/2010	5/24/2010	144 in ²	14 µg/ft ²
052210-DCC-3RD-02 PHASE 9 FL B348	0002	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-03 PHASE 9 WS B349	0003	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-04 PHASE 9 FL B349	0004	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-05 PHASE 9 WS B350	0005	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-06 PHASE 9 FL B350	0006	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-07 PHASE 9 WS B351	0007	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-08 PHASE 9 FL B351	0008	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-09 PHASE 9 WS B352	0009	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-10 PHASE 9 FL B352	0010	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-11 PHASE 9 WS B353	0011	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-12 PHASE 9 FL B353	0012	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²

Joe Centifonti, Laboratory Manager
or other approved signatory

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Project: **DC SUPERIOR COURT BLDG B 3RD FLR**

EMSL Proj:

Test Report: Lead in Dust by Flame AAS (SW 846 3050B*/7000B)

<i>Client Sample Description</i>	<i>Lab ID</i>	<i>Collected</i>	<i>Analyzed</i>	<i>Area Sampled</i>	<i>Lead Concentration</i>
052210-DCC-3RD-13 PHASE 9 WS B354	0013	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-14 PHASE 9 FL B354	0014	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-15 PHASE 9 WS B355	0015	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-16 PHASE 9 FL B355	0016	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-17 PHASE 9 WS B356	0017	5/22/2010	5/24/2010	144 in ²	15 µg/ft ²
052210-DCC-3RD-18 PHASE 9 FL B356	0018	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-19 PHASE 9 WS B357	0019	5/22/2010	5/24/2010	144 in ²	20 µg/ft ²
052210-DCC-3RD-20 PHASE 9 FL B357	0020	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-21 PHASE 9 WS B358	0021	5/22/2010	5/24/2010	144 in ²	10 µg/ft ²
052210-DCC-3RD-22 PHASE 9 FL B358	0022	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-23 PHASE 9 WS B359	0023	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-24 PHASE 9 FL B359	0024	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²

Joe Centifonti, Laboratory Manager
or other approved signatory

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EMSL Proj:

Test Report: Lead in Dust by Flame AAS (SW 846 3050B*/7000B)

<i>Client Sample Description</i>	<i>Lab ID</i>	<i>Collected</i>	<i>Analyzed</i>	<i>Area Sampled</i>	<i>Lead Concentration</i>
052210-DCC-3RD-25 PHASE 9 WS B360	0025	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-26 PHASE 9 FL B360	0026	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-27 PHASE 9 WS B301	0027	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-28 PHASE 9 FL B301	0028	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-29 PHASE 9 WS B302	0029	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-30 PHASE 9 FL B302	0030	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-31 PHASE 9 WS B303 SAMPLE NOT SUBMITTED	0031	5/22/2010	5/24/2010	n/a	µg/wipe
052210-DCC-3RD-32 PHASE 9 FL B303	0032	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-33 PHASE 9 WS B304	0033	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-34 PHASE 9 FL B304	0034	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-35 PHASE 10 WS B305	0035	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-36 PHASE 10 FL B305	0036	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²

Joe Centifonti, Laboratory Manager
or other approved signatory

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EMSL Proj:

Test Report: Lead in Dust by Flame AAS (SW 846 3050B*/7000B)

<i>Client Sample Description</i>	<i>Lab ID</i>	<i>Collected</i>	<i>Analyzed</i>	<i>Area Sampled</i>	<i>Lead Concentration</i>
052210-DCC-3RD-37 PHASE 10 WS B306	0037	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-38 PHASE 10 FL B306	0038	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-39 PHASE 10 WS B307	0039	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-40 PHASE 10 FL B307	0040	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-41 PHASE 10 WS B308	0041	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-42 PHASE 10 FL B308	0042	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-43 PHASE 10 WS B309	0043	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-44 PHASE 10 FL B309	0044	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-45 PHASE 10 WS B310	0045	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-46 PHASE 10 FL B310	0046	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-47 PHASE 10 WS B311	0047	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-48 PHASE 10 FL B311	0048	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²

Joe Centifonti, Laboratory Manager
or other approved signatory

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EMSL Proj:

Test Report: Lead in Dust by Flame AAS (SW 846 3050B*/7000B)

<i>Client Sample Description</i>	<i>Lab ID</i>	<i>Collected</i>	<i>Analyzed</i>	<i>Area Sampled</i>	<i>Lead Concentration</i>
052210-DCC-3RD-49 PHASE 10 WS B312	0049	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-50 PHASE 10 FL B312	0050	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-51 PHASE 10 WS B313	0051	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-52 PHASE 10 FL B313	0052	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-53 PHASE 10 WS B314	0053	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-54 PHASE 10 FL B314	0054	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-55 PHASE 10 WS B315	0055	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-56 PHASE 10 FL B315	0056	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-57 PHASE 10 WS B316	0057	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-58 PHASE 10 FL B316	0058	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-59 PHASE 10 WS B317	0059	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-60 PHASE 10 FL B317	0060	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²

Joe Centifonti, Laboratory Manager
or other approved signatory

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EMSL Proj:

Test Report: Lead in Dust by Flame AAS (SW 846 3050B*/7000B)

<i>Client Sample Description</i>	<i>Lab ID</i>	<i>Collected</i>	<i>Analyzed</i>	<i>Area Sampled</i>	<i>Lead Concentration</i>
052210-DCC-3RD-61 PHASE 11 WS B318	0061	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-62 PHASE 11 FL B318	0062	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-63 PHASE 11 WS B319	0063	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-64 PHASE 11 FL B319	0064	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-65 PHASE 11 WS B320	0065	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-66 PHASE 11 FL B320	0066	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-67 PHASE 11 WS B321	0067	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-68 PHASE 11 FL B321	0068	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-69 PHASE 11 WS B322	0069	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-70 PHASE 11 FL B322	0070	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-71 PHASE 11 WS B323	0071	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-72 PHASE 11 FL B323	0072	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²

Joe Centifonti, Laboratory Manager
or other approved signatory

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Test Report: Lead in Dust by Flame AAS (SW 846 3050B*/7000B)

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052210-DCC-3RD-73 PHASE 11 WS B324	0073	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-74 PHASE 11 FL B324	0074	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-75 PHASE 11 WS B325	0075	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-76 PHASE 11 FL B325	0076	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-77 PHASE 11 WS B326	0077	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-78 PHASE 11 FL B326	0078	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-79 PHASE 11 WS B327	0079	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-80 PHASE 11 FL B327	0080	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-81 PHASE 11 WS B328	0081	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-82 PHASE 11 FL B328	0082	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-83 PHASE 11 WS B329	0083	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-84 PHASE 11 FL B329	0084	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²

Joe Centifonti, Laboratory Manager
or other approved signatory

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EMSL Analytical, Inc.

10768 Baltimore Avenue, Beltsville, MD 20705

Phone: (301) 937-5700 Fax: (301) 937-5701 Email: beltsvillelab@emsl.com

Attn: **Kiki Muse**
Maximus Environmental
1010 Rockville Pike
Suite # 200
Suite 200
Rockville, MD 20852

Customer ID: MAXX50
Customer PO:
Received: 05/24/10 8:30 AM
EMSL Order: 191004574

Fax: (301) 838-2732 Phone: (301) 838-2730
Project: **DC SUPERIOR COURT BLDG B 3RD FLR**

EMSL Proj:

Test Report: Lead in Dust by Flame AAS (SW 846 3050B*/7000B)

<i>Client Sample Description</i>	<i>Lab ID</i>	<i>Collected</i>	<i>Analyzed</i>	<i>Area Sampled</i>	<i>Lead Concentration</i>
052210-DCC-3RD-85 PHASE 11 WS B330	0085	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-86 PHASE 11 FL B330	0086	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-87 PHASE 11 WS B331	0087	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-88 PHASE 11 FL B331	0088	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-89 PHASE 11 WS B332	0089	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-90 PHASE 11 FL B332	0090	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-91 PHASE 11 WS B333	0091	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-92 PHASE 11 FL B333	0092	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-93 PHASE 11 WS B334	0093	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-94 PHASE 11 FL B334	0094	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-95 PHASE 12 WS B335	0095	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-96 PHASE 12 FL B335	0096	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²

Joe Centifonti, Laboratory Manager
or other approved signatory

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Suite 200
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EMSL Proj:

Test Report: Lead in Dust by Flame AAS (SW 846 3050B*/7000B)

<i>Client Sample Description</i>	<i>Lab ID</i>	<i>Collected</i>	<i>Analyzed</i>	<i>Area Sampled</i>	<i>Lead Concentration</i>
052210-DCC-3RD-97 PHASE 12 WS B336	0097	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-98 PHASE 12 FL B336	0098	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-99 PHASE 12 WS B337	0099	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-100 PHASE 12 FL B337	0100	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-101 PHASE 12 WS B338	0101	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-102 PHASE 12 FL B338	0102	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-103 PHASE 12 WS B339	0103	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-104 PHASE 12 FL B339	0104	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-105 PHASE 12 WS B340	0105	5/22/2010	5/24/2010	144 in ²	11 µg/ft ²
052210-DCC-3RD-106 PHASE 12 FL B340	0106	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-107 PHASE 12 WS B341	0107	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-108 PHASE 12 FL B341	0108	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²

Joe Centifonti, Laboratory Manager
or other approved signatory

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EMSL Proj:

Test Report: Lead in Dust by Flame AAS (SW 846 3050B*/7000B)

<i>Client Sample Description</i>	<i>Lab ID</i>	<i>Collected</i>	<i>Analyzed</i>	<i>Area Sampled</i>	<i>Lead Concentration</i>
052210-DCC-3RD-109 PHASE 12 WS B342	0109	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-110 PHASE 12 FL B342	0110	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-111 PHASE 12 WS B343	0111	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-112 PHASE 12 FL B343	0112	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-113 PHASE 12 WS B344	0113	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-114 PHASE 12 FL B344	0114	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-115 PHASE 12 WS B345	0115	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-116 PHASE 12 FL B345	0116	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-117 PHASE 12 WS B346	0117	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-118 PHASE 12 FL B346	0118	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-119 PHASE 12 WS B347	0119	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²
052210-DCC-3RD-120 PHASE 12 FL B347	0120	5/22/2010	5/24/2010	144 in ²	<10 µg/ft ²

Joe Centifonti, Laboratory Manager
or other approved signatory

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<i>Client Sample Description</i>	<i>Lab ID</i>	<i>Collected</i>	<i>Analyzed</i>	<i>Area Sampled</i>	<i>Lead Concentration</i>
052210-DCC-3RD-121 PHASE 9 BLANK	0121	5/22/2010	5/24/2010	0 in ²	<10 µg/wipe
052210-DCC-3RD-122 PHASE 10 BLANK	0122	5/22/2010	5/24/2010	0 in ²	<10 µg/wipe
052210-DCC-3RD-123 PHASE 11 BLANK	0123	5/22/2010	5/24/2010	0 in ²	<10 µg/wipe
052210-DCC-3RD-124 PHASE 12 BLANK	0124	5/22/2010	5/24/2010	0 in ²	<10 µg/wipe
052210-DCC-3RD-125 BLANK	0125	5/22/2010	5/24/2010	0 in ²	<10 µg/wipe

Joe Centifonti, Laboratory Manager
or other approved signatory

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Maxximus Environmental, Inc.

Health, Safety & Security Solutions Worldwide



SBA 8(a) SDB, MDOT Certified

Invoice

Bill To
Washington Gas & Energy Claude G. Jalkh 6862 Elm Street, Suite 300 McLean, Virginia 22101

Date	Invoice #
5/28/2010	208-03-03

P.O. Number	Terms	Due Date	FEIN
208-03-03	Net 30	6/27/2010	52-2239323

Description	Quantity	Unit	Rate	Amount
Final Lead Wipe Sample Analysis at the Dc Courts, Building B/Interior Window Renovation, 510 Fourth Street, NW, in Washington, DC, that took place on May 22, 2010. Phase XIV, XV, XVI and XVII Lump Sum - May 22, 2010 Amount Billed 05/22/10 - 3751.00 Remaining Balance: \$11253.00	1	Lump Sum	3,751.00	3,751.00

Thank you for your business.

Total \$3,751.00

Customer Total Balance \$0.00

Job Total Balance \$3,751.00

Please make checks payable to Maxximus Environmental, Inc. Invoices over 30 day past due are subject to a late charge of 1.5% per month on the amount of the past due balance. Late charges shall be calculated using the U.S. Method; therefore, interest will not be compounded on the past due balance. In event collection action becomes necessary, the customer will be responsible for all collection cost incurred, including one-third of attorney fees. Any checks that are not honored by the bank will be assessed a \$25 service charge.



March 29, 2010

Mr. Claude G. Jalkh
Washington Gas
6862 Elm Street, Suite 300
McLean, VA 22101

**RE: Final Lead Wipe Sample Analysis
DC Courts B/Interior Window Renovation Project
510 Fourth St, NW
Washington, DC**

Dear Mr. Jalkh:

Enclosed are the results of the lead-based paint (LBP) wipe analysis collected on March 20, 2010, from DC Courts Building B located at 510 Fourth St., NW, Washington, DC.

Maxximus Environmental, Inc. (Maxximus) collected final lead wipe samples from randomly selected window sills and floor areas directly in front of the window. A total of 116 wipe samples were collected in Building B. All samples were collected using PACE wipes. All LBP dust wipe analysis was conducted by AMA Analytical in Lanham, Maryland. AMA uses U.S. Environmental Protection Agency (EPA) Method SW-846, 7420AA. The clearance level in the District of Columbia and according to the Department of Housing and Urban Development (HUD) is equal to or less than 40 ug/ft² for floors and 250 ug/ft² on window sills.

Samples were collected in order to determine if there are any lead paint hazard conditions in DC Courts Building B after interior window renovation, through-out the 1st floor.

The sample collected on March 20, 2010 revealed a lead level less than the limit of detection for the analysis performed. Sample Results from Lead Wipe Samples are listed in the following table:



Sample #	Window Location (Window #) WS – window sill FL - floor	Results (ug/ft ²)
Phase I		
032010 -DC Court B – 01	1st floor B151 WS	<12
DC Court B – 02	1st floor B151 FL	<12
DC Court B – 03	1st floor B152 WS	<12
DC Court B – 04	1st floor B152 FL	<12
DC Court B – 05	1st floor B153 WS	<12
DC Court B – 06	1st floor B153 FL	<12
DC Court B – 07	1st floor B154 WS	<12
DC Court B – 08	1st floor B154 FL	<12
DC Court B – 09	1st floor B101 WS	<12
DC Court B – 10	1st floor B101 FL	<12
DC Court B – 11	1st floor B102 WS	<12
DC Court B – 12	1st floor B102 FL	<12
DC Court B – 13	1st floor B103 WS	<12
DC Court B – 14	1st floor B103 FL	<12
DC Court B – 15	1st floor B104 WS	<12
DC Court B – 16	1st floor B104 FL	<12
DC Court B – 17	1st floor B105 WS	<12
DC Court B – 18	1st floor B105 FL	<12
DC Court B – 19	1st floor B106 WS	<12
DC Court B – 20	1st floor B106 FL	<12
DC Court B – 21	1st floor B107 WS	<12
DC Court B – 22	1st floor B107 FL	<12
DC Court B – 23	1st floor B108 WS	<12
DC Court B – 24	1st floor B108 FL	<12
DC Court B – 25	1st floor B109 WS	<12
DC Court B – 26	1st floor B109 FL	<12
Phase II		
DC Court B – 27	1st floor B110 WS	<12
DC Court B – 28	1st floor B110 FL	<12
DC Court B – 29	1st floor B111 WS	<12
DC Court B – 30	1st floor B111 FL	<12
DC Court B – 31	1st floor B112 WS	<12
DC Court B – 32	1st floor B112 FL	<12
DC Court B – 33	1st floor B113 WS	<12
DC Court B – 34	1st floor B113 FL	<12
DC Court B – 35	1st floor B114 WS	<12
DC Court B – 36	1st floor B114 FL	<12
DC Court B – 37	1st floor B115 WS	<12
DC Court B – 38	1st floor B115 FL	<12
DC Court B – 39	1st floor B116 WS	<12



Continued,

Sample #	Window Location (Window #) WS – window sill FL - floor	Results (ug/ft ²)
DC Court B – 40	1st floor B116 FL	<12
DC Court B – 41	1st floor B117 WS	<12
DC Court B – 42	1st floor B117 FL	<12
DC Court B – 43	1st floor B118 WS	<12
DC Court B – 44	1st floor B118 FL	<12
DC Court B – 45	1st floor B119 WS	<12
DC Court B – 46	1st floor B119 FL	<12
DC Court B – 47	1st floor B120 WS	<12
DC Court B – 48	1st floor B120 FL	<12
DC Court B – 49	1st floor B121 WS	<12
DC Court B – 50	1st floor B121 FL	<12
DC Court B – 51	1st floor B122 WS	<12
DC Court B – 52	1st floor B122 FL	<12
Phase III		
DC Court B – 53	1st floor B123 WS	<12
DC Court B – 54	1st floor B123 FL	<12
DC Court B – 55	1st floor B124 WS	<12
DC Court B – 56	1st floor B124 FL	<12
DC Court B – 57	1st floor B125 WS	<12
DC Court B – 58	1st floor B125 FL	<12
DC Court B – 59	1st floor B126 WS	<12
DC Court B – 60	1st floor B126 FL	<12
DC Court B – 61	1st floor B127 WS	<12
DC Court B – 62	1st floor B127 FL	<12
DC Court B – 63	1st floor B128 WS	<12
DC Court B – 64	1st floor B128 FL	<12
DC Court B – 65	1st floor B129 WS	<12
DC Court B – 66	1st floor B129 FL	<12
DC Court B – 67	1st floor B130 WS	<12
DC Court B – 68	1st floor B130 FL	<12
DC Court B – 69	1st floor B131 WS	<12
DC Court B – 70	1st floor B131 FL	<12
DC Court B – 71	1st floor B132 WS	<12
DC Court B – 72	1st floor B132 FL	<12
DC Court B – 73	1st floor B133 WS	<12
DC Court B – 74	1st floor B133 FL	<12
DC Court B – 75	1st floor B134 WS	<12
DC Court B – 76	1st floor B134 FL	<12
DC Court B – 77	1st floor B135 WS	<12
DC Court B – 78	1st floor B135 FL	<12
Phase IV		
DC Court B – 79	1st floor B136 WS	<12



Continued,

Sample #	Window Location (Window #) WS – window sill FL - floor	Results (ug/ft ²)
DC Court B – 80	1st floor B136 FL	<12
DC Court B – 81	1st floor B137 WS	<12
DC Court B – 82	1st floor B137 FL	<12
DC Court B – 83	1st floor B138 WS	<12
DC Court B – 84	1st floor B138 FL	<12
DC Court B – 85	1st floor B139 WS	<12
DC Court B – 86	1st floor B139 FL	<12
DC Court B – 87	1st floor B140 WS	<12
DC Court B – 88	1st floor B140 FL	<12
DC Court B – 89	1st floor B141 WS	<12
DC Court B – 90	1st floor B141 FL	<12
DC Court B – 91	1st floor B142 WS	<12
DC Court B – 92	1st floor B142 FL	<12
DC Court B – 93	1st floor B143 WS	<12
DC Court B – 94	1st floor B143 FL	<12
DC Court B – 95	1st floor B144 WS	<12
DC Court B – 96	1st floor B144 FL	<12
DC Court B – 97	1st floor B145 WS	<12
DC Court B – 98	1st floor B145 FL	<12
DC Court B – 99	1st floor B146 WS	<12
DC Court B – 100	1st floor B146 FL	<12
DC Court B – 101	1st floor B147 WS	<12
DC Court B – 102	1st floor B147 FL	<12
DC Court B – 103	1st floor B148 WS	<12
DC Court B – 104	1st floor B148 FL	<12
DC Court B – 105	1st floor B149 WS	<12
DC Court B – 106	1st floor B149 FL	<12
DC Court B – 107	1st floor B150 WS	<12
DC Court B – 108	1st floor B150 FL	<12
Field Blanks		
DC Court B – 109	Phase I – Blank #1	<12
DC Court B – 110	Phase I – Blank #2	<12
DC Court B – 111	Phase II – Blank #1	<12
DC Court B – 112	Phase II – Blank #2	<12
DC Court B – 113	Phase III – Blank #1	<12
DC Court B – 114	Phase III – Blank #2	<12
DC Court B – 115	Phase VI – Blank #1	<12
DC Court B – 116	Phase VI – Blank #2	<12



Maxximus Environmental, Inc. appreciates this opportunity to provide this service to Washington Gas. Should you have any questions or need further information concerning these results, please contact me.

Sincerely,

A handwritten signature in black ink, appearing to read 'Khadijah A. Muse'.

Khadijah A. Muse
Vice President



Laboratory Analysis



CERTIFICATE OF ANALYSIS



Client: Maxximus Environmental	Job Name: DC Superior Courts	Chain Of Custody: 198050
Address: 1010 Rockville Pike, Suite 200 Rockville, Maryland 20852	Job Location: Building B	Date Submitted: 3/21/2010
	Job Number: Not Provided	Person Submitting: Rodney Distance
	P.O. Number: Not Provided	Date Analyzed: 3/22/2010 Report Date: 3/22/2010
Attention: Rafael Lopez		

100470
NY ELAP
10920

Summary of Atomic Absorption Analysis for Lead

Page 1 of 7

AMA Sample Number	Client Sample Number	Analysis Type	Sample Type	Air Volume (L)	Area Wiped (ft ²)	Reporting Limit	Final Result	Comments
1033837	032010-DCC-B-01	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033838	032010-DCC-B-02	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033839	032010-DCC-B-03	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033840	032010-DCC-B-04	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033841	032010-DCC-B-05	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033842	032010-DCC-B-06	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033843	032010-DCC-B-07	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033844	032010-DCC-B-08	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033845	032010-DCC-B-09	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033846	032010-DCC-B-10	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033847	032010-DCC-B-11	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033848	032010-DCC-B-12	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033849	032010-DCC-B-13	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033850	032010-DCC-B-14	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033851	032010-DCC-B-15	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033852	032010-DCC-B-16	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033853	032010-DCC-B-17	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033854	032010-DCC-B-18	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033855	032010-DCC-B-19	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	

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CERTIFICATE OF ANALYSIS



Client: Maximus Environmental	Job Name: DC Superior Courts	Chain Of Custody: 198050	100470
Address: 1010 Rockville Pike, Suite 200 Rockville, Maryland 20852	Job Location: Building B	Date Submitted: 3/21/2010	NY ELAP 10920
	Job Number: Not Provided	Person Submitting: Rodney Distance	
	P.O. Number: Not Provided	Date Analyzed: 3/22/2010	Report Date: 3/22/2010
Attention: Rafael Lopez			

Summary of Atomic Absorption Analysis for Lead

Page 2 of 7

AMA Sample Number	Client Sample Number	Analysis Type	Sample Type	Air Volume (L)	Area Wiped (ft ²)	Reporting Limit	Final Result	Comments
1033856	032010-DCC-B-20	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033857	032010-DCC-B-21	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033858	032010-DCC-B-22	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033859	032010-DCC-B-23	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033860	032010-DCC-B-24	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033861	032010-DCC-B-25	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033862	032010-DCC-B-26	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033863	032010-DCC-B-27	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033864	032010-DCC-B-28	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033865	032010-DCC-B-29	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033866	032010-DCC-B-30	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033867	032010-DCC-B-31	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033868	032010-DCC-B-32	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033869	032010-DCC-B-33	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033870	032010-DCC-B-34	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033871	032010-DCC-B-35	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033872	032010-DCC-B-36	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033873	032010-DCC-B-37	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033874	032010-DCC-B-38	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	

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CERTIFICATE OF ANALYSIS



Client: Maxximus Environmental	Job Name: DC Superior Courts	Chain Of Custody: 198050	100470
Address: 1010 Rockville Pike, Suite 200 Rockville, Maryland 20852	Job Location: Buiding B	Date Submitted: 3/21/2010	NY ELAP 10920
	Job Number: Not Provided	Person Submitting: Rodney Distance	
Attention: Rafael Lopez	P.O. Number: Not Provided	Date Analyzed: 3/22/2010	Report Date: 3/22/2010

Summary of Atomic Absorption Analysis for Lead

Page 3 of 7

AMA Sample Number	Client Sample Number	Analysis Type	Sample Type	Air Volume (L)	Area Wiped (ft ²)	Reporting Limit	Final Result	Comments
1033875	032010-DCC-B-39	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033876	032010-DCC-B-40	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033877	032010-DCC-B-41	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033878	032010-DCC-B-42	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033879	032010-DCC-B-43	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033880	032010-DCC-B-44	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033881	032010-DCC-B-45	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033882	032010-DCC-B-46	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033883	032010-DCC-B-47	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033884	032010-DCC-B-48	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033885	032010-DCC-B-49	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033886	032010-DCC-B-50	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033887	032010-DCC-B-51	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033888	032010-DCC-B-52	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033889	032010-DCC-B-53	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033890	032010-DCC-B-54	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033891	032010-DCC-B-55	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033892	032010-DCC-B-56	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033893	032010-DCC-B-57	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	

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CERTIFICATE OF ANALYSIS



Client:	Maximus Environmental	Job Name:	DC Superior Courts	Chain Of Custody:	198050
Address:	1010 Rockville Pike, Suite 200 Rockville, Maryland 20852	Job Location:	Building B	Date Submitted:	3/21/2010
		Job Number:	Not Provided	Person Submitting:	Rodney Distance
		P.O. Number:	Not Provided	Date Analyzed:	3/22/2010
Attention:	Rafael Lopez			Report Date:	3/22/2010

100470
NY ELAP
10920

Summary of Atomic Absorption Analysis for Lead

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AMA Sample Number	Client Sample Number	Analysis Type	Sample Type	Air Volume (L)	Area Wiped (ft ²)	Reporting Limit	Final Result	Comments
1033894	032010-DCC-B-58	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033895	032010-DCC-B-59	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033896	032010-DCC-B-60	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033897	032010-DCC-B-61	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033898	032010-DCC-B-62	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033899	032010-DCC-B-63	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033900	032010-DCC-B-64	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033901	032010-DCC-B-65	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033902	032010-DCC-B-66	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033903	032010-DCC-B-67	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033904	032010-DCC-B-68	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033905	032010-DCC-B-69	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033906	032010-DCC-B-70	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033907	032010-DCC-B-71	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033908	032010-DCC-B-72	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033909	032010-DCC-B-73	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033910	032010-DCC-B-74	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033911	032010-DCC-B-75	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033912	032010-DCC-B-76	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	

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CERTIFICATE OF ANALYSIS



Client: Maximus Environmental
Address: 1010 Rockville Pike, Suite 200
 Rockville, Maryland 20852

Job Name: DC Superior Courts
Job Location: Building B
Job Number: Not Provided
P.O. Number: Not Provided

Chain Of Custody: 198050
Date Submitted: 3/21/2010
Person Submitting: Rodney Distance
Date Analyzed: 3/22/2010 **Report Date:** 3/22/2010

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Attention: Rafael Lopez

Summary of Atomic Absorption Analysis for Lead

Page 5 of 7

AMA Sample Number	Client Sample Number	Analysis Type	Sample Type	Air Volume (L)	Area Wiped (ft ²)	Reporting Limit	Final Result	Comments
1033913	032010-DCC-B-77	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033914	032010-DCC-B-78	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033915	032010-DCC-B-79	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033916	032010-DCC-B-80	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033917	032010-DCC-B-81	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033918	032010-DCC-B-82	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033919	032010-DCC-B-83	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033920	032010-DCC-B-84	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033921	032010-DCC-B-85	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033922	032010-DCC-B-86	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033923	032010-DCC-B-87	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033924	032010-DCC-B-88	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033925	032010-DCC-B-89	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033926	032010-DCC-B-90	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033927	032010-DCC-B-91	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033928	032010-DCC-B-92	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033929	032010-DCC-B-93	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033930	032010-DCC-B-94	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033931	032010-DCC-B-95	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	

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CERTIFICATE OF ANALYSIS



Client:	Maxximus Environmental	Job Name:	DC Superior Courts	Chain Of Custody:	198050
Address:	1010 Rockville Pike, Suite 200 Rockville, Maryland 20852	Job Location:	Building B	Date Submitted:	3/21/2010
		Job Number:	Not Provided	Person Submitting:	Rodney Distance
		P.O. Number:	Not Provided	Date Analyzed:	3/22/2010
Attention:	Rafael Lopez			Report Date:	3/22/2010

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Summary of Atomic Absorption Analysis for Lead

Page 6 of 7

AMA Sample Number	Client Sample Number	Analysis Type	Sample Type	Air Volume (L)	Area Wiped (ft ²)	Reporting Limit	Final Result	Comments
1033932	032010-DCC-B-96	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033933	032010-DCC-B-97	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033934	032010-DCC-B-98	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033935	032010-DCC-B-99	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033936	032010-DCC-B-100	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033937	032010-DCC-B-101	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033938	032010-DCC-B-102	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033939	032010-DCC-B-103	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033940	032010-DCC-B-104	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033941	032010-DCC-B-105	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033942	032010-DCC-B-106	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033943	032010-DCC-B-107	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033944	032010-DCC-B-108	Flame	Wipe	****	1.000	12 ug/ft ²	< 12 ug/ft ²	
1033945	032010-DCC-B-109	Flame	Wipe Blank	****	N/A	12 ug	< 12 ug	
1033946	032010-DCC-B-110	Flame	Wipe Blank	****	N/A	12 ug	< 12 ug	
1033947	032010-DCC-B-111	Flame	Wipe Blank	****	N/A	12 ug	< 12 ug	
1033948	032010-DCC-B-112	Flame	Wipe Blank	****	N/A	12 ug	< 12 ug	
1033949	032010-DCC-B-113	Flame	Wipe Blank	****	N/A	12 ug	< 12 ug	
1033950	032010-DCC-B-114	Flame	Wipe Blank	****	N/A	12 ug	< 12 ug	

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CERTIFICATE OF ANALYSIS



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NY ELAP

10920

Client: Maximus Environmental
Address: 1010 Rockville Pike, Suite 200
 Rockville, Maryland 20852

Job Name: DC Superior Courts
Job Location: Building B
Job Number: Not Provided
P.O. Number: Not Provided

Chain Of Custody: 198050
Date Submitted: 3/21/2010
Person Submitting: Rodney Distance
Date Analyzed: 3/22/2010

Report Date: 3/22/2010

Attention: Rafael Lopez

Summary of Atomic Absorption Analysis for Lead

Page 7 of 7

AMA Sample Number	Client Sample Number	Analysis Type	Sample Type	Air Volume (L)	Area Wiped (ft ²)	Reporting Limit	Final Result	Comments
1033951	032010-DCC-B-115	Flame	Wipe Blank	****	N/A	12 ug	< 12 ug	
1033952	032010-DCC-B-116	Flame	Wipe Blank	****	N/A	12 ug	< 12 ug	

Analysis Method for Flame: Air, Wipes, Paints, and Soil/Solids: EPA 600/R-93/200(M)-7420; Water: SM-3111B
 Analysis Method For Furnace: Air, Wipes, Paints, and Soil/Solids : EPA 600/R-93/200(M)-7421; Water: SM-3113B

N/A = Not Applicable mg/Kg = parts per million (ppm) by weight mg/L = parts per million (ppm)
 %Pb = percent lead by weight ug = micrograms ug/L = parts per billion (ppb)

Note: All samples were received in good condition unless otherwise noted.

Note: All results have two significant digits. Any additional digits shown should not be considered when interpreting the result.

Air and Wipe results are not corrected for any blank results

See QC Summary for analytical results of quality control samples associated with these samples.
 NY ELAP accreditation applies only to paint chip, wipe, and soil samples.

Analyst: G. Garney / Nida McGarvey

Technical Manager: G Edward Carney

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LEAD (Pb) CHAIN OF CUSTODY

198050

DC Superior Court Bldg B

Additional Pages of the Chain of Custody are only necessary if needed for additional sample information

Sample #	Location	Volume/Area	Date/Time Sampled
A	Phase I window 106 WS	144 in ²	3-20-10
20	" "		
21	" 107 WS		
22	" "		
23	" 108 WS		
24	" "		
25	" 109 WS		
26	" "		
27	Phase II window 110 WS		
28	" "		
29	" 111 WS		
30	" "		
31	" 112 WS		
32	" "		
33	" 113 WS		
34	" "		
35	" 114 WS		
36	" "	144 in ²	
Comments/Special Instructions:			

LEAD (Pb) CHAIN OF CUSTODY

198050

DC Superior Court Bldg B

Additional Pages of the Chain of Custody are only necessary if needed for additional sample information

Sample #	Location	Volume/Area	Date/Time Sampled
37	Phase II window 115 WS	144 in ²	3-20-10
38	" " FL		
39	" " 116 WS		
40	" " FL		
41	" " 117 WS		
42	" " FL		
43	" " 118 WS		
44	" " FL		
45	" " 119 WS		
46	" " FL		
47	" " 120 WS		
48	" " FL		
49	" " 121 WS		
50	" " FL		
51	" " 122 WS		
52	" " FL		
53	Phase III window 123 WS		
54	" " FL	144 in ²	

Comments/Special Instructions:

LEAD (Pb) CHAIN OF CUSTODY

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DC Superior Court Bldg B

Additional Pages of the Chain of Custody are only necessary if needed for additional sample information

Sample #	Location	Volume/Area	Date/Time Sampled
55	Phase III window 124WS	144 in ²	3-20-10
56	" " FL		
57	" " 125WS		
58	" " FL		
59	" " 126WS		
60	" " FL		
61	" " 127WS		
62	" " FL		
63	" " 128WS		
64	" " FL		
65	" " 129WS		
66	" " FL		
67	" " 130WS		
68	" " FL		
69	" " 131WS		
70	" " FL		
71	" " 132WS		
72	" " FL	144 in ²	
Comments/Special Instructions:			

Form 101 (Rev. 10/01) - Quantitative Analysis of Lead in Air

LEAD (Pb) CHAIN OF CUSTODY

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DC Superior Court Bldg B

Additional Pages of the Chain of Custody are only necessary if needed for additional sample information

Sample #	Location	Volume/Area	Date/Time Sampled
73	Phase II window 133 WS	144 m ²	3-20-10
74	" " " FL		
75	" " " 134 WS		
76	" " " FL		
77	" " " 135 WS		
78	" " " FL		
79	Phase III window 136 WS		
80	Phase IV window " " FL		
81	Phase IV window 137 WS	144 m ²	
82	" " " FL		
83	" " " 138 WS		
84	" " " FL		
85	" " " 139 WS		
86	" " " FL		
87	" " " 140 WS		
88	" " " FL		
89	" " " 141 WS		
90	" " " FL		
Comments/Special Instructions:			

LEAD (Pb) CHAIN OF CUSTODY

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DC Superior Court Bldg B

Additional Pages of the Chain of Custody are only necessary if needed for additional sample information

Sample #	Location	Volume/Area	Date/Time Sampled		
109	Phase I Blank	0	3-20-10		
110	Phase I Blank	}	}		
111	Phase II Blank				
112	Phase II Blank				
113	Phase III Blank				
114	Phase III Blank				
115	Phase IV Blank				
116	Phase IV Blank			0	V
Comments/Special Instructions:					

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